CITY OF HIGHLAND
SPECIAL MEETING OF THE HISTORIC AND CULTURAL PRESERVATION BOARD
AGENDA

SPECIAL MEETING

October 3, 2024
5:00 p.m.
City Hall
Donahue Council Chambers
27215 Base Line
Highland, California

MEMBERS
Gail Shelton, Chair
Patrick Sandford, Vice Chair
Pamela Bible, Member
Jeffery Staggs, Member
Hugh Walker, Member

STAFF
Lawrence A. Mainez, Community Development Director
Kim Stater, Assistant Community Development Director
Angela Tafolla, Associate Planner
Camille Duarte, Administrative Assistant III

MISSION STATEMENT

Highland is dedicated to the betterment of the individual, the family, the neighborhood and the community. The City Council and the staff of Highland are dedicated to providing the quality of public facilities and services that its citizens are willing to fund and will do so as efficiently as possible.

Visit the City's Website at: www.cityofhighland.org

CITY OF HIGHLAND • 27215 BASE LINE • HIGHLAND, CALIFORNIA 92346 • (909) 864-6861☎ • (909) 862-3180

The City of Highland complies with the Americans with Disabilities Act of 1990. If you require special assistance to attend or participate in this meeting, please call the City Clerk's Office at (909) 864-6861 Ext. 226, at least 72 hours prior to the meeting.

Pursuant to Government Code Section 54957.5, any disclosable public records related to an open session item on a regular meeting agenda and distributed by the City of Highland to all or a majority of the Historic and Cultural Preservation Board, less than 72 hours prior to that meeting, are available for public inspection at Highland City Hall, 27215 Base Line, Highland, CA 92346, during normal business hours.

Submission of Public Comments: For those wishing to make public comments by email, please submit your comments by email to be read aloud at the meeting. Email comments must be submitted by 4:00 p.m. on October 3, 2024 to publiccomment@cityofhighland.org. if you are submitting a public comment pertaining to an item on the August 15, 2024 agenda, please identify the agenda item number in the subject line.

Members of the public will be permitted to make public comments in person.

HISTORIC AND CULTURAL PRESERVATION BOARD
SPECIAL MEETING AGENDA
October 3, 2024 - 5:00 P.M.

CALL TO ORDER

Pledge of Allegiance

COMMUNITY INPUT (ITEMS NOT ON THE AGENDA)

To address the Historic and Cultural Preservation Board please complete a speaker form located at the entrance and give it to the Administrative Assistant prior to the beginning of the meeting. Your name will be called when it is your turn to speak. Individual speakers are limited to three minutes each. Comments received via email by October 3, 2024, 4:00 p.m., will be read into the record, provided that the reading shall not exceed three (3) minutes.

BUSINESS ITEM

1. Certificate of Appropriateness No. 24-006 to allow the demolition of two (2) unpermitted patios and to permit a 196 square foot enclosed patio addition, which was constructed without permits to a contributing house in the Historic District. (Location: 6932 Cole Ave.) (Representative: Michael Hanna)

   RECOMMENDATION: Staff recommends the Historic and Cultural Preservation Board:

1. Approve COA-24-006, for demolition of two (2) unpermitted patios and legalize an unpermitted approximate 196 square foot rear living space addition, subject to Conditions of Approval, and;

2. Adopt the Finding of Fact.

ANNOUNCEMENTS

ADJOURN

I, Camille Duarte, Administrative Assistant III of the City of Highland, California, certify that I caused to be posted this agenda on or before the 30th of September 2024 by 4:30 p.m. on our website at www.cityofhighland.org and in the following designated areas:

Highland Branch Library 7863 Central Avenue	Fire Station No. 1 26974 Base Line	City Hall 27215 Base Line

Date: September 30, 2024

Camille Duarte

Camille Duarte, Administrative Assistant III

STAFF REPORT

THE HISTORIC AND CULTURAL PRESERVATION BOARD

DATE: October 3, 2024

FROM: Lawrence A. Mainez, Community Development Director

REVIEWED BY: Kim Stater, Assistant Community Development Director

PREPARED BY: Angela Tafolla, Associate Planner

SUBJECT: Certificate of Appropriateness No. 24-006 to allow the demolition of two (2) unpermitted patios and to permit a 196-square-foot enclosed patio addition, which was constructed without permits, to a contributing house in the Historic District.

LOCATION: 6932 Cole Avenue, Highland Historic District
Assessor's Parcel No. 1191-472-03

REPRESENTATIVE: Michael Hanna

RECOMMENDATION: Staff recommends the Historic and Cultural Preservation Board:

1. Approve COA-24-006, for the demolition of two (2) unpermitted patios and legalize an unpermitted approximate 196 square foot rear living space addition, subject to Conditions of Approval, and;

2. Adopt the Findings of Fact.

ENVIRONMENTAL REVIEW: This project is Categorically Exempt from environmental proceedings pursuant to Section 15331, Class 31, Historical Resource Restoration/Rehabilitation, of the California Environmental Quality Act (CEQA) Guidelines, since the proposed project involves an addition to an existing historic residence that will not expand the building's overall footprint and will preserve the property's distinctive materials, features, spaces, and spatial relationships consistent with the Secretary of the Interior's Standards for Rehabilitation.

Approved _____	Motion _____	Second _____	Agenda Item No. 1
Denied _____	Ayes _____		
	Noes _____		File No. _____
Continue _____	Abstain _____		
	Absent _____		
Recording Secretary		Community Development Director	

PUBLIC NOTICE: As required by City Council Resolution, notice of the public meeting was posted at three (3) designated posting locations within the City. In addition, the notice was posted on the City's website, and mailed to property owners within 300 feet of the project site. No further notice is required.

PUBLIC COMMENT: Staff has not received any public comments in response to the project notice at the time of preparing this staff report.

DESCRIPTION OF SITE: The subject site is located south of Pacific Street and west of Cole Avenue at 6932 Cole Avenue (Attachment 1). The 2001 Historic Architectural Survey (which updated the 1988 Historic Architectural Survey) lists the property as a contributing residence which was constructed circa 1908. The residence is primarily beige in color with brown trim and is characterized by its use of natural materials, a pyramidal hipped roof with exposed rafter tails, a hip-roofed front porch supported by four (4) turned columns, wooden clapboard siding, and a central entrance flanked by two large wooden windows (Attachment 2). In addition, the house has a gray asphalt shingle roof.

The project site also contains a detached 205 square foot carriage house which is constructed of masonry block which has been painted beige and an east/west-facing wood gabled roof with gray asphalt shingles.

BACKGROUND: On April 18, 2024 the property was issued a stop work notice by Building & Safety for conducting work without a permit. The owner was directed to submit plans for the unpermitted repairs made to plumbing, heating and air conditioning, insulation, windows, drywall, and siding and pull a rehabilitation permit.

The San Bernardino County Assessor's Record indicates that an approximately 196 square foot addition to the rear of the residence was originally constructed as an attached patio prior to first assessment of the property in 1952. The patio was enclosed sometime after 2014 to create additional living space for the residence (Attachment 3). The City does not have any permits or certificates of appropriateness on file for the enclosure or any subsequent alterations to the historic home.

PROJECT REVIEW/ANALYSIS: As mentioned above, the residence, which was constructed prior to 1908, is a contributing property within the Historic District. The residence was originally constructed with two (2) bedrooms, living room, kitchen, dining room, and two (2) bathrooms, totaling 852 square feet. The residence was also constructed with an approximately 196 square foot patio on the rear of the residence. The 196 square foot patio located on the rear of the residence was converted to living space for the residence without the necessary permits and approvals.

Prior to receiving a stop-work order, the property owner had replaced the original wood-framed windows with vinyl windows. As part of this project, the vinyl windows will be removed and replaced with wood-framed windows to restore the residence's historic

character. Additionally, the unpermitted patio enclosure, which had been finished with siding matching the original residence, will be modified to avoid creating a false sense of history by using wider siding panels and adding distinctive window trim to differentiate the addition from the original structure (Attachment 4). The addition is located at the rear of the property and will not be visible from the front façade. The applicant also proposes to repaint the exterior of the residence using "Dowing Sand" (SW 2822), an approved Historic District color, and replace the roof with a dimensional composition shingle in a brown tone, as detailed in the submitted plans. To bring the historic residence into compliance the applicant seeks to demolish two unpermitted patios at the rear of the residence.

The proposed addition and alterations are subject to the Secretary of the Interior's Standards for Rehabilitation, which guide the treatment of repairs, alterations, and additions to historic structures (Attachment 5). These standards permit alterations, provided that the features conveying the architectural values of the historic property are preserved with minimal changes to distinctive materials, features, and spatial relationships. The replacement of the vinyl windows with wood-framed windows, along with the other proposed alterations, ensures that the project remains consistent with these standards. Additionally, the enclosed patio will match the existing residence's colors and features without creating a false sense of history.

As such, the proposed project maintains the historical integrity and character of the residence while allowing it to continue functioning as a single-family home. As such, Staff recommends approval of the project, subject to the conditions of approval (Attachment 6) and Findings of Fact.

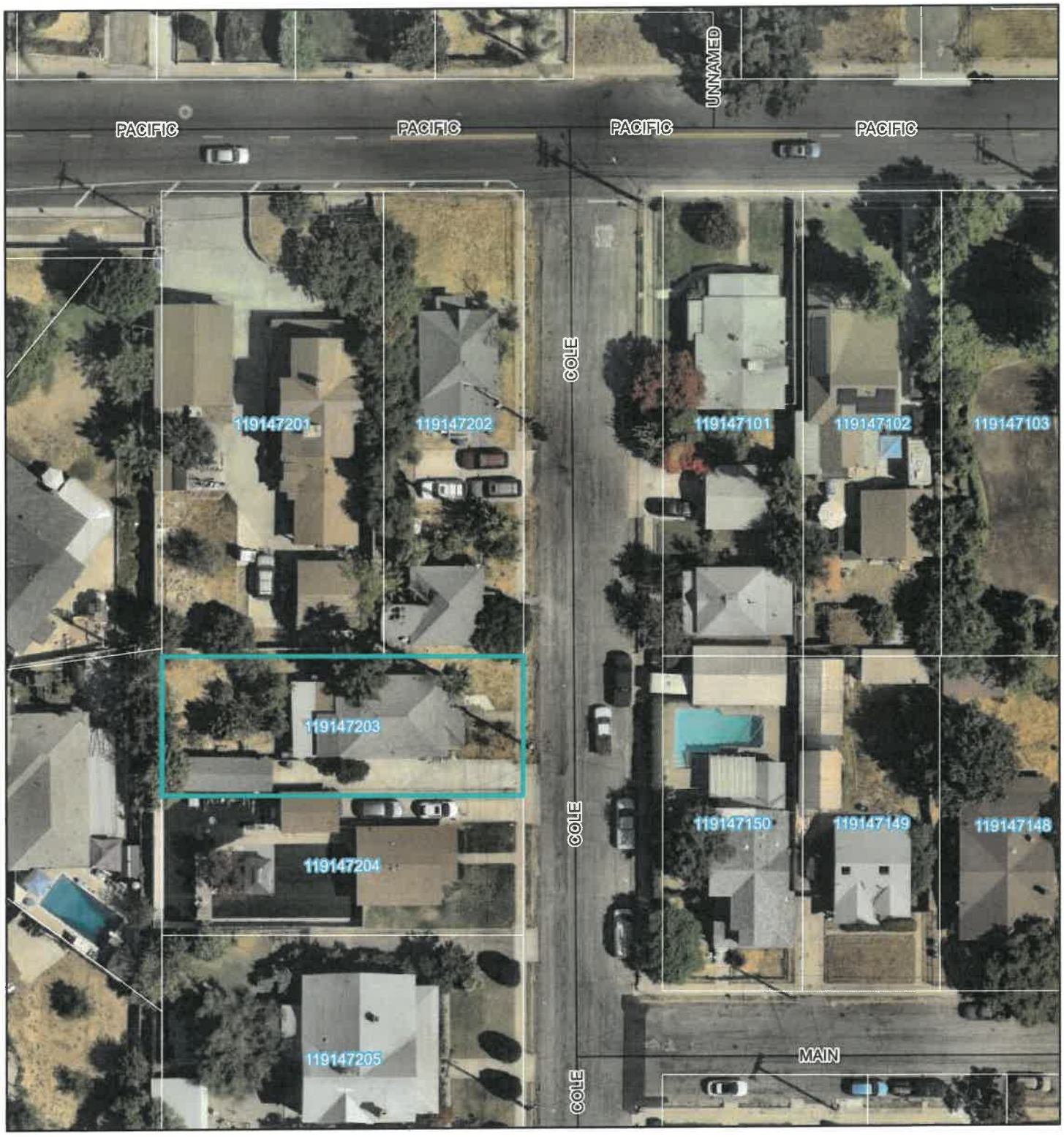
Attachments:

1. Aerial Map
2. Photos
3. San Bernardino County Assessors Records
4. Proposed Project Plan Set
5. Secretary's Standards for Rehabilitation
6. Conditions of Approval
7. Findings of Fact

ATTACHMENT 1

Aerial Map

ArcGIS Web Map



9/26/2024, 1:47:02 PM

1:729

0 25 50 100 ft

0 5 10 20 m

Street Network

Parcels

Nearmap US Vertical Imagery (Esri Telecom)

Red: Band_1

Green: Band_2

Blue: Band_3

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ATTACHMENT 2

Photos

HG95 001276

ATTACHMENT 3

San Bernardino County Assessors Records

RESIDENTIAL BUILDING RECORD

ADDRESS 6754 Cole Ave

1191-472-03-0000

(0287-141-03-0000)

DESCRIPTION OF BUILDING

CLASS & SHAPE	CONSTRUCTION	STRUCTURAL	EXTERIOR	ROOF	LIGHTING	AIR CONDITION	ROOMS	FLOORS	FLOOR FINISH	TRIM	INTERIOR FINISH
D4B	Light	Frame	Stucco on	Flat / Pitch	Wiring	Heating / Cooling		B / 1 / 2	Material / Grade		Walls / Ceilings
ARCHITECTURE	Sub-Standard	Sheathing	Siding	Gable	K.T. / Conduit	Forced / Cleaning	All				
	Standard	Concrete Block		Hip	B.X. / Cable	Gravity / Humid.					
Stories	Above-Standard	B&B / T&G		Shed	Fixtures	Wall Unit	Ent. Hall				
USE TYPE	Special	Brick	Shingles	Cut Up	Few / Cheap	Floor Unit	Living	1	HARD	OP	PL / PL
Single	FOUNDATION	Adobe	Shakes	Dormers	Avg / Medium	Zone Unit	Dining				
Double	Concrete	Floor Joist	B&B / T&G	Gutters	Many / Special	Central					
Duplex	Reinforced	1st - " x " - "	Brick	Shingle	PLUMBING		Bed				
Apartment	Brick	2nd - " x " - "	Stone	Shake	Poor / Good	Oil Burner	Bed				
Flat	Wood	Sub Floor	WINDOWS	Tile	Fixtures		FBM	1	LINO	OP	PAN BRD / CB-TILE
Court	Piers		D.H. / Casement	Tile Trim	Water Heater	M.B.T.U					
Motel		Insulated Ceilings	Steel Sash	Composition	Automatic	Fireplace	Kitchen		LINO		
Units	Light / Heavy	Insulated Walls	Screens	Compo. Shingle	Gas / Elect.		Drain Bd. Material		Lgth.	Ft. Splash	

CONSTRUCTION RECORD

Permit No.	Permit For	Amount	Date	EFFEC. YEAR	APPR. YEAR	Age	Remaining Life	Table	%	Cond.	Arch. Attr.	Func. Plan	Con-form	Storage Space Cup'b'd	Closet	Work-manship
			1908		1950	52	9		36		A	F	A	G	A	A
					1952	32	12	R55	40							
				1918	1950					A	A	F	A	G	A	A
				1908	1957	40	14	R55	41	A	A	A	A	A	A	A
				1908	1968	38	9	R55	35	A	A	A	A	F	A	A
				1930												

BATH DETAIL

Fl.	No.	Finish Floors	Finish Walls	Fixtures WC / Lav. / Tub	Type	Grade	Shower St. / OT / SO	Finish
1	1	TILE	PL	1 / 1 / 1		G		

SPECIAL FEATURES

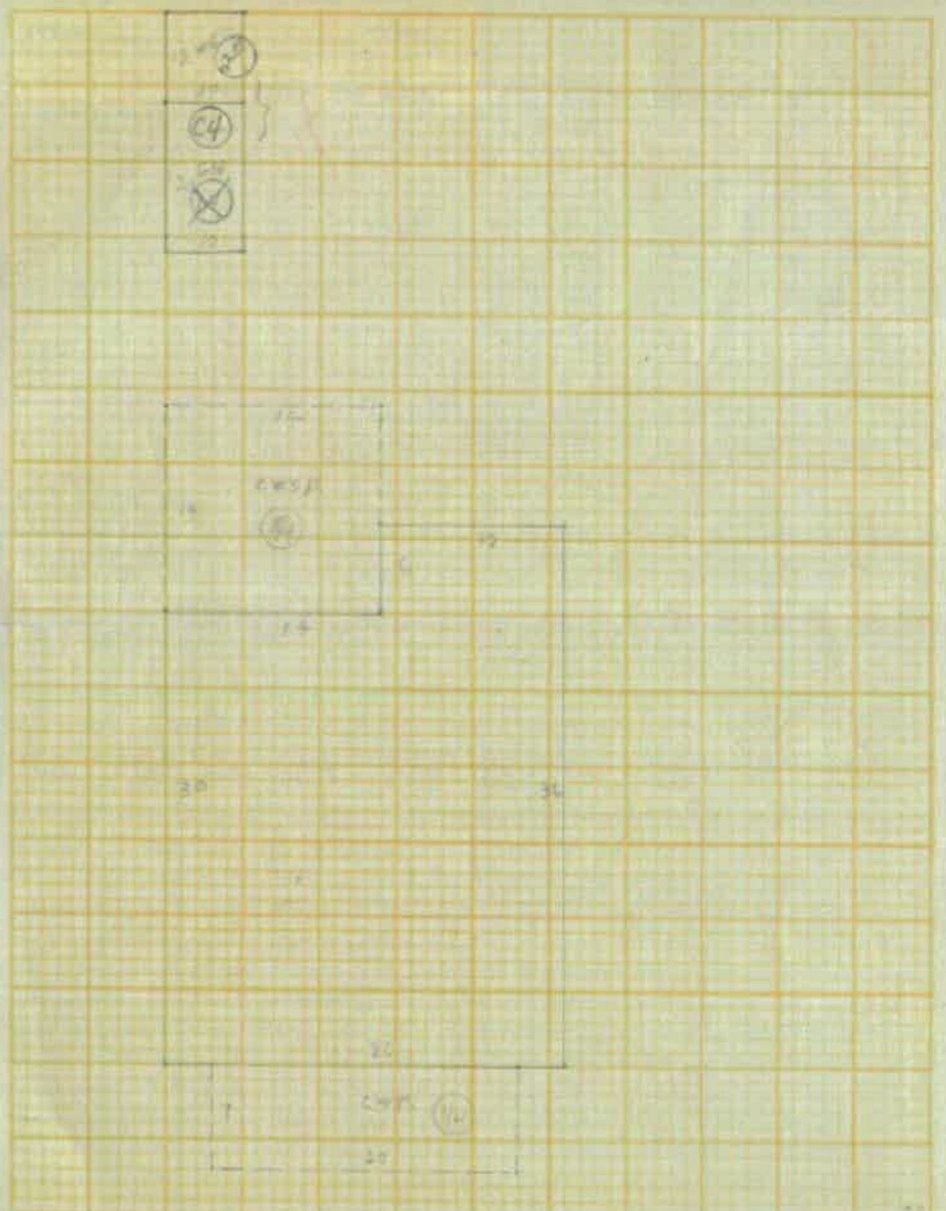
Book Cases | Built-in Beds | Venetian Blinds | Shutters

COMPUTATION

RC

Appraiser & Date		9-4-52		150 7-0-57		199 6-14-61		5/19/65		248 part 10-15-70	
Unit	Area	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost
Res.	852	3.70	3152	5.60	4771	5.90	5027	6.60	5623	7.32	
Cov. P. (1/2)	140	.90	126	1.40	196	1.45	203	1.65	231		
Cov. P. (3/4)	196	2.80	549	4.20	828	4.40	862	4.95	970		
A.C.			130		190		190		190		
Gar.	200	1.50	300	2.50	500	2.55	510	3.20	640	4.58	
Util.	120	1.50	180	2.00	240	2.00	240	2.00	240		
Old Equip.					100		100		150		
TOTAL			4437		6820		7132		7994		9030
NORMAL % GOOD			1952		1950 40		1956 41		1961 35		69 37
R.C.L.N.D.			1864		2728		2924		2798		3340

BPP 1/1930
3-1/365 8-24-76
DM-400 #9



MISCELLANEOUS STRUCTURES

Structure	Found	Cons.	Ext.	Roof	Floor	Int.	Size, etc.
GAR.	[illegible]	[illegible]	[illegible]	COMP.	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]		
Misc	∅						
F.W.	100 ∅	Conc	walks				
Encl	∅						

COMPUTATIONS

Res.
26X30 = 780
12X6 = 72
852

CWP
20X7 = 140

CWSP
14X14 = 196

Gar
10X20 = 200

W/R
10X12 = 120

852
3
...

Remarks:

6-14-61 ... REAPPRAISAL RAISE ...
8/2/65 CHANGE CLASS ON GAR ...
2348(VV)T1-01-7 - PROPER MVC

ATTACHMENT 4

Proposed Project Plans

BEDROOM LEAGALIZATION

6932 COLE AVE, HIGHLAND, CA 92346

NOTES

CODES:
1. ALL WORK TO BE DONE PER CODE AND LOCAL ORDINANCES.
2. ELECTRICAL, MECHANICAL AND PLUMING TO BE PER THE LATEST CODES.
3. WORK MUST COMPLY WITH CURRENT INTERNATIONAL / STATE BUILDING CODE, FIRE, ELECTRIC, PLUMBING, MECHANICAL AND CALGREEN CODES, AND THIS COUNTY STANDARDS.

GENERAL:
1. EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE OR IF WORK AUTHORIZED IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS. A SUCCESSFUL INSPECTION MUST BE OBTAINED WITHIN 180 DAYS.
2. ALL CONSTRUCTION SHALL CONFORM TO CURRENT TITLE 24, CALIFORNIA ADMINISTRATIVE CODE ACCESSIBILITY REQUIREMENTS, AND FEDERAL ADA.
3. DIMENSIONS ON WORKING DRAWINGS GOVERN. DO NOT SCALE DRAWINGS.
4. DETAILS TYPICAL FOR THE TYPE OF CONSTRUCTION SHALL APPLY UNLESS NOTED OTHERWISE, OR MODIFIED BY DETAILS WITHIN THIS DRAWING SET.
5. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND SHALL INCLUDE, IN HIS SCOPE, THE COST FOR COMPLETE FINISHED INSTALLATION, INCLUDING ANOMALIES, OF ALL TRADES. CONTRACTOR SHALL NOTIFY THE ARCHITECT IF FIELD CONDITIONS VARY SUBSTANTIALLY FROM THOSE SHOWN ON THESE DRAWINGS.
6. DURING CONSTRUCTION, CONTRACTORS SHALL NOTIFY THE OWNER AND SEEK CLARIFICATION IF ANY DISCREPANCIES ARE FOUND. CONTRACTORS SHALL BE RESPONSIBLE FOR REMEDIAL WORK IF RELATED WORK IS COMPLETED AFTER A DISCREPANCY IS IDENTIFIED.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT MATERIALS, LABOR, INSTALLATION, ETC., CONFORMS TO THE CODES AND REQUIREMENTS OF LOCAL GOVERNING AGENCIES.
8. NO WORK SHALL COMMENCE WITH UNAPPROVED MATERIALS. ANY WORK DONE WITH UNAPPROVED MATERIALS IS AT THE CONTRACTORS RISK.
9. CONSTRUCTION MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED SO AS TO PREVENT DAMAGE UNTIL USED. FAILURE TO DO SO MAY BE CAUSE FOR REJECTION OF MATERIAL AND OR WORK.
10. FINISHES AND CONSTRUCTION SHALL BE PROTECTED BY THE CONTRACTOR FROM POTENTIAL DAMAGE CAUSED BY CONSTRUCTION ACTIVITY. DAMAGE TO FINISHES OR CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE OWNER'S AND/OR ARCHITECT'S DISCRETION WITH IDENTICAL MATERIAL AND/OR FINISHES.
11. ALL CONTRACTORS SHALL REMOVE TRASH AND DEBRIS RESULTING FROM THEIR WORK ON A DAILY BASIS. PROJECT SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION.
12. IN ADDITION TO ACCESS DOORS AND PANELS SHOWN ON DRAWINGS, PROVIDE AND LOCATE ACCESS DOORS OR PANELS IN CEILINGS AND WALL CONSTRUCTION AS NECESSARY FOR FUTURE ACCESS TO MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS.
13. PROVIDE BACKING FOR ALL CASEWORK, EQUIPMENT AND ACCESSORIES.
14. CONTRACTOR IS TO TEST AND CONFIRM THE FUNCTIONALITY OF ALL EXISTING EXIT SIGNS AND EMERGENCY LIGHTS, AND THEIR BATTERY BACKUP POWER, IN THE VICINITY OF THE PROJECT WORK AREA.
15. CONTRACTOR IS TO INSURE THAT ALL EXISTING FIRE EXTINGUISHERS IN THE VICINITY OF THE PROJECT WORK AREA ARE FULLY CHARGED, FUNCTIONAL AND MEET WITH THE APPROVAL OF THE FIRE MARSHAL.
16. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH THE EXECUTION OF THIS WORK.
17. ALL MATERIALS AND FIXTURES ARE TO HAVE APPROVAL FROM AN APPROVED TESTING AGENCY.
18. STRUCTURAL OBSERVATION IS REQUIRED AT SIGNIFICANT CONSTRUCTION STAGES FOR FOUNDATIONS, SHEAR WALLS, FLAG POLES ETC. CHECK THE STRUCTURAL DRAWINGS AND DOCUMENTS.
19. THE BUILDER/CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE THE CORROSIVE NATURE OR EXPANSIVE SOIL OF THE SITE FOR PROPER PROTECTION OF BURIED PIPES. PROTECTION METHODS MUST FOLLOW ADOPTED CONSTRUCTION CODES OR NATURAL STANDARDS.
20. ALL FENCES, WALLS AND OTHER DETACHED OR ATTACHED STRUCTURES EXCEEDING 42" IN HEIGHT AMONG OTHER WORKS REQUIRE SEPARATE PERMITS, CHECK THE DRAWINGS AND DOCUMENTS CAREFULLY. FOUNDATIONS: (UNLESS NOTED OTHERWISE ON STRUC. DRAWINGS & CALCS.)
21. ULTIMATE CONCRETE STRENGTH TO BE 4500 P.S.I. TYPE "V" CEMENT WITH W/C RATIO =0.45 AFTER 28 DAYS U.N.O.
22. PROVIDE 5/8" DIAMETER FOUNDATION BOLTS IMBEDDED 7" IN CONCRETE AND SPACED 6-0" ON CENTER (MAXIMUM) AND WITHIN 12" OF A CORNER, OPENING OR SPLICE W/3"X3"X.229"WASHERS U.N.O.
23. A CORROSION RESISTED WEEP SCREED AT FOUNDATION PLATE LINE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING 4" MINIMUM HEIGHT ABOVE GRADE.
24. DRAINAGE PIPING IN THE GROUND SHALL BE LAID ON A FIRM BED FOR ITS ENTIRE LENGTH AND BACKFILLED IN THIN LAYERS TO 12" ABOVE TOP OF PIPE WITH CLEAN EARTH, FREE FROM STONES AND BOULDERS.

LUMBER AND FRAMING: (UNLESS NOTED OTHERWISE ON STRUC. DRAWINGS.)
1. USE DOUGLAS FIR CONSTRUCTION GRADE #1 FOR 6X6 AND LARGER. D.F. GRADE #2 FOR ALL 4X6 AND SMALLER. SEE STRUCTURAL DRAWINGS.
2. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED OR WOOD.
3. RESISTANT TO DECAYS 2304.11-6" ABOVE FIN. GRADE OR 2" ABOVE CONC. SURFACES SEC. 2304.11.4 TUB AND SHOWER WALLS SHALL BE PROTECTED WITH WATERPROOF PAPER/ KRAFT PAPER OR FELT. MOISTURE CONTENT LIMIT IS 19%.
4. RAFTER TIES 4'-0" O.C. ARE REQUIRED IMMEDIATELY ABOVE CEILING JOISTS WHEN RAFTERS DO NOT PARALLEL CEILING JOISTS.
5. PLYWOOD EDGES AT SUBFLOOR SHALL HAVE TONGUE AND GROVE OR SOLID BLOCKING AT EDGES.
6. WALLS CONTAINING 3" OR 4" DIAMETER DRAIN, WASTE AND VENT PIPING SHALL BE SIZED TO ALLOW CUTTING, NOTCHING AND BORING (2X6 MIN.).
7. PLYWOOD ROOF PANELS SHALL BE BONDED WITH INTERMEDIATE OR EXTERIOR GLUE, AND WHERE EXPOSED TO WEATHER, SHALL BE EXTERIOR GRADE.
8. NO STRUCTURAL MEMBER SHALL BE SERIOUSLY WEAKENED OR IMPAIRED BY CUTTING OR NOTCHING.
9. CUTTING, NOTCHING, AND BORING OF FRAMING MEMBERS SHALL BE IN ACCORDANCE WITH 09-IBC/10-CBC/11—LABC WALLS/FLOORS CONTAINING DRAIN, WASTE AND VENT PIPES, GAS AND/OR ELECTRICAL PIPING CONDUIT SHALL COMPLY WITH LATEST CODES.
10. TWO (2) LAYERS OF GRADE "D" PAPER (FELT) OVER PLYWOOD SHEAR WALLS.
11. ROOFS SHALL HAVE IMPERVIOUS MOISTURE BARRIER OR FELT UNDERLAYMENT.
12. CORROSION RESISTANT FASTENER SHALL BE HOT-DIPPED GALVANIZED "HDG".

BUILDING:
1. ALL DOORS AND SWINGING WINDOWS SHALL BE WEATHER STRIPPED.
2. ALL METAL WINDOWS AND SLIDING GLASS DOORS SHALL BE IN COMPLIANCE WITH ANSI STANDARDS A1341 OR A1342.
3. ALL GLAZING INSTALLATION SHALL COMPLY WITH TITLE 24 OF ENERGY CONSERVATION REQUIREMENTS.
4. EXIT DOORS & ESCAPE WINDOWS MUST BE OPERABLE FROM INSIDE WITHOUT SPECIAL KNOWLEDGE OR THE USE OF TOOLS, LATCH/DEAD BOLT 48" A.F.F. MAX.
5. ROOFING MATERIALS TO BE CLASS "C" MINIMUM, ROOF PITCH IS 1/4" PER FOOT UNLESS NOTED OTHERWISE ON THE DRAWINGS.

LIGHT AND VENTILATION:
1. ROOMS USED FOR LIVING, SLEEPING, EATING OR COOKING SHALL BE PROVIDED WITH NATURAL LIGHT EQUAL TO 8% OF THE FLOOR AREA.
2. ROOMS USED FOR LIVING, SLEEPING, EATING OR COOKING SHALL BE PROVIDED WITH NATURAL VENTILATION EQUAL TO ONE TWENTIETH OF THE FLOOR AREA, 15 SQ. MIN.
3. BATHROOMS,LAUNDRY AND SIMILAR ROOMS SHALL HAVE NATURAL VENTILATION NOT LESS THAN 4% OF THE FLOOR AREA OR PROVIDE MECHANICAL VENTILATION WITH A MIN. OF 5& AIR CHANGES PER HOUR. DISCHARGE POINT SHALL BE 3' FROM NEAREST OPENING.
4. BEDROOMS MUST HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ECAPE OR RESCUE WHICH SHALL OPEN DIRECTLY TO AN OPEN YARD THE MIN. NET CLEAR AREA OF THE WINDOW SHALL HAVE 5.7 SQ.FT. (5 SQ.FT. @ GRADE LEVEL) WITH A MIN. WIDTH OF 20" AND A MIN. HEIGHT OF 24". THE SILL HEIGHT IS 44 INCHES MAX. AND 24" MIN.
5. EVERY DWELLING ROOM SHALL BE PROVIDED WITH HEATING FACILITIES CAPABLE OF MAINTAIN A ROOM TEMPERATURE OF 70 DEGREES AT ANY POINT 3. FT ABOVE THE FLOOR.
6. A DOOR IS NOT PERMITTED FROM THE GARAGE TO ANY BEDROOM.
7. EXTERIOR DOORS REQUIRE AN EXTERIOR LIGHT FIXTURE, A LANDING AND PEEP HOLE.
8. WHEN APPLYING STUCCO OVER PLYWOOD, THE MOISTURE BARRIER SHALL CONSIST OF 2 LAYERS GRADE "D" PAPER MINIMUM.
9. SMOKE AND CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN AREAS GIVING ACCESS TO SLEEPING ROOMS ON OR NEAR THE CEILING, IN EACH SLEEPING ROOM, IN EACH STORY OF A MULTIPLE STORY DWELLING, AND WHERE CEILING HEIGHT EXCEEDS THE HALLWAY HEIGHT BY 24". HARDWIRED/BATTERY BACKUP/ AUDIBLE ALARM.
10. HABITABLE SPACES SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-6" ALL OTHER ROOMS SHALL HAVE A CEILING HEIGHT OF 7'-0".
11. ATTIC ACCESS OF 20" X 30" (MINIMUM) WITH 30" OF HEAD ROOM ABOVE OPENING, 30" X 30" IF FAU IS INSTALLED IN ATTIC, AND SHALL BE READILY ACCESSIBLE.
12. ATTIC VENTILATION, EQUAL TO 1/150 OF SPACE VENTILATED, SHALL BE PROVIDED OR AS REQUIRED FOR FORCED AIR UNIT.
13. PROVIDE A MINIMUM OF TWO 3/4" HOSE BIBS, ONE READILY ACCESSIBLE TO THE FRONT AND ONE READILY ACCESSIBLE TO THE BACK. PROVIDE ANTI-SIPHON DEVICE.
14. DETAILS OF STAIRWAY MUST COMPLY WITH 12-ICB/203-CBC/11-LABC.
15. DETAILS OF GUARDRAILS AT FLOOR AND ROOF OPENINGS, BALCONIES, OR PORCHES MORE THAN 30" ABOVE GRADE, AND OCCUPIED ROOFS, SHALL COMPLY WITH 12-ICB/2016-CBC.
16. ALL RECEPTACLES ABOVE COUNTER IN BATHROOMS, KITCHEN AND GARAGE BE PROTECTED BY GFIS.
17. AIR DUCTS / STEEL SHALL BE 0.019IN THK.(28GA.GALV.) W/O OPENINGS.
18. MAX. FLAME SPREAD CLASS OF ALL FINISHES III EXCEPT KITCHEN AND BATHROOMS.

GLASS & GLAZING:
1. GLASS IN ALL LIGHTS SHALL BE FIRMLY SUPPORTED ON ALL SIDES BY FRAME W/ MIN. LAPS EDGE CLEARANCE PER T-24-3.
2. FRAMES IN ALL LIGHTS SHALL SUSTAIN DEFLECTION PERPENDICULAR ON GLASS <1/175 OF EDGE LENGTH OR 3/4" WHICHEVER IS LESS.
3. LIGHTS/ GLAZING > 9SF. SHALL BE FULLY TEMPERED, CATEGORY II.
4. LIGHTS/GLAZING <9SF. SHALL BE STANDARD FLAT, CATEGORY I.
5. SAFETY GLAZING SHALL BE PROVIDED IN SLIDING DOOR AND FIXED OR OPERABLE PANEL ADJACENT TO A DOOR IN CLOSED POSITION AND THE BOTTOM EDGE IS LESS THAN 60" ABOVE WALKING SURFACES.

ENERGY CALCULATIONS, INSULATION AND LIGHTING:
1. CONTRACTOR SHALL POST THE INSULATION CERTIFICATE CF—4R), (CF-6R)LIGHTING (LTG01)FORMS & INSULATION CERTIFICATE(IC-1)FORM IN A CONSPICUOUS SPACE OR KEPT WITH PLANS AND MADE AVAILABLE TO THE INSPECTOR.
2. CONTRACTOR SHALL PROVIDE COPIES OF THE CF-1R, MF-1R, CF—6R,LTG01 AND IC-1 FORMS TO THE BUILDING OWNER.

SPECIAL FEATURES INSPECTION CHECKLIST:
1. THE ENFORCEMENT AGENCY SHOULD PAY SPECIAL ATTENTION TO THE ITEMS SPECIFIED IN THIS CHECKLIST. THESE ITEMS REQUIRE SPECIAL WRITTEN JUSTIFICATION AND DOCUMENTATION, AND SPECIAL VERIFICATION TO BE USED WITH THE PERFORMANCE APPROACH. THE ENFORCEMENT AGENCY DETERMINES THE ADEQUACY OF THE JUSTIFICATION, AND MAY REJECT A BUILDING OR DESIGN THAT OTHERWISE COMPLIES BASED ON THE ADEQUACY OF THE SPECIAL JUSTIFICATION AND DOCUMENTATION SUBMITTED. HERS REQUIRED VERIFICATION.
2. THE INSPECTOR MUST RECEIVE A COMPLETED CF—4R FORM FOR EACH OF THE MEASURES LISTED BELOW FOR FINAL TO BE GIVEN.

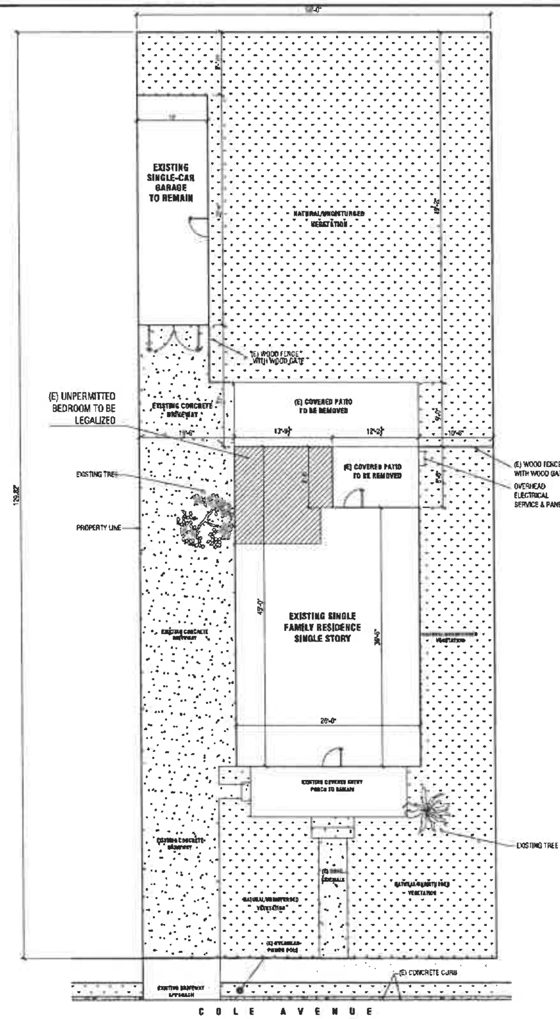
SYMBOLS

BUILDING SECTION: A / A4.0	SECTION IDENTIFICATION; SHEET WHERE SECTION IS DRAWN
DETAIL: 1 / A5.0	DETAIL IDENTIFICATION; SHEET WHERE DETAIL IS DRAWN
13	DOOR NUMBER
A	WALL TYPE
EQUIPMENT I.D.: 1 / 120	EQUIPMENT NUMBER; ROOM NO.
INTERIOR ELEVATION: 1	ELEVATION NUMBER
4 A0.0 2 / 3	INDICATED SHEET ELEVATION DRAWN ON
5 / A4.1	WALL SECTION
OFFICE / 100	ROOM NAME; ROOM NUMBER
A / 1	COLUMN LINE GRID
#	SHEET NOTE
	ELEVATION POINT
0	REVISION DELTA
	MATCH LINE

ABBREVIATIONS

A.B.	ANCHOR BOLT	MATL.	MATERIAL
A.C.	ASPHALTIC CONCRETE	MAX.	MAXIMUM
A/C	AIR CONDITIONING	MECH	MECHANICAL
A.C.T.	ACOUSTIC CEILING TILE	MET.	METAL
ACOUS.	ACOUSTICAL	MFR.	MANUFACTURER
A.F.F.	ABOVE FINISH FLOOR	MISC.	MISCELLANEOUS
AL/ALUM	ALUMINUM	MIN.	MINIMUM
∠	ANGLE	(N)	NEW
APPROX.	APPROXIMATE	N	NORTH
ARCH.	ARCHITECTURAL	N.I.C.	NOT IN CONTRACT
		NO./#	NUMBER
BD.	BOARD	N.T.S.	NOT TO SCALE
BLDG.	BUILDING	O/	OVER
BLKG.	BLOCKING	O.C.	ON CENTER
B.O.	BY OTHERS	O.D.	OUTSIDE DIAMETER
CAB.	CABINET	OPNG.	OPENING
℄	CENTER LINE		
CLG.	CEILING	P. LAM.	PLASTIC LAMINATE
CLR.	CLEAR	PNL.	PANEL
C.M.U.	CONCRETE MASONRY UNIT	PR.	PAIR
		RAD	RADIUS
COL.	COLUMN	REC	RECESSED
CONC.	CONCRETE	RECT	RECTANGLE
CONST.	CONSTRUCTION	REF	REFERENCE
CONT.	CONTINUOUS	REINF	REINFORCEDING
CPT.	CARPET	REQ	REQUIRED
C.W.	COLD WATER	R.O.	ROUGH OPENING
DTL.	DETAIL	S.C.	SOLID CORE
DEMO.	DEMOLITION	SCHED.	SCHEDULE
DIA.	DIAMETER	S.F.	SQUARE FOOT
DIM.	DIMENSION	SHT.	SHEET
DWG.	DRAWING	SIM.	SIMILAR
		SPECS.	SPECIFICATIONS
EA.	EACH	SQ.	SQUARE
ELEV.	ELEVATION	STD.	STANDARD
ELEC.	ELECTRICAL	STL.	STEEL
EQ.	EQUAL	ST.STL.	STAINLESS STEEL
EXH.	EXHAUST	STRUCT.	STRUCTURAL
(E)	EXISTING	S.S.	SANITARY SEWER
EXT.	EXTERIOR	SUSP.	SUSPENDED
EXP.	EXPANSION	T.O.	TOP OF
E.O.	EDGE OF	TEMP.	TEMPERED
E.W.	EACH WAY	T.O.S.	TOP OF SLAB
FIN	FINISH	TYP.	TYPICAL
F.O.F.	FACE OF FINISH	U.N.O.	UNLESS NOTED OTHERWISE
F.O.S.	FACE OF STUDS		
FT.	FEET		
GA.	GAUGE	V.I.F.	VERIFY IN FIELD
GALV.	GALVANIZED	V.C.T.	VINYL COMP. TILE
GYP.BD.	GYPSUM BOARD		
I.D.	INSIDE DIAMETER	W/	WITH
INCL.	INCLUDING	W/O	WITHOUT
INSUL.	INSULATION	WIN.	WINDOW
INT.	INTERIOR	WD.	WOOD
JAN.	JANITOR		
K.S.	KNEE SPACE		

SITE LAYOUT



SITE LAYOUT
SCALE: 1/8" = 1'-0"

PROJECT INFORMATION

PROJECT:

PROJECT ADDRESS :	6932 COLE AVE, HIGHLAND, CA 92346
OWNER:	CESAR AUGUSTO MENDOZA
LEGAL DESCRIPTION:	AMENDED MAP COLES ADD TO HIGHLAND LOT 24LAND TYPE:
LAND TYPE:	SINGLE FAMILY RESIDENTIAL
PARCEL :	1191472030000
LOT AREA:	+/- 5,446 SF (0.15 ACRES)
EXISTING HOUSE:	ONE STORY HOUSE
ZONING :	SINGLE RESIDENTIAL
PROJECT SCOPE OF WORK :	1- LEGALIZING AN EXISTING UNPERMITTED BEDROOM 2- REMOVE AND DEMOLISH UNPERMITTED REAR PATIOS.

HOUSE AREAS	BEFORE	AFTER
(E)COVERED PATIO 01	221.55SF	104.12SF
MAIN DWELLING	950.22SF	1067.75SF
TOTAL	1,171.87SF	1,171.87SF
(E)DETACHED GARAGE:	323.33SF	323.33 SF
(E)COVERED PATIO 02	234SF	234SF
(E)COVERED ENTRY PORCH	157.29SF	154.29SF
FOOTPRINT:	1,883.49SF	1,883.49SF
LOT COVERAGE		1883.49/5446 29.2%

SPRINKLERS: NO SPRINKLERS

ALL WORK SHALL COMPLY WITH LATEST APPLICABLE CODES INCLUDING BUT NOT LIMITED TO:
- 2022 CRC / 2021 IRC
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA EXISTING BUILDING CODE
- 2022 CMC / 2021 UMC
- 2022 CBC / 2021 IBC
- 2022 CA/GREEN
- 2022 CALIFORNIA HISTORICAL BUILDING CODE
- 2022 CEC / 2020 NEC
- 2022 CPC / 2021 UPC
- CITY OF ONTARIO MUNICIPAL CODE

SHEET LIST

ARCHITECTURAL
1. A-0.0 COVER SHEET & SITE PLAN
2. G-1.0 GENERAL NOTES
3. A-1.0 EXISTING FLOOR PLAN
4. A-1.1 PROPOSED FLOOR PLAN
5. A-1.2 PROPOSED UTILITY FLOOR PLAN
6. A-2.0 EXISTING ROOF PLAN
7. A-3.0 ARCHITECTURAL ELEVATIONS
8. A-4.0 ARCHITECTURAL SECTIONS
9. A-6.0 DOORS, WINDOWS & FINISH SCHEDULES
10. CG-1.0 CALIFORNIA GREEN BUILDING STANDARDS CODE - 1
11. CG-2.0 CALIFORNIA GREEN BUILDING STANDARDS CODE - 2

VICINITY MAP

NORTH

SITE

SITE MAP

NORTH

SITE

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PROJECT:
BEDROOM LEAGALIZATION
6932 COLE AVE, HIGHLAND, CA 92346

OWNER:

ISSUE / REVISION	DATE
HISTORICAL REVIEW	07/09/24
RESPONDING TO HISTORICAL	09/17/24

TITLE: COVER SHEET & SITE PLAN

PREPARED BY:	
CHECKED BY:	MICHAEL HANNA
DATE:	05.13.2024
SCALE:	
JOB NO.	24-012

SHEET NO:
A-0.0

GENERAL NOTES & FASTENER SCHEDULE

1. GENERAL NOTES

A. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE BEFORE COMMENCING ANY PORTION OF THE WORK AND SHALL NOTIFY THE ARCHITECT AND OWNER IN WRITING IMMEDIATELY IF THERE ARE ANY DISCREPANCIES, COMMENCEMENT OF THE WORK SHALL CONSTITUTE FULL ACCEPTANCE OF ALL DIMENSIONS AND SITE CONDITIONS.

B. ALL OMISSIONS OR DISCREPANCIES BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS WHICH MAY REQUIRE CLARIFICATION OR ADDITIONAL DETAILS SHALL BE BROUGHT IN WRITING TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR HIS REVISION BEFORE PROCEEDING WITH ANY WORK, IF THE CONTRACTOR PROCEEDS TO COMPLETE THE WORK ON HIS OWN HE SHALL ASSUME FULL RESPONSIBILITY FOR ALL WORK

C. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS METHODS, SEQUENCES AND FOR ALL SAFETY PRECAUTIONS AND PROGRESS IN CONNECTION WITH THE WORK.

D. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY SHORING AND BRACING SYSTEMS REQUIRED TO PERFORM T WORK UNLESS SPECIFICALLY DETAILED ON THESE DRAWINGS.

E. THESE DRAWINGS HAVE BEEN PREPARED SPECIFICALLY FOR THE WORK SHOWN ON THEM. A LIMITED INSPECTION OF THE BUILDING WAS MADE BY F.M. DIAZ, ARCHITECT, TO THE EXTENT INDICATED BY THESE DRAWINGS. USE OF THESE DRAWINGS CONSTITUTES AN ACCEPTANCE OF THIS LIMITED INSPECTION AND ALL OTHER TERMS AND CONDITIONS..

F. DO NOT SCALE ANY OF THESE DRAWINGS

G. ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE.

H. PROJECT MUST COMPLY WITH LIGHT AND VENTILITATION REQUIREMENTS OF LATEST CALIFORNIA ENERGY CODE.

1. A SEPARATE PERMIT MUST BE SECURED FOR ALL ELECTRICAL

PLUMBING AND MECHANICAL WORK

J. NOTES AND DETAILS ON THESE DRAWINGS SHALL TAKE

PRECEDENCE OVER THESE GENERAL NOTES. K. PROTECT ALL EXISTING STRUCTURES, LANDSCAPING AND MATERIALS DURING CONSTRUCTION.

L. PATCH AND ALL SURFACES DISRUPTED OR DAMAGED DURING CONSTRUCTION TO MATCH EXISTING ADJACENT SURFACES

M. THE CONTACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ALL ACCUMULATIONS OF WASTE MATERIAL OR RUBBISH CAUSED BY HIS EMPLOYEES, SUPPLIERS, SUBCONTRACTOR AND OTHERS, AND THE COMPLETION OF THE WORK SHALL REMOVE ALL RUBBISH, DEBRIS, EQUIPMENT AND SURPLUS MATERIALS FROM IN AND ABOUT THE BUILDING, AND LEAVE THE SITE CLEAN.

WOOD

A. LUMBER SHALL BE GRADED AND DRESSED IN ACCORDANCE WITH THE LATEST WEST COAST LUMBER GRADING RULES.

B. ALL STUDS, PLATES, AND MISCELLANEOUS FRAMING GRADE SHALL BE SHOWN ON THE CONSTRUCTION DRAWINGS, MINIMUM GRADE SHALL BE DOUGLAS-FIR-LARCH

C. HORIZONTAL SPANNING STRUCTURAL LUMBER SUCH AS BEAMS JOISTS, RAFTERS, GIRDERS, ETC., SHALL BE AS SHOWN ON THE DRAWINGS

D. ALL DIAPHRAGM AND SHEAR WALL NAILING SHALL BE INSPECTED BY THE MUNICIPAL INSPECTOR PRIOR TO COVERING WITH ROOF, FLOOR OR WALL COVERINGS

E. IN STUD WALLS, 2 INCH THICK FORELOCKING SHALL BE PROVIDED IN ACCORDANCE WITH THE LATEST CALIFORNIA BUILDING CODE.

F. SOLID BLOCKING OR BRIDGING SHALL BE PROVIDED AT & FOOT ON CENTER MAXIMUM FOR FLOOR JOIST AND ROOF RAFTER FRAMING SOLID BLOCKING SHALL BE PLACED BETWEEN ALL JOISTS AND RAFTERS AT ALL SUPPORTS.

G. STANDARD CUT WASHERS SHALL BE USED FOR ALL HOLES IN TIMBER BOLT HOLES IN WOOD SHALL BE 1/16 INCH OVERSIZE. ALL EXPOSED BOLTS PROTRUDING THROUGH THE NUT OVER "ALL EXPOSED BOLTS PROTRUDING THROUGH THE NUT OVER INCH SHALL BE CUT BACK TO FACE OF NUT AND GROUND SMOOTH.

H.HALL BOLTS SHALL BE TIGHTENED PRIOR TO NAILING OF WALL SHEATHING, STEEL SHIM PLATES SHALL BE ADDED BENEATH BEAMS AND HEADERS AT SUPPORTS WHERE SHRINKAGE HAS OCCURRED.

I.ALL NAILS SHALL BE COMMON WIRE UNLESS OTHEWISE NOTED. ALL NAILED FASTENING SHALL BE IN ACCORDANCE WITH THE LATEST CALIFORNIA BUILDING CODE. UNLESS OTHERWISE NOTED.

J. SILL PLATES RESTING ON CONCRETE OR MASONRY AND ARE WITHIN 48 INCHES OF ADJACENT GRADE SHALL BE PRESSURE TREATED. SILL PLATES SHALL BE NO LESS THAN THE WIDTH OF THE STUDS AND SHALL BE FASTENED TO THE TOP OF THE WALL WITH 5/8" INCH DIAMETER ANCHOR BOLTS AS SHOWN ON THE DRAWINGS ONE ANCHOR BOLT SHALL BE LOCATED WITHIN 12"INCHES OF EACH SILL END..

STRUCTURAL STEEL

A. ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC MANUAL FOR STEEL CONSTRUCTION AND CODE OF STANDARD PRACTICE

B. ALL STRUCTURAL SHEEL SHAPES AND PLATES SHALL CONFORM TO ASTM A36 SPECIFICATIONS.

C. ALL PIPE SHALL CONFORM TO ASTM SPECIFICATIONS AS SHOWN ON THE DRAWINGS.

D. ALL WELDING SHALL BE DONE BY CERTIFIED WELDERS IN AN APPROVED FABRICATION SHOP. ALL FIELD WELDING IS DESIGNED FOR HALF STRESSES AND DOES NOT REQUIRE CONTINUOUS INSPECTION BY A REGISTERED DEPUTY INSPECTOR UNLESS SPECIFICALLY NOTED ON THE DRAWINGS, WELDING SHALL BE DONE WITH THE SHIELDED ELECTRIC ARC PROCESS USING REQUIRED ELECTRODES.

DRYWALL

A. USE 4 INCH THICK TYPE X "SHEETROCK" OR EQUAL ON WALLS AND " THICK TYPE X "SHEETROCK" OR EQUAL ON CEILING TYPICALLY. USE 5/8" INCH THICK TYPE X "SHEETROCK"OR EQUAL WHERE SPECIFICALLY NOTED ON THESE DRAWINGS AND DETAILS.

B. BATHROOM WALL DRYWALL SHALL BE WATER RESISTANT. ALL DRYWALL EXPOSED TO THE ENVIRONMENT SHALL BE WATER RESISTANT.

C.INSTALL GYPSUM BOARDS IN LENGTHS AND DIRECTIONS WHICH WILL MINIMIZE NUMBER OF END JOINTS, AND AVOID END JOINTS IN THE CENTRAL AREA OF CEILINGS. INSTALL BOARDS AT RIGHT ANGLES WITH SUPPORTS, WITH END-JOINTS STAGGERED OVER SUPPORTS, EXCEPT WHERE RECOMMENDED IN DIFFERENT ARRANGEMENT BY THE MANUFACTURE.

D.INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURES SPECIFICATIONS. TAPE ALL JOINTS AND EDGES WITH FRACTUREPROOF TAPE OF THE SAME MANUFACTURER AS NOTE.

VENTILATION

A. BATHROOM VENTILATION (MECHANICALLY OPERATED VENTILATION) SHALL BE INSTALLED IN COMPLIANCE WITH THE LATEST CALIFORNIA BUILDING CODE

THERMAL INSULATION

A ROOF-CEILING AREA SHALL HAVE A MINIMUM R-30 RATED INSULATION.
B.EXTERIOR WALLS SHALL HAVE THE FOLLOWING INSULATION

2X4..............R-13	2X10...................R-30
2X6..............R-19	BETWEEN FLRS R-30

C. EXTERIOR SWING DOORS SHALL BE FULLY WEATHER-STRIPPED.

D. UPON COMPLETION OF INSULATION INSTALLATION, BOTH THE BUILDER AND THE INSULATION APPLICATOR SHALL EXECUTE A CARD CERTIFYING THAT THE INSULATION HAS BEN INSTALLED IN CONFORMANCE WITH TITLE 24 OF THE CALFORNIA ADMINISTRATIVE CODE. THE CARD MUST BE POSTED IN A CONSPICUOUS LOCATION WITHIN THE BUILDING.

DRAFT STOPS AND FIRE STOPS

A. DRAFT STOPS AND FIRE STOPS SHALL BE CONSTRUCTED PER CALIFORNIA BUILDING CODE.

PLASTERING (STUCCO)

A. GENERAL STANDARD AMSI AS SHOWN ON THE LATEST EDITION OF CALIFORNIA BUILDING CODE, FOR INTEGRAL COLORED PORTLAND CEMENT PLASTERING.

B EXTERIOR CEMENT PLASTERING MATERIALS AND INSTALLATION SHALL CONFORM TO THE SPECIFICATIONS CONTAINED IN CHAPTER 47 OF CALIFORNIA BUILDING CODE.

B. PATCHING: PLASTER CONTAINING CRACKS, BLISTERS, GITS, CHECKS OR DISCOLORATION WILL NOT BE ACCEPTABLE SUCH PLASTER SHALL BE REMOVED AND REPLACED WITH PLASTER CONFORMING TO THIS SPECIFICATION, PATCHING OF DEFECTIVE WORK WILL BE PERMITTED ONLY WHEN SPECIFICALLY APPROVED BY THE OWNER SUCH PLASTER SHALL MATCH ADJACENT WORK IN COLOR AND TEXTURE.

C TOLERANCE: FINISHED SURFACES OF PLASTER SHALL BE TRUE PLANES, LEVEL WITH 1/8" INCH IN 10 FEET NON ACCUMULATIVE WHEN TESTED WITH A STRAIGHT EDGE IN ANY DIRECTION AND SUCH SURFACES SHALL BE WITHOUT CONCAVE OR CONVEX IRREGULARITIES WITHIN THE NOTED 10 FEET.GREATER DEVIATIONS WILL NOT BE ACCEPTABLE AND SHALL BE REMOVED AND REPLACED A SPECIFIED ABOVE FOR PATCHING

ROOFING

EAGLE TILES:
THESE ROOF TILES ARE INTERLOCKING EXTRUDED CONCRETE ROOF TILES COMPOSED OF TYPE II PORTLAND CEMENT, WASHED SAND AND PROPRIETARY ADDITIVES AND COMPLY WITH ASTM C1492, TILES ARE MANUFACTURED WITH ¾ INCH WIDE INTERLOCKING SIDELAPS DESIGNED TO RESIST SURFACE WATER PENETRATION AND MAINTAIN PROPER ALIGNMENT. ALL TILES HAVE PROTRUDING HEAD LUGS ON THE UNDERSIDE, WHICH PROVIDE FOR MECHANICAL ATTACHMENT TO SOLID DECKING.

WOOD TRUSSES

NEW WOOD TRUSSES SHALL BE DESIGNED AND FABRICATED BY A LICENSED TRUSS MANUFACTURER IN COMPLIANCE WITH THE CURRENT CALIFORNIA BUILDING CODE AND TRUSS PLATE INSTITUTE RECOMMENDATIONS, CALCULATIONS AND SHOP DRAWINGS OF THE NEW TRESES SHALLBED REVIEWED, STAMPED AND SIGNED BY THE MANUFACTURER'S LICENSED CIVIL OR STRUCTURAL ENGINEER AND SHALL BE SUBMITTED TO THE ARCHITECT OF RECORD TO BE SUBMITTED TO THE CITY BUILDING DEPARTMENT FOR THEIR REVIEW AND APPROVAL PRIOR TO FABRICATION.

THE FOLLOWING AR MINIMUM RECOMMENDED DESIGN LOADS

MINIMUM ROOF DEAD LOAD.........................9.0 PSF
(DOES NOT INCLUDE TRUSS WEIGHT)
MINIMUM CEILING LOADS ....6.0 PSF
MINIMUM ROOF LOADS.............................16.0 PSF

ALL DIMENSIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE THE TRUSS MANUFACTURER MUST VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO FABRICATING. CONTRACTOR MUST STORE THE TRUSSES AND INSTALL THE TRUSSES PER THE MANUFACTURER'S RECOMMENDATIONS

NAILING WILL BE IN COMPLIANCE WITH TABLE R602,3(1)

NAIL SCHEDULE

NAIL	box LOAD	common LBS
6d	51	63
8d	63	78
10d	76	94
12d	76	94
16d	82	107
20d	94	139

NOTE

1. STEEL WASHERS SHALL BE USED FOR ALL ANCHOR BOLTS AND HOLDOWNS.

2. ANCHOR BOLTS AT LOCATIONS NO SHOWN SHALL BE AS SHOWN BELOW:

WASHER SCHEDULE

BOLT SIZE	PLATE WASHER SIZE
5/8"	3" X 3" X.229"
1"	3" X 3" X.229"
3/8"	3/8" X 3.5" X3.5"

Material specifications on the plans:

a. Wood: DOC PS20, Douglas Fir-Larch.

b. Wood structural panels: DOC PS1 or DOC PS2.

c. Wood fastener, Table 2304.9.1.

d. Reinforcing steel: ASTM Number, Grade, ASTM AG15 GR 60

Add notes to plan:

a. Field cut ends, notches and drilled holes of preservative-treated wood shall be treated in the field in accordance with AWPA M4. (R17.1.1)

f. Fasteners in contact with preservative-treated or for fire-retardant treated wood sha be hot dipped zinc-coated galvanized steel, stainless steel, silicon bronze or coppe (R317.3)

TABLE R602.3(1) FASTENING SCHEDULE

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION
[illegible]	[illegible]	[illegible]	[illegible]

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 mile per hour = 0.447 m/s; 1 Ksi = 6.895 MPa.

a. All nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80 ksi for shank diameter of 0.192 inch (20d common nail), 90 ksi for shank diameters larger than 0.142 inch but not larger than 0.177 inch, and 100 ksi for shank diameters of 0.142 inch or less.

b. Staples are 16 gage wire and have a minimum 7/16-inch on diameter crown width.

c. Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.

d. Four-foot by 8-foot or 4-foot by 9-foot panels shall be applied vertically.

e. Spacing of fasteners not included in this table shall be based on Table R602.3(2).

f. For regions having basic wind speed of 110 mph or greater, 8d deformed (21/2" × 0.120) nails shall be used for attaching plywood and wood structural panel roof sheathing to framing within minimum 48-inch distance from gable end walls, if mean roof height is more than 25 feet, up to 35 feet maximum.

g. For regions having basic wind speed of 100 mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framing shall be spaced 6 inches on center. When basic wind speed is greater than 100 mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eaves and gable end walls; and 4 inches on center to gable end wall framing.

h. Gypsum sheathing shall conform to ASTM C 1396 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM C 208.

i. Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and required blocking and at all floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking. Blocking of roof or floor sheathing panel edges perpendicular to the framing members need not be provided except as required by other provisions of this code. Floor perimeter shall be supported by framing members or solid blocking.

j. Where a rafter is fastened to an adjacent parallel ceiling joist in accordance with this schedule, provide two toe nails on one side of the rafter and toe nails from the ceiling joist to top plate in accordance with this schedule. The toe nail on the opposite side of the rafter shall not be required.

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PROJECT:
BEDROOM LEAGALIZATION
6932 COLE AVE, HIGHLAND, CA 92346

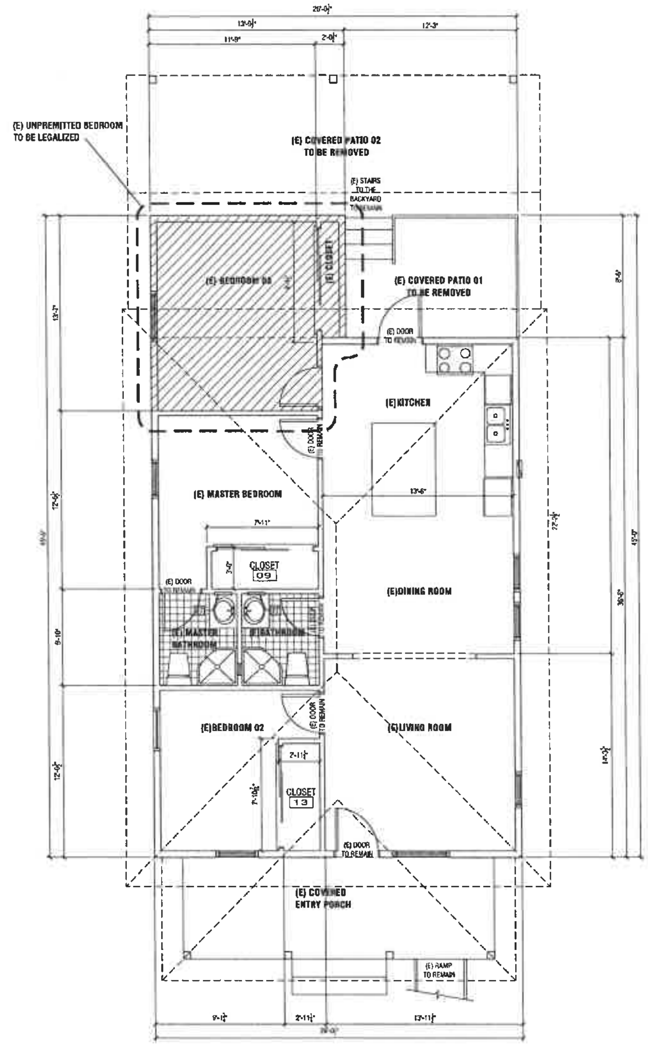
OWNER:

ISSUE/ REVISION	DATE
HISTORICAL REVIEW	07/09/24
RESPONDING TO HISTORICAL	09/17/24

TITLE
GENERAL NOTES & FASTENER SCHEDULE

PREPARED BY:	
CHECKED BY:	MICHAEL HANNA
DATE:	05.13.2024
SCALE:	
JOB NO.	24-012

SHEET NO:
G-1.0



① **EXISTING FLOOR PLAN**

SCALE: 1/4" = 1'-0"

PROJECT NORTH

N

WALL LEGEND

- EXISTING WALL (INTERIOR / EXTERIOR) TO REMAI
- EXISTING WALL (INTERIOR / EXTERIOR) TO BE DE
- EXISTING WINDOW / DOOR TO BE DEMO
- NEW EXTERIOR WALL , WITH 2X6 STUDS AT 16" C AND 5/8" GYPSUM BOARD ON EACH SIDE. EXTER WALLS SHALL HAVE INSULATION PER T24
- NEW INTERNAL WALL, WITH 2x4 STUDS AT 16" O. 5/8" GYPSUM BOARD ON EACH SIDE.
- NEW INTERNAL WALL, WITH 2x2.5 STUDS AT 16" AND 5/8" GYPSUM BOARD ON EACH SIDE.

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OWNER:

ISSUE / REVISION	DATE
HISTORICAL REVIEW	07/09/24
RESPONDING TO HISTORICAL	09/17/24

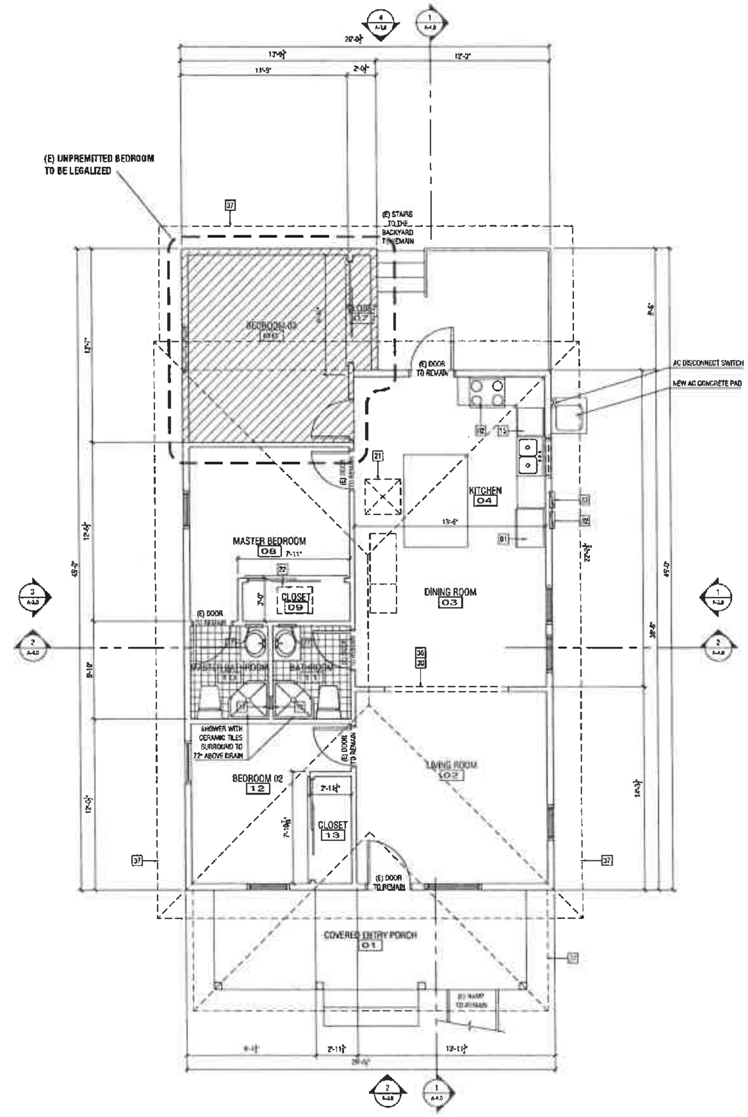
TITLE

EXISTING FLOOR PLAN

PREPARED BY:	
CHECKED BY:	MICHAEL HANNA
DATE:	05.13.2024
SCALE:	
JOB NO.	24-012

SHEET NO:

A-1.0



① **PROPOSED FLOOR PLAN**

SCALE: 1/4" = 1'-0"

LIGHTING & VENTING CALC.:

BEDROOM 03 : FLOOR AREA: 148.00 SF
REQUIRES 8% GLAZED OPENING: 148.00 SF X 8% = 11.84 SF
PROVIDED OPENING AREA:
1@3'-6"X 4'-0" WINDOWS = 1X (3'-6"X4'-0") = 14 SF
TOTAL GLAZED OPENING AREA: 14.0 SF > 11.84 SF O.K.
REQUIRES 4% VENTILATION: 148.00 SF X 4% = 5.92 SF
PROVIDED VENTILATION AREA:
1@3'-6"X 4'-0" WINDOWS = 1X (3'-6"X4'-0")/2 = 7.0 SF
TOTAL VENTILATION AREA: 7.0 SF > 5.92 SF O.K.

MASTER BEDROOM : FLOOR AREA: 114.00 SF
REQUIRES 8% GLAZED OPENING: 114.00 SF X 8% = 9.12 SF
PROVIDED OPENING AREA:
1@2'-8"X 4'-0" WINDOWS = 1X (2'-8"X4'-0") = 10.66 SF
TOTAL GLAZED OPENING AREA: 10.66 SF > 9.12 SF O.K.
REQUIRES 4% VENTILATION: 114.00 SF X 4% = 4.56 SF
PROVIDED VENTILATION AREA:
1@2'-8"X 4'-0" WINDOWS = 1X (2'-8"X4'-0")/2 = 5.33 SF
TOTAL VENTILATION AREA: 5.33 SF > 4.56 SF O.K.

BEDROOM 02 : FLOOR AREA: 104.00 SF
REQUIRES 8% GLAZED OPENING: 104.00 SF X 8% = 8.32 SF
PROVIDED OPENING AREA:
1@3'-0"X 5'-0" WINDOWS = 1X (3'-0"X5'-0") = 15 SF
TOTAL GLAZED OPENING AREA: 15 SF > 8.32 SF O.K.
REQUIRES 4% VENTILATION: 104.00 SF X 4% = 4.16 SF
PROVIDED VENTILATION AREA:
1@3'-0"X 5'-0" WINDOWS = 1X (3'-0"X5'-0")/2 = 7.5 SF
TOTAL VENTILATION AREA: 7.5 SF > 4.16 SF O.K.

KITCHEN, DINING AND LIVING ROOM : FLOOR AREA: 480.00 SF
REQUIRES 8% GLAZED OPENING: 480.00 SF X 8% = 38.4 SF
PROVIDED OPENING AREA:
1@3'-0"X 2'-0" WINDOWS = 1X (3'-0"X2'-0") = 6 SF
2@2'-8"X 4'-0" WINDOWS = 1X (2'-8"X4'-0") = 10.66 SF
1@2'-6"X 5'-0" WINDOWS = 1X (2'-6"X5'-0") = 12.50 SF
1@4'-0"X 5'-0" WINDOWS = 1X (4'-0"X5'-0") = 20.00 SF
TOTAL GLAZED OPENING AREA: 49.16 SF > 38.4 SF O.K.
REQUIRES 4% VENTILATION: 480.00 SF X 4% = 19.2 SF
PROVIDED VENTILATION AREA:
1@3'-0"X 2'-0" WINDOWS = 1X (3'-0"X2'-0")/2 = 3 SF
2@2'-8"X 4'-0" WINDOWS = 1X (2'-8"X4'-0")/2 = 5.33 SF
1@2'-6"X 5'-0" WINDOWS = 1X (2'-6"X5'-0")/2 = 6.25 SF
1@4'-0"X 5'-0" WINDOWS = 1X (4'-0"X5'-0")/2 = 10.00 SF
TOTAL VENTILATION AREA: 24.58 SF > 19.2 SF O.K.

GENERAL PLAN NOTES

1. ALL INTERIOR DOORS TO BE HOLLOW CORE $1\frac{3}{8}$" TICK U.N.O. (SEE PLAN FOR SIZE) AT DOUBLE INTERIOR DOOR CONDITIONS PROVIDE DEADBOLT AT OF INACTIVE DOOR.
2. ALL GARAGE SERVICE DOORS TO BE HOLLOW CORE $1\frac{3}{4}$" THICK EXTERIOR GRADE. (SEE PLAN FOR SIZE).
3. ALL ENTRY DOORS TO BE SOLID CORE $1\frac{3}{4}$" THICK. (SEE PLAN FOR SIZE). AT DOUBLE ENTRY DOOR CONDITIONS PROVIDE DEADBOLT AT OF INACTIVE DOOR.
4. NOT USED.
5. BUILDER SHALL VERIFY WITH MANUFACTURER THAT ALL ESCAPE OR RESCUE WINDOWS HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SF, GRADE FLOOR OPENINGS SHALL HAVE A MIN. NET CLEAR OPENING OF 5SF. THE MIN. NET CLEAR OPENING HEIGHT SHALL BE 24". THE MIN. CLEAR OPENING WIDTH SHALL BE 20" AND THE BOTTOM OF THE CLEAR OPENING NO GREATER THAN 44" ABOVE THE FLOOR.
6. ALL WINDOWS TO BE NFPA APPROVED VINYL WINDOWS WITH AT LEAST ONE PANE TEMPERED U.N.O.
7. ALL EXTERIOR WOOD DOORS TO BE SOLID CORE.
8. FENESTRATION U-VALES AND SHG VALUES:

	U-VALUE	SHG VALUE
FIXED WDWS.	0.30	0.23
SINGLE HUNG WDWS	0.30	0.23
SLIDER WDWS	0.30	0.23
SLIDING GLASS DOORS	0.30	0.23
FRENCH DOORS	0.30	0.23

9. ALL WOOD BEAMS, JOISTS, STUDS AND OTHER COMBUSTABLE MATERIAL SHALL HAVE A MINIMUM CLEARANCE OF 2IN. FROM THE FRONT AND 4IN. FROM THE BACK FACES OF MASONRY FIREPLACES.
10. THE ELEC. PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH AND SPACE RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
11. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.
12. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES CONDUITS OR OTHER OPENINGS IN SOLE / BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS.
8. BUILDING AND OPERATIONS MAINTENANCE SHALL BE PROVIDED AT THE TIME OF FINAL INSPECTION AND PLACED AT THE BUILDING.

FLOOR PLAN NOTES

1. 36" CLEAR REFRIGERATOR SPACE. PLUMB FOR WATER SUPPLY. VERIFY WIDTH AND DEPTH IF BUILT-IN REFRIGERATOR.
2. ELECTRIC 30" COOKTOP AND METAL EXHAUST HOOD ABV. W/ LIGHT AND FAN.
   - 2.1. KITCHEN RANGE EXHAUST HOOD IN ACCORDANCE WITH 2022 CMC SEC. 501.1 AND 507.2.
   - 2.2. THE EXHAUST FAN FOR THE KITCHEN HOOD (400 CFM) SHALL BE IN ACCORDANCE WITH 150.0(o)IGiii. OF THE 2022 CEnC.
   - 2.3. 6" MIN. DIAMETER, RIGID METAL DUCT, VENTED OUTSIDE, 3'-0" FROM EXTERIOR OPENINGS. 2022 CMC SEC. 504.3 ET.AL).
3. PANTRY SEE INTERIOR ELEVATIONS.
4. 30" BUILT-IN OVEN / MICROWAVE COMBINATION. OPTIONAL 30" BUILT-IN DOUBLE OVEN.
5. 5'-0" PRE-FAB FIBERGLASS TUB/SHOWER WITH WATER RESISTANT WAINSCOT TO 72" ABOVE DRAIN U.N.O PROVIDE SHOWER CURTAIN ROD U.N.O.
6. PRE-CAST SHOWER PAN. SEE PLAN FOR SIZE. TILE TO 72" ABOVE DRAIN U.N.O.
7. SHATTERPROOF GLASS SHOWER ENCLOSURE. SHOWER DOOR TO BE A MIN. 22" CLEAR.
8. 54" X 30" TUB WITH TILE WAINSCOT. PROVIDE MOTOR ACCESS PANEL AT OPTIONAL SPA / HYDROMASSAGE BATHTUBS. VERIFY SIZE AND LOCATION OF ACCESS PANEL.
9. SHOWER SEAT SEE PLAN FOR HEIGHT.
10. LINEN CABINET. SEE INTERIOR ELEVATIONS
11. BUILT-IN SHELVES.
12. RECESSED SOAP NICHE, 14" WIDE X 16" HIGH.
13. NOT USED.
14. TEMPERATURE AND PRESSURE RELIEF VALVE.
15. UNDER COUNTER DISHWASHER.
16. PROVIDE WATER, WATER BOX AND WASTE FOR WASHER.
17. PROVIDE SMITTY PAN WITH DRAIN BENEATH WASHER.
18. DRYER VENT (MAX. 14 FEET LENGTH INCLUDING 2 90 DEGREE ELBOWS.
19. FIELD-BUILT SHOWER. SEE PLAN FOR DIMENSIONS. TILE TO 72" ABOVE DRAIN U.N.O.
20. PLUMBING WASTE DROP FROM ABOVE.
21. F.A.U. IN ATTIC. PROVIDE 30"X30" CLEAR, ATTIC ACCESS PANEL, PROVIDE GAS, LIGHT AND SWITCH.
22. 22"X30" ROUGH FRAMED ATTIC ACCESS OPENING.
23. BUILT-IN MICROWAVE OVEN, WHEN DOUBLE OVEN OCCURS.
24. FUTURE EV CHARGING
25. 1INCH (INSIDE DIAMETER) LISTED RACEWAY TO ACCOMODATE THE 208/240 VOLT BRANCH CIRCUIT.
26. IRRIGATION CONTROLLER
27. RECESSED CLASSIC MEDICINE CABINET, JENSEN 420BC BASIC STYLELINE
28. NOT USED
29. DIRECT-VENT SEALED COMBUSTION TYPE (NON-WOOD BURNING, GAS ONLY). EXTERIOR FIREPLACE. SEE PLAN FOR FIREPLACE BOX SIZE. PROVIDE F.G., IGNITOR SWITCH, DIRECT-VENT TERMINATION PER MFR. SEE MFR SPECS. FOR RAISED HEARTH REQUIREMENTS (HEATILATOR NOVUS NDV 4236 - UL-MH15519 OR EQUAL).
30. 2X6 STUD WALL.
31. PONY WALL. SEE PLAN FOR HEIGHT.
32. FUTURE PHOTOVOLTAIC SYSTEM COMBINER PANEL.
33. ELECTRICAL SERVICE PANEL. SEE GENERAL NOTES FOR GROUNDING INFORMATION.
34. NEWEL POST.
35. FLAT SOFFIT. SEE PLAN FOR HEIGHT OR DETAIL.
36. ARCHED SOFFIT. SEE PLAN FOR HEIGHT OR DETAIL.
37. LINE OF ROOF ABOVE.
38. SHELF, SEE PLAN FOR HEIGHT.
39. ENCLOSED ACCESSIBLE SPACE UNDER STAIR SHALL BE PROTECTED WITH $\frac{1}{2}$" GYPSUM BOARD ON ENCLOSED SIDE.
40. 42" HIGH GUARD.
41. 34" - 38" HIGH HANDRAIL ABOVE NOSING.
42. NOT USED.
43. ADHERED MASONRY VENEER.
44. INDOOR TANKLESS WATER HEATER BY NORITZ, MODEL NRIII-DV. (OR EQUAL) PROVIDE GAS AND INSTALL PER MANUFACTURER.
45. OUTDOOR TANKLESS WATER HEATER. RINNAI HIGH EFFICIENCY PLUS 7.5-GPM 180000-BTU OUTDOOR NATURAL GAS TANKLESS WATER HEATER.
46. DOOR OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE SOLID WOOD DOOR NOT LESS $1\frac{3}{8}$ INCHES IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN $1\frac{3}{8}$ INCHES TICK, OR 20 MINUTE FIRE RATED DOORS, EQUIPPED WITH SELF-CLOSING AND SELF LATCHING DEVICES.
47. PROVIDE MIN. 100 SQ.IN. OPENING FOR MAKE UP AIR LAUNDRY ROOM.
48. PRE-FABRICATED FIBERGLASS SHOWER / BATHTUB WITH INTEGRAL SURROUND TO 72" ABOVE DRAIN U.N.O. TILE SURROUND OPTIONAL.
49. TOWEL STORAGE SHELVING, SEE INT. ELEV.
50. 7'-0" WIDE CONCRETE DOOR LANDING

WALL LEGEND

- EXISTING WALL (INTERIOR / EXTERIOR) TO REMAIN
- EXISTING WALL (INTERIOR / EXTERIOR) TO BE DEMO
- EXISTING WINDOW / DOOR TO BE DEMO
- NEW EXTERIOR WALL , WITH 2X6 STUDS AT 16" O.C. AND 5/8" GYPSUM BOARD ON EACH SIDE. EXTERNAL WALLS SHALL HAVE INSULATION PER T24
- NEW INTERNAL WALL, WITH 2x4 STUDS AT 16" O.C. AND 5/8" GYPSUM BOARD ON EACH SIDE.
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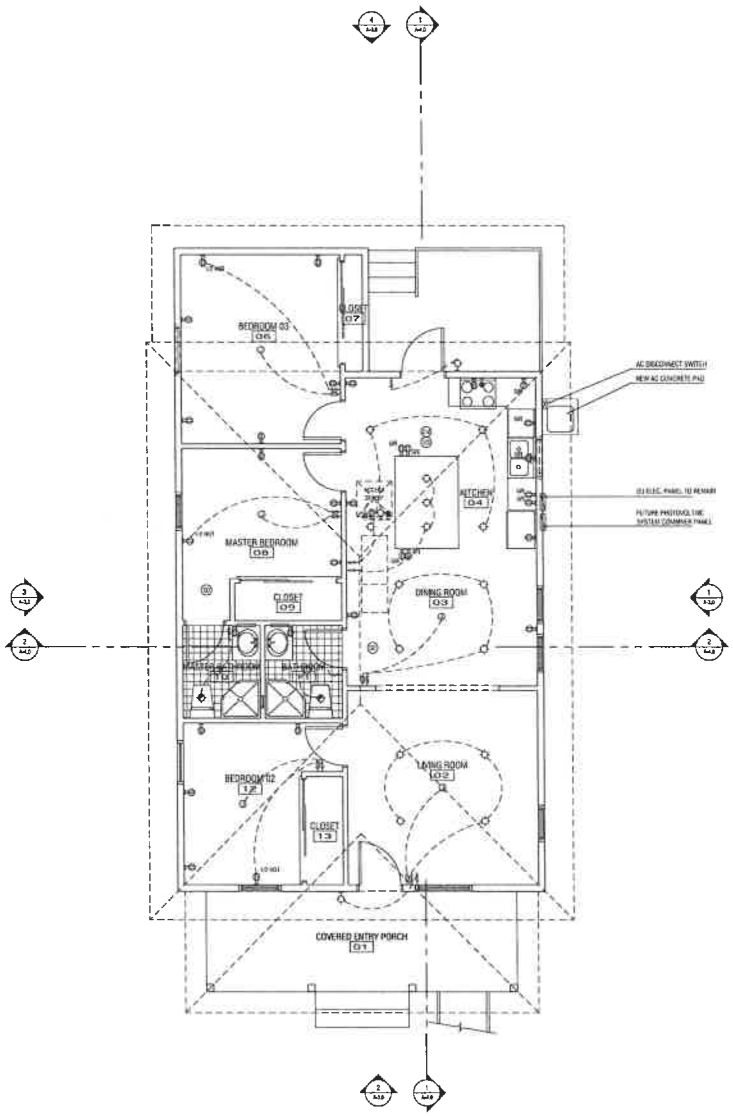
PROJECT:
BEDROOM LEAGALIZATION
6932 COLE AVE, HIGHLAND, CA 92346

OWNER:

ISSUE / REVISION	DATE
HISTORICAL REVIEW	07/09/24
RESPONDING TO HISTORICAL	09/17/24

TITLE: **PROPOSED FLOOR PLAN**

PREPARED BY:
CHECKED BY: MICHAEL HANNA
DATE: 05.13.2024
SCALE:
JOB NO. 24-012
SHEET NO:
A-1.1



1 **PROPOSED UTILITY FLOOR PLAN**
SCALE 1/4" = 1'-0"
PROJECT NORTH N

FLOOR PLAN NOTES

1. 30" CLEAR REFRIGERATOR SPACE. PLUMB FOR WATER SUPPLY, VERIFY WIDTH AND DEPTH IF BUILT-IN REFRIGERATOR.
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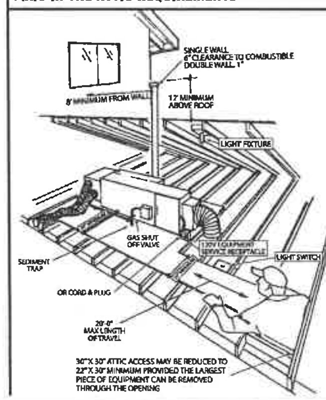
F.A.U IN THE ATTIC REQUIREMENTS



ATTIC F.A.U. NOTES

- A. FURNACE SHALL BE LISTED FOR INSTALLATION IN ATTIC OR IN A FURRED SPACE.
- B. FURNACE SHALL BE LISTED FOR USE ON COMBUSTIBLE FLOORING.
- C. ATTIC OPENING AND PASSAGEWAY SHALL BE LARGE ENOUGH FOR REMOVAL OF FURNACE.
- D. PROVIDE MINIMUM 24"/ WIDE SOLID CONTINUOUS FLOOR FOR PASSAGEWAY.
- E. FURNACE SHALL BE NOT MORE THAN 20 FT. FROM ATTIC OPENING.
- F. PROVIDE UNOBSTRUCTED LEVEL WORKSPACE OF 30"X30" MINIMUM IN FRONT OF EQUIPMENT.
- G. VENT THROUGH ROOF A MIN. OF 5 FT. ABOVE THE HIGHEST VENT COLLAR WHICH IT SERVES.
- H. FURNACE INSTALLATION SHALL MEET ALL LISTED CLEARANCES.
- I. RAISE PLATFORM AND PASSAGEWAY FLOOR SUFFICIENTLY SO INSULATION BENEATH WILL NOT BE COMPRESSED.

WALL LEGEND

- EXISTING WALL (INTERIOR / EXTERIOR) TO REMAIN
- EXISTING WALL (INTERIOR / EXTERIOR) TO BE DEMO
- EXISTING WINDOW / DOOR TO BE DEMO
- NEW EXTERIOR WALL , WITH 2X6 STUDS AT 16" O.C. AND 5/8" GYPSUM BOARD ON EACH SIDE. EXTERNAL WALLS SHALL HAVE INSULATION PER T24
- NEW INTERNAL WALL, WITH 2x4 STUDS AT 16" O.C. AND 5/8" GYPSUM BOARD ON EACH SIDE.
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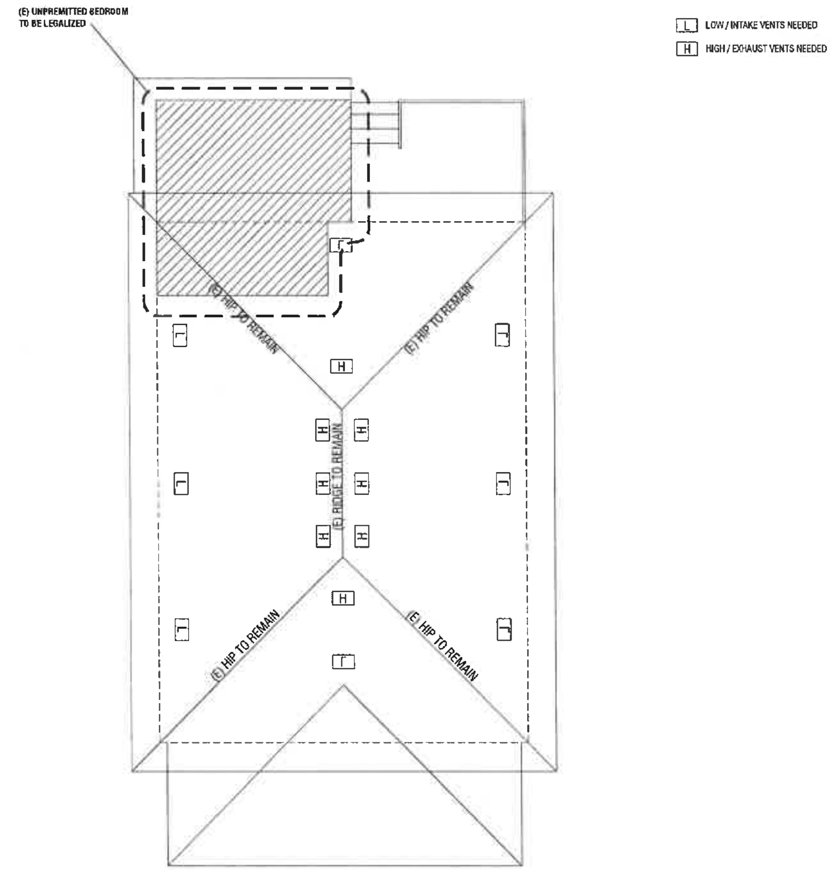


1 **EXISTING ROOF PLAN**
SCALE: 1/4" = 1'-0"

ATTIC VENTILATION

O'HAGIN
THE TECHNOLOGICAL LEADER IN ATTIC VENTILATION

Address:
6932 COLE AVE, HIGHLAND

1. **TOTAL SQUARE FEET OF ATTIC SPACE TO BE VENTILATED**

Total Square Feet Of Attic Space To Be Ventilated:
1067.75'

Required Method:
1/150

Calculation:
1067.75 ÷ 150 = 7.12 Sq. Ft. Of Code Required Ventilation

2. **CONVERT SQUARE FEET OF CODE-REQUIRED VENTILATION TO SQUARE INCHES**

Square Feet Of Code Required Ventilation
7.12

Calculation:
7.12 X 144 = 1025.28 Sq. In Of Code Required Ventilation

3. **SELECT MATERIAL AND DETERMINE VENTS REQUIRED**

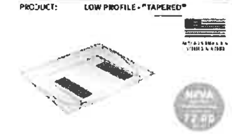
Material:
Composition Shingle

PLACEMENT
Square Inches Provided: (15 X 72) – 1152 Sq. In
Square Inches Needed: 7.12 X 144 = 1025.28 Sq. In **High / Exhaust Vents Needed:** 8
Low / Intake Vents Needed: 8 **Total Vents Needed:** 16

www.ohagin.com

210 Classic Court, Suite 100 • Rohnert Park, CA 94928
Toll Free 877-324-0444 • Fax 707 588 9187

MATERIAL: COMPOSITION SHINGLE
PRODUCT: LOW PROFILE - "TAPERED"



Benefits of Attic Ventilation
1. Extends the roof's life
2. Curb appeal
3. Balanced System
4. Fits with Solar Systems
5. Validate the Warranty
6. Enhances Above-Sheathing Ventilation (ASV)
7. Reduces Moisture/Removes Trapped Gases
8. Energy conservation

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PROPOSED ROOF FLOOR PLAN

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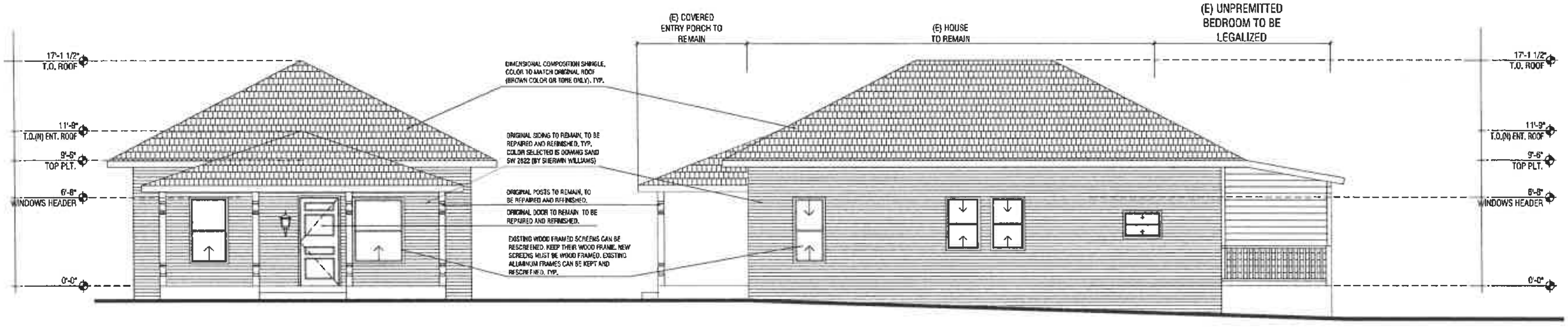
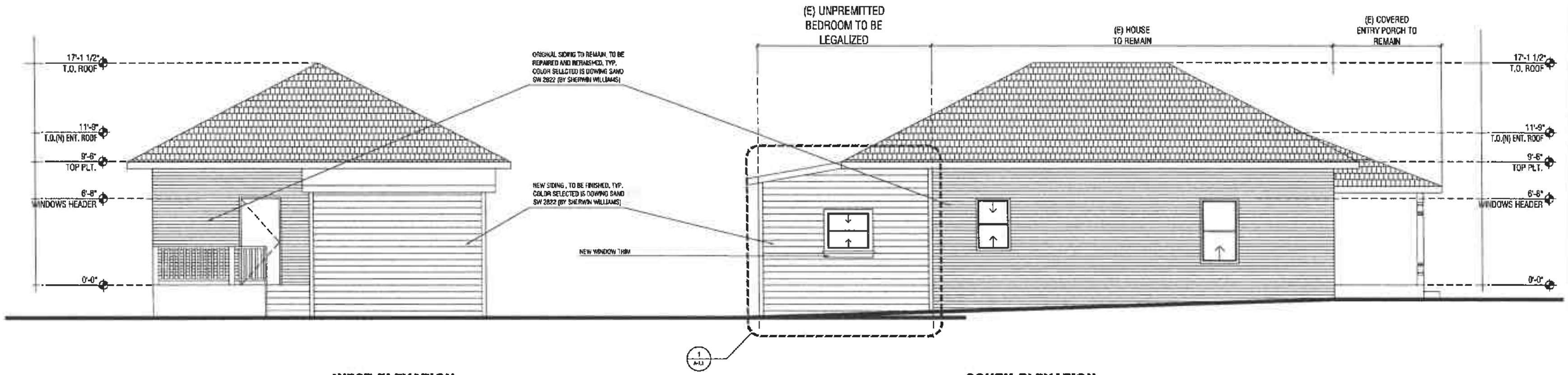
CHECKED BY:	MICHAEL HANNA
DATE:	05.13.2024
SCALE:	
JOB NO.	24-012

SHEET NO:
A-2.0



2 **EAST ELEVATION**
SCALE: 1/4" = 1'-0"

1 **NORTH ELEVATION**
SCALE: 1/4" = 1'-0"



4 **WEST ELEVATION**
SCALE: 1/4" = 1'-0"

3 **SOUTH ELEVATION**
SCALE: 1/4" = 1'-0"

NOTE:
1. IF A SHINGLE ROOF IS TO BE REPLACED, THE SPACED SHEATHING (ORIGINAL NAILING STRIPS), IF PRESENT, SHALL BE PRESERVED IN PLACE. IF IT IS NECESSARY TO INSTALL NEW PLYWOOD, START BEHIND THE EAVES, WHERE IT WILL NOT BE VISIBLE.
2. NEW GALVANIZED DRIP EDGES SHALL BE IRON IF AVAILABLE. IT SHALL BE PAINTED TO MATCH THE TRIM OF THE STRUCTURE.

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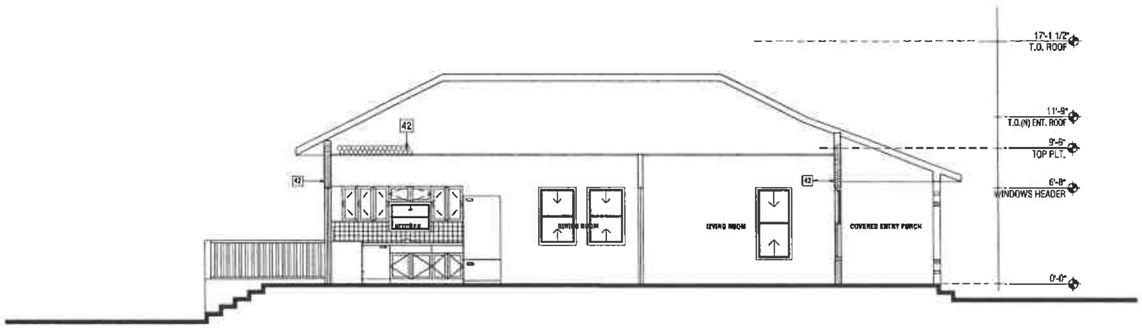
PROJECT:
BEDROOM LEAGALIZATION
6932 COLE AVE, HIGHLAND, CA 92346

OWNER:

ISSUE / REVISION	DATE
HISTORICAL REVIEW	07/09/24
RESPONDING TO HISTORICAL	09/17/24

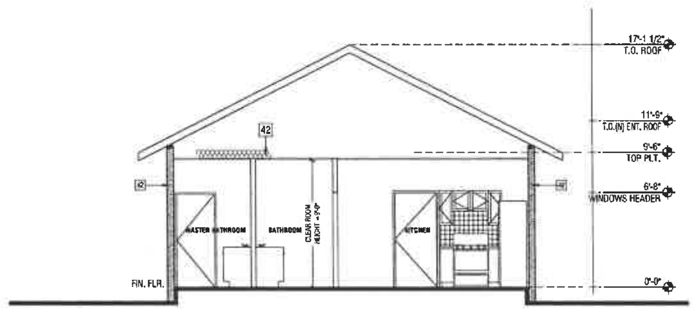
TITLE
ELEVATIONS

PREPARED BY:
CHECKED BY: MICHAEL HANNA
DATE: 05.13.2024
SCALE:
JOB NO. 24-012
SHEET NO:
A-3.0



3 **SECTION B - B**

SCALE: 1/4" = 1'-0"



3 **SECTION B - B**

SCALE: 1/4" = 1'-0"

SECTION NOTES

1. FASCIA BOARD. (SEE ELEVATION)
2. BARGE BOARD. (SEE ELEVATION)
3. EXPOSED RAFTER TAILS. (SEE ELEVATION)
4. ROOFING MATERIAL, REFER TO ROOF PLAN NOTES
5. ROOF SHEATHINGS
6. DESIGNED WOOD ROOF TRUSSES.
7. HEEL STAND TRUSSES.
8. GIRDER TRUSS
9. 2X ROOF RAFTERS.
10. 2X ROOF JOISTS.
11. 2X GELLING JOISTS
12. RIDGE BEAM
13. FLUSH BEAM
14. DROPPED BEAM.
15. HEADER.
16. 1X OVER 2X TOP PLATE AT NON-BEARING WALL.
17. DOUBLE 2X TOP PLATE AT EXTERIOR AND BEARING WALLS
18. 2X FLOOR JOISTS
19. DESIGNED FLOOR JOISTS.
20. FLOOR STEATHING.
21. G.I. FLASHING AT ROOF TO WALL
22. G.I. FLASHING AND SADDLE / CRICKET.
23. EXPOSED BEAM.
24. 2X SOLE PLATE.
25. 2X P.T.D.F. SILL PLATE.
26. 2X4 STUDS.
27. 2X4 CRIPPLES.
28. 2X CEILING FURRING
29. 2X BLOCKING.
30. 2X6 STUDS.
31. PONY WALL, SEE PLAN FOR HEIGHT.
32. BALLOON FRAMED WALLS. SEE STRUCTURAL FRAMING PLANS STRUCTURAL CALCULATIONS AND GENERAL NOTES.
33. 2X STAIR STRINGERS AT 16' ON CENTER.
34. PLYWOOD TREADS AND RISERS
35. WINDER STAIR FRAMING W/ PLYWOOD TREADS
36. RIP 2X DECK JOISTS FOR 1/4' PER ROOF SLOPE.
37. ELASTOMERIC DECKING OVER PLYWOOD SUB-FLOOR, INSTALLED TO MANUFACTURER'S SPECIFICATIONS.
38. 2X NAIL SPACED DECKING.
39. ENCLOSED ACCESSIBLE SPACE OVER STAIR SHALL DE PROTECTED WITH ½" GYPSUM BOARD ON ENCLOSED SIDE.
40. 42" HIGH GUARD.
41. 34"-38" HIGH HANDRAIL ABOVE NOSING.
42. FIBERBATT INSULATION; SEE ENERGY COMPLIANCE SHEET
    a. 2X4 WALLS: R-15
    b. 2X6 WALLS: R-19
    c. GARAGE WALLS: R-15
    d. FLOORS: R-19
    e. ATTICS. R-38
43. EXTERIOR FINISH, REFER TO ELEVATIONS.
44. EXTERIOR CEILING / SOFFIT (SEE PLAN / ELEVATION)
45. SHELF, ½" GYP. BOARD OVER 3/8" PLYWOOD.
46. CONCRETE FLOOR SLAB.
47. 5/8" GYPSUM WALL BOARD.
48. 1/2" GYPSUM WALL BOARD.
49. REFER TO FLOOR PLAN FOR OCCUPANCY SEPARATION.
50. VAPOR BARRIER NOT LESS THAN 10 MILS THICK UNDER CONC SLAB

GENERAL SECTION NOTES

A. REFER TO STRUCTURAL ENGINEERS DRAWINGS, DETAILS AND NOTES FOR INFORMATION NOT SHOWN HERE.
B. REFER TO TRUSS DRAWINGS FOR INFORMATION NOT SHOWN HERE.
C. SECTIONS REFLECT THE 'A' ELEVATION (UNLESS NOTED OTHERWISE)
D. ROOF SLOPE(S) AND OVERHANG(S) MAY VARY PER ELEVATION. REFER TO THE ROOF NOTES AND ROOF PLANS AT EACH ELEVATION FOR MORE INFORMATION.
E. TYPCIAL DIMENSIONS FOR A HEEL TRUSS. (DIMENSION FROM TOP PLATE TO THE TOP OF TOP CHORD) .

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PROJECT:

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6932 COLE AVE, HIGHLAND, CA 92346

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TITLE **SECTIONS A & B**

PREPARED BY:

CHECKED BY: MICHAEL HANNA

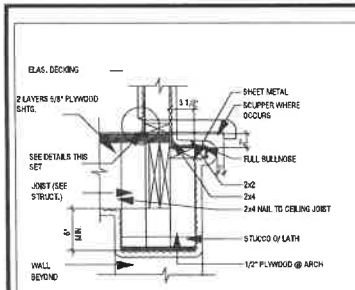
DATE: 05.13.2024

SCALE:

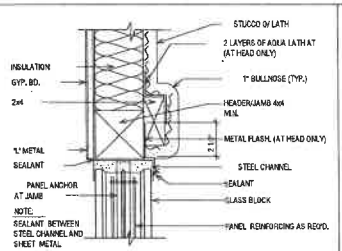
JOB NO. 24-012

SHEET NO:

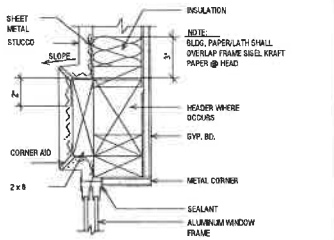
A-4.0



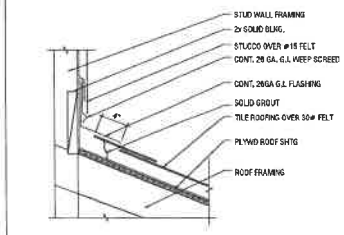
EXTERIOR WOOD DECK 1 1/2"=1'-0" 17



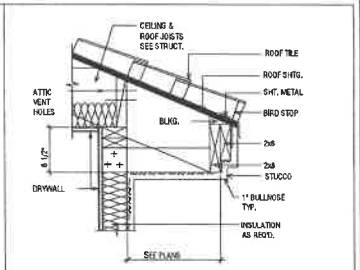
GLASS BLOCK HEAD/JAMB 3"=1'-0" 13



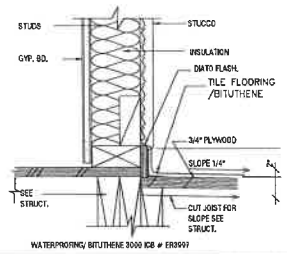
WINDOW HEAD/JAMB 3"=1'-0" 9



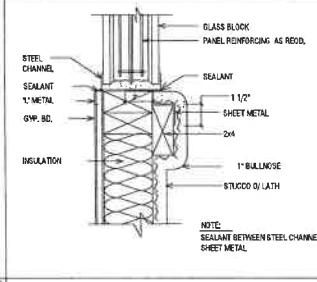
TILE ROOFING 1" = 1'-0" 5



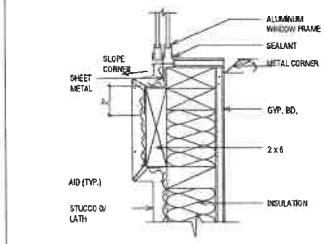
EAVE DETAIL 1 1/2"=1'-0" 1



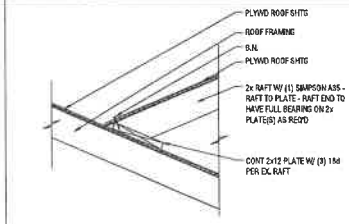
WOOD DECK FLASHING 3"=1'-0" 18



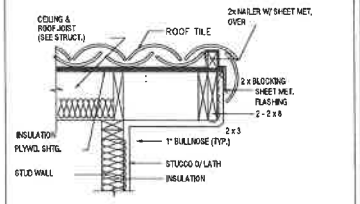
GLASS BLOCK-SILL 3"=1'-0" 14



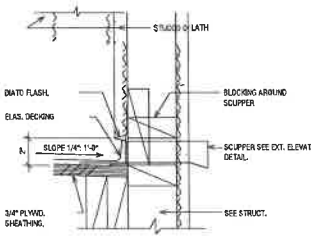
WINDOW SILL 3"=1'-0" 10



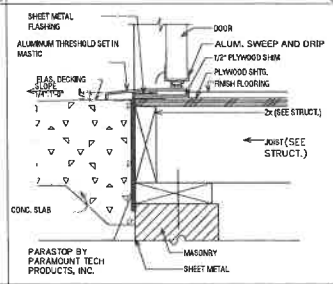
CALIFORNIA ROOF FRAMING 1" = 1'-0" 7



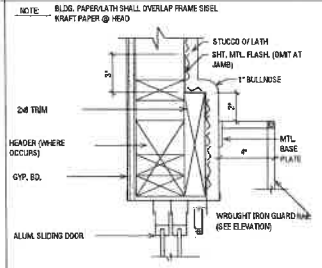
TYP. RAKE 1 1/2"=1'-0" 2



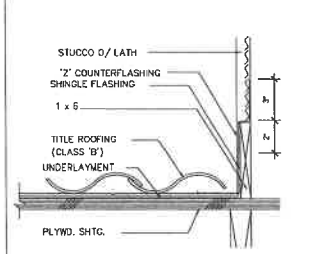
DECK DETAIL 3"=1'-0" 19



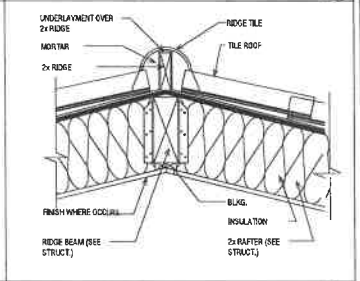
EXTERIOR THRESHOLD 3"=1'-0" 15



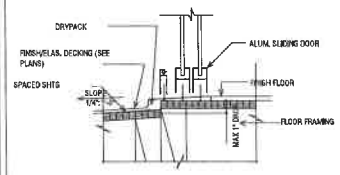
SLIDING DOOR HEAD/JAMB 3"=1'-0" 11



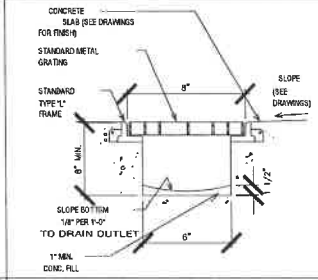
FLASHING PARALLEL TO SLOPE 6



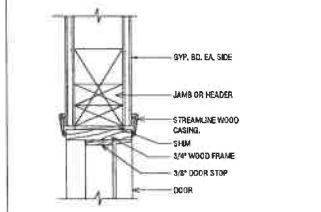
RIDGE 1 1/2"=1'-0" 3



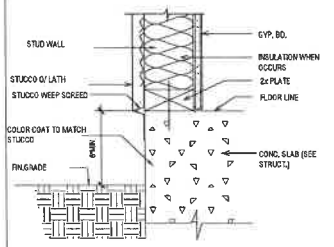
SLIDING DOOR SILL - CONC. 3"=1'-0" 20



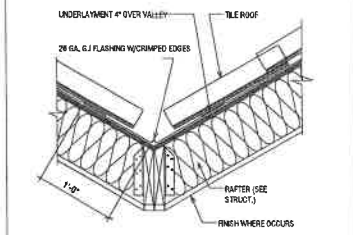
TRENCH DRAIN DETAIL 1" = 1'-0" 16



DOOR HEAD/JAMB-WOOD 3"=1'-0" 12



WEEP SCREED DETAIL NONE 8



VALLEY 1 1/2"=1'-0" 4

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PROJECT:

BEDROOM LEAGALIZATION

6932 COLE AVE, HIGHLAND, CA 92346

OWNER:

ISSUE / REVISION	DATE
HISTORICAL REVIEW	07/09/24
RESPONDING TO HISTORICAL	09/17/24

DETAILS

TITLE

PREPARED BY:	
CHECKED BY:	MICHAEL HANNA
DATE:	05.13.2024
SCALE:	
JOB NO.	24-012

SHEET NO:

A-5.0

SPACES AND FINISH SCHEDULE

Number	ROOM NAME	FLOOR	BASE	WALL	CEILING		NOTES
					MATL	HEIGHT	
01	COVERED ENTRY PORCH	CONCRETE	-	-	-	9'-0"	--
02	LIVING ROOM	VINYL FLOORING	4" BASEBOARD MOULDING	SMOOTH PAINT	GYPSUM	9'-0"	--
03	DINING ROOM	VINYL FLOORING	4" BASEBOARD MOULDING	SMOOTH PAINT	GYPSUM	9'-0"	--
04	KITCHEN	VINYL FLOORING	4" BASEBOARD MOULDING	SMOOTH PAINT	GYPSUM	9'-0"	--
06	BEDROOM 03	VINYL FLOORING	4" BASEBOARD MOULDING	SMOOTH PAINT	GYPSUM	9'-0"	--
07	CLOSET	VINYL FLOORING	4" BASEBOARD MOULDING	SMOOTH PAINT	GYPSUM	9'-0"	--
08	MASTER BEDROOM	VINYL FLOORING	4" BASEBOARD MOULDING	SMOOTH PAINT	GYPSUM	9'-0"	--
09	CLOSET	VINYL FLOORING	4" BASEBOARD MOULDING	SMOOTH PAINT	GYPSUM	9'-0"	--
10	MASTER BATHROOM	CERAMIC TILES	CERAMIC TILES	SMOOTH PAINT	GYPSUM	9'-0"	CERAMIC TILES UP TO 72" AT SH
11	BATHROOM	CERAMIC TILES	CERAMIC TILES	SMOOTH PAINT	GYPSUM	9'-0"	CERAMIC TILES UP TO 72" AT SH
12	BEDROOM 02	VINYL FLOORING	4" BASEBOARD MOULDING	SMOOTH PAINT	GYPSUM	9'-0"	--
13	CLOSET	VINYL FLOORING	4" BASEBOARD MOULDING	SMOOTH PAINT	GYPSUM	9'-0"	--

FINISH KEY

1	HARDWOOD FLOORING
2	SCREED
3	CARPET
4	CERAMIC TILE
1	4" H BASEBOARD MOULDING
2	6" H QUARRY TILE COVED BASE W/ 3/4" RADIUS
3	PREFAB. STAINLESS STEEL
4	CERAMIC TILE COVED BASE W/ 3/4" RADIUS

1	DRY WALL + SMOOTH WASHABLE SMOOTH ENAMEL PAINT
2	PREFAB. STAINLESS STEEL FINISH
3	CERAMIC TILE
4	WALL COVERING
1	PAINTED 5/8" GYP. BOARD
2	PREFAB. GALVANIZED METAL FINISH
3	SUSPENSION SYSTEM (T-BAR) W/ACOUSTIC TILE
4	[illegible] 5/8" GYP. BOARD

DOOR AND FRAME SCHEDULE

MARK	DOOR						FRAME				FIRE RATING	HARDWARE	NOTES
	SIZE			TYPE	Style	MAT'L	MAT'L	DETAIL					
	WD	HGT	THK					HEAD	JAMB	SILL			

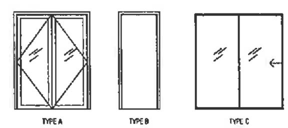
DOORS GENERAL NOTES:

1. FIELD VERIFY ALL EXISTING DOOR CONDITIONS BEFORE BID, DEMO OR CONSTRUCTION.
2. ALL DOORS SHALL BE PROVIDED WITH LEVER TYPE HARDWARE.
3. ALL DOOR HARDWARE & RESISTANT PRESSURE MUST COMPLY WITH A.D.A. AND TITLE 24 STANDARDS.
4. KEYING FOR LOCKSET & LATCH SETS SHALL MATCH FACILITY STANDARD AND BE COORDINATED WITH THE OWNER.
5. ALL RATED DOORS SHALL HAVE AN "S" LABEL.
6. HARDWARE SHALL MATCH BUILDING STANDARD. VERIFY WITH ARCHITECT.
7. PANIC HARDWARE, WHERE SHOWN, SHALL COMPLY WITH UBC SEC. 10-4
8. EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
9. FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED, "APPLIES ALSO TO EXIT GATES".
10. THE UNLATCHING OF ANY LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.(1003,3,1,8)
11. THE TOP OF THE THRESHOLD OF EXTERIOR DOORS ARE NOT TO EXCEED 1 INCH ABOVE THE EXTERIOR SIDE OF THE LANDINGS WHEN THE DOOR SWINGS TO THE INSIDE.

DOORS ABBREVIATIONS:

(E) EXISTING
(N) NEW
(R) RELOCATED
AL ALUMINUM
GLS GLASS
SW SOLID WOOD
STL STEEL
TG TEMPERED GLASS
WD WOOD
H.C. HOLLOW CORE
S.C. SOLID CORE
AL.FR. ALUMIUM FRAME
VIN.FR. VINYLE FRAME

DOOR TYPES



WINDOWS SCHEDULE

WINDOW SCHEDULE

MARK	SIZE		HEAD	SILL	TYPE	MATERIAL	FRAME	HEAD DET.	JAMB DET.	NOTES
	WIDTH	HEIGHT								

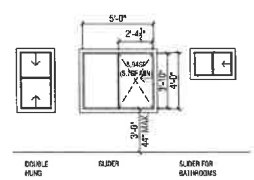
WINDOWS GENERAL NOTES:

1. GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS, GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET. SHALL BE TEMPERED (UBC - 2406.4(5))
2. ALL WINDOW SILL HT. NOT TO EXCEED 44" TYP. U.N.O. HEADER HT. AT 7'-0" W/ PLANT ON INTERMEDIATE MULLION. DUAL GLAZED AT ALL UNITS. ALL NEW GLAZING SHALL COMPLY WITH STANDARDS OF THE U.S. CONSUMER PRODUCT SAFETY COMMISSION, MANUFACTURER TO SUPPLY CERTIFICATE OF COMPLIANCE TO OWNER.
3. ALL WINDOW IN SLEEPING ROOMS W/ SILL HT. NOT OVER 44 INCHES ABOVE FLOOR. 5.7 SQUARE FEET OF OPENABLE AREA, 24 INCHES CLEAR OPENING HT., 20 INCH CLEAR OPENING WIDTH (UBC-310.4).
4. GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF A DOOR IN A CLOSED POSITION AND WHERE THE BOT. EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE SHALL BE TEMPERED. (UBC-2406.4(6))
5. ALL WINDOWS AND EXTERIOR GLASS DOORS SHALL BE DOUBLE GLAZED (PER ENERGY CALCS.)
6. WINDOWS PROVIDING SECONDARY MEANS OF EGRESS FROM SLEEPING ROOM, MAXIMUM SILL HEIGHT 44" FROM FLOOR, MINIMUM OPENING SIZE = 20"WX24"H, MINIMUM AREA 5.7 SQ.FT.

DOORS ABBREVIATIONS:

HM HOLLOW METAL
S.G. SPANDREL GLASS
STL. STEEL
T.G. TEMPERED GLASS
W WOOD
W.G. WIRE GLASS
AL.FR. ALLUMUM FRAME
VIN.FR. VINYLE FRAME
B.E. BAKED ENAMEL
D.G. DOUBLE GLAZING-(LOW-E GLASS)

WINDOW TYPES



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PROJECT:
BEDROOM LEAGALIZATION
6932 COLE AVE, HIGHLAND, CA 92346

OWNER:

ISSUE / REVISION	DATE
HISTORICAL REVIEW	07/09/24
RESPONDING TO HISTORICAL	09/17/24

TITLE
PROPOSED FLOOR PLAN

PREPARED BY:
CHECKED BY: MICHAEL HANNA
DATE: 05.13.2024
SCALE:
JOB NO. 24-012
SHEET NO:
A-6.0

AIA California

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

CHAPTER 3
GREEN BUILDING

SECTION 301 GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.

The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.

Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.

Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.

Exceptions:
1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable.
2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the *California Building Code*, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable.

DIVISION 4.1 PLANNING AND DESIGN

ABBREVIATION DEFINITIONS:

HCD	Department of Housing and Community Development
BSC	California Building Standards Commission
DSA-SS	Division of the State Architect, Structural Safety
OSHPD	Office of Statewide Health Planning and Development
LR	Low Rise
HR	High Rise
AA	Additions and Alterations
N	New

CHAPTER 4
RESIDENTIAL MANDATORY MEASURES

SECTION 4.102 DEFINITIONS

4.102.1 DEFINITIONS
The following terms are defined in Chapter 2 *(and are included here for reference)*

FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.

WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.

4.106 SITE DEVELOPMENT

4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

1. Retention basins of sufficient size shall be utilized to retain storm water on the site.
2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
3. Compliance with a lawfully enacted storm water management ordinance.

Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.

(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)

4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

1. Swales
2. Water collection and disposal systems
3. French drains
4. Water retention gardens
5. Other water measures which keep surface water away from buildings and aid in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the *California Electrical Code*, Article 625.

Exceptions:
1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:
   1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power.
   1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project.
2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the *California Electrical Code*.

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities.
When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details.

4.106.4.2.1 Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms.
The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.

1. **EV Capable.** Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exceptions:

1. When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces.

2. When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed.

Notes:

a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.

b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2. **EV Ready.** Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms.
The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.

1. **EV Capable.** Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the five (5) percent required.

Notes:

a. Construction documents shall show locations of future EV spaces.

b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2. **EV Ready.** Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

3. **EV Chargers.** Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests.

When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces.

4.106.4.2.2.1 Electric vehicle charging stations (EVCS).
Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1.

Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable requirements.

4.106.4.2.2.1.1 Location.
EVCS shall comply with at least one of the following options:

1. The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.

2. The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building.

Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 4.106.4.2.2.1.2, Item 3.

4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions.
The charging spaces shall be designed to comply with the following:

1. The minimum length of each EV space shall be 18 feet (5486 mm).

2. The minimum width of each EV space shall be 9 feet (2743 mm).

3. One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).

a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.

4.106.4.2.2.1.3 Accessible EV spaces.
In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 1109A.

4.106.4.2.3 EV space requirements.
1. Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the location or the proposed location of the EV space. Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space, at the time of original construction in accordance with the California Electrical Code.

2. Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code.

4.106.4.2.4 Identification.
The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

4.106.4.2.5 Electric Vehicle Ready Space Signage.
Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).

4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings.
When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.

Notes:

1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.

2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

DIVISION 4.2 ENERGY EFFICIENCY

4.201 GENERAL

4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

4.303 INDOOR WATER USE

4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.4.

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

4.303.1.3 Showerheads.

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead.

4.303.1.4 Faucets.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.

Note. Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.1.4.5 Pre-rinse spray valves.
When installed, shall meet the requirements in the *California Code of Regulations*, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff.

FOR REFERENCE ONLY: The following table and code section have been reprinted from the *California Code of Regulations*, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section 1605.3 (h)(4)(A).

TABLE H-2

STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019

PRODUCT CLASS [spray force in ounce force (ozf)]	MAXIMUM FLOW RATE (gpm)
Product Class 1 (≤ 5.0 ozf)	1.00
Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf)	1.20
Product Class 3 (> 8.0 ozf)	1.28

Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)]

4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial buildings.
Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the *California Plumbing Code*.

4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the *California Plumbing Code*, and shall meet the applicable standards referenced in Table 1701.1 of the *California Plumbing Code*.

NOTE:
THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

TABLE - MAXIMUM FIXTURE WATER USE

FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

4.304 OUTDOOR WATER USE

4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

NOTES:

1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the *California Code Regulations*, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.

Exceptions:

1. Excavated soil and land-clearing debris.
2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.
3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream).
3. Identify diversion facilities where the construction and demolition waste material collected will be taken.
4. Identify construction methods employed to reduce the amount of construction and demolition waste generated.
5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4.

Notes:

1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.
2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION

4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building.

1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
2. Operation and maintenance instructions for the following:
   a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
   b. Roof and yard drainage, including gutters and downspouts.
   c. Space conditioning systems, including condensers and air filters.
   d. Landscape irrigation systems.
   e. Water reuse systems.
3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
4. Public transportation and/or carpool options available in the area.
5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
6. Information about water-conserving landscape and irrigation design and controllers which conserve water.
7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
9. Information about state solar energy and incentive programs available.
10. A copy of all special inspections verifications required by the enforcing agency or this code.
11. Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures.
12. Information and/or drawings identifying the location of grab bar reinforcements.

4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of this section.

DIVISION 4.5 ENVIRONMENTAL QUALITY

SECTION 4.501 GENERAL

4.501.1 Scope
The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.502 DEFINITIONS

5.102.1 DEFINITIONS
The following terms are defined in Chapter 2 *(and are included here for reference)*

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

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PROJECT:
BEDROOM LEAGALIZATION
6932 COLE AVE, HIGHLAND, CA 92346

OWNER:

ISSUE / REVISION	DATE
HISTORICAL REVIEW	07/09/24
RESPONDING TO HISTORICAL	09/17/24

TITLE: CALIFORNIA GREEN BUILDING STANDARDS CODE

PREPARED BY:	
CHECKED BY:	MICHAEL HANNA
DATE:	05.13.2024
SCALE:	
JOB NO.	24-012

SHEET NO:
CG-1.0

California

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O³/g ROC).
Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).
Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

4.503 FIREPLACES

4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL

4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below.
2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of *California Code of Regulations*, Title 17, commencing with section 94507.

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of *California Code of Regulations*, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

1. Manufacturer's product specification.
2. Field verification of on-site product containers.

TABLE 4.504.1 - ADHESIVE VOC LIMIT1,2

(Less Water and Less Exempt Compounds in Grams per Liter)

ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

TABLE 4.504.2 - SEALANT VOC LIMIT

(Less Water and Less Exempt Compounds in Grams per Liter)

SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS2,3

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS1	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE LIMITS1

MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD2	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody certifications.
3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL

4.505.1 General. Buildings shall meet or exceed the provisions of the *California Building Standards Code*.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:

1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
2. Other equivalent methods approved by the enforcing agency.
3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter.Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST

4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
   a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
   b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

Notes:

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
2. Lighting integral to bathroom exhaust fans shall comply with the *California Energy Code*.

4.507 ENVIRONMENTAL COMFORT

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

CHAPTER 7
INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

1. State certified apprenticeship programs.
2. Public utility training programs.
3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
4. Programs sponsored by manufacturing organizations.
5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

1. Certification by a national or regional green building program or standard publisher.
2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
3. Successful completion of a third party apprentice training program in the appropriate trade.
4. Other programs acceptable to the enforcing agency.

Notes:

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

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PROJECT:
BEDROOM LEAGALIZATION
6932 COLE AVE, HIGHLAND, CA 92346

OWNER:

ISSUE / REVISION	DATE
HISTORICAL REVIEW	07/09/24
RESPONDING TO HISTORICAL	09/17/24

TITLE: **CALIFORNIA GREEN BUILDING STANDARDS CODE - 2**

PREPARED BY:
CHECKED BY: MICHAEL HANNA
DATE: 05.13.2024
SCALE:
JOB NO. 24-012
SHEET NO:

CG-2.0

ATTACHMENT 5

Secretary's Standards for Rehabilitation

The Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior is responsible for establishing professional standards and providing advice on the rehabilitation and protection of all cultural resources listed in or eligible for listing in the National Register of Historic Places.

The Secretary of the Interior's Standards for Treatment of Historic Properties apply to all proposed development grant-in-aid projects assisted through the National Historic Preservation Fund, and are intended to be applied to a wide variety of resource types, including buildings, sites, structures, objects and districts. These Standards, developed in 1992, were codified as 36 CFR Part 68 in the July 12, 1995, Federal Register (Volume 60, No. 133). They replace the 1978 and 1983 versions of 36 CFR 68 entitled, "The Secretary of the Interior's Standards for Historic Preservation Projects."

The Secretary of the Interior's Standards for the Treatment of Historic Properties may be used by anyone planning and undertaking work on historic properties, even if grant-in-aid funds are not being sought. It should be noted that another regulation, 36 CFR Part 67, focuses on "certified historic structures" as defined by the IRS Code of 1986. The "Standards for Rehabilitation" cited in 36 CFR 67 should always be used when property owners are seeking certification for federal tax benefits.

Rehabilitation:

The act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

Standards for Rehabilitation:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

NOTE:

When repair and replacement of deteriorated features are necessary; when alterations or additions to the property are planned for a new or continued use; and when its depiction at a particular period of time is not appropriate, Rehabilitation may be considered as a treatment. Prior to undertaking work, a documentation plan for Rehabilitation should be developed.

ATTACHMENT 6

Conditions of Approval

CERTIFICATE OF APPROPRIATENESS
CONDITIONS OF APPROVAL

Date:	October 3, 2024
Applicant:	Cesar Mendoza
File/Index:	COA-24-006
Proposal:	Certificate of Appropriateness No. 24-006 to allow demolition of two (2) unpermitted patios and permit an unpermitted 196 square foot enclosed patio addition to historic residence.
Location:	6932 Cole Avenue, Highland Historic District Assessor's Parcel Nos. 1191-472-03

The CERTIFICATE OF APPROPRIATENESS Application has been conditionally approved subject to the compliance with the requirements as specified below:

1. This CERTIFICATE OF APPROPRIATENESS shall become null and void:

   a. Unless all conditions have been complied with and occupancy or use of the land or existing structures authorized by Certificate of Appropriateness No. 24-006 has taken place within twelve (12) months after the approval of said Certificate of Appropriateness.

   b. Where circumstances beyond the control of the Applicant cause delays which do not permit compliance with the time limitation established in this Section, the Historic and Cultural Preservation Board may grant an Extension of Time for a period not to exceed an additional twelve (12) months. Applications for an extension of time must set forth, in writing, the reasons for granting an extension, and shall be filed together with a fee as established by the City Council, with the Planning Division thirty (30) calendar days prior to the expiration of Certificate of Appropriateness No. 24-006.

NOTE:

All required on-site and off-site improvements, shall be completed and approved prior to final inspection of any building or structure.

The conditions listed below are continuing conditions; failure of the Applicant to comply with any/all conditions at any time, shall result in initiating revocation of the subject permit granted to use the property.

PLANNING CONDITIONS

2. The subject property shall be developed in accordance with plans and materials approved by the Historic and Cultural Preservation Board on October 3, 2024, on file with the City of Highland Planning Department, and shall be in compliance

with all conditions of approval contained herein.

3. Certificate of Appropriateness No. 24-006 shall allow the demolition of two (2) unpermitted patios and permit an unpermitted 196 square foot enclosed patio addition to historic residence.

4. Colors for the existing single-family residence and 196 square foot enclosed patio shall be "Dowing Sand" (SW 2822). Roofing materials for the addition shall be consistent with the existing brown dimensional composition roofing on the existing single-family residence.

5. All windows on the residence and enclosed patio shall consist of solid wood .

6. The Applicant/Owner shall obtain all required permits from the Planning and Building and Safety Divisions.

7. Revisions, modifications, and/or deletions to the approved project shall be submitted to the Planning Division for review and approval. Revisions, modifications and/or deletions may require additional review by the Historic and Cultural Preservation Board.

8. In compliance with the Highland Municipal Code, the Applicant/Owner shall agree, at his/her sole cost and expense, to defend, indemnify, and hold harmless, the City, its officers, employees, agents, and consultants, from any claim, action, or proceeding brought by a third-party against the City, its officers, agents, and employees, which seeks to attack, set aside, challenge, void, or annul an approval of the City Council, Planning Commission, or other decision-making body, including staff, concerning this project. The City may, at its sole discretion, participate at its own expense in the defense of any such action but such participation shall not relieve the Applicant/Owner of his/her obligations under this condition.

9. No Certificate of Occupancy, or any other final clearance needed prior to occupancy, shall be given until all other conditions are met.

10. All weeds, trash and debris shall be removed and landscaping shall be installed and maintained in a healthy and thriving condition. Dead, damaged, and/or missing landscaping shall be replaced/replanted.

ATTACHMENT 7

Findings of Fact

CERTIFICATE OF APPROPRIATENESS
FINDINGS OF FACT

Date:	October 3, 2024
Applicant:	Cesar Mendoza
File/Index:	COA-24-006
Proposal:	Certificate of Appropriateness No. 24-006 to allow demolition of two (2) unpermitted patios and permit an unpermitted 196 square foot enclosed patio addition to historic residence.
Location:	6932 Cole Avenue, Highland Historic District Assessor's Parcel Nos. 1191-472-03

The Historic and Cultural Preservation Board shall make the following Findings of Fact prior to approval of the application:

1. With regard to a designated resource, the proposed work will neither adversely affect the significant architectural features of the designated resource nor adversely affect the character of historical, architectural, or aesthetic interest or value of the designated resource and its site.

   The residence has been listed as a contributor to the Historic District within the 1988 Historic Architectural Survey. The residence is primarily beige in color with white trim and is characterized by its use of natural materials, a pyramidal gray asphalt shingle hipped roof with exposed rafter tails, a hip-roofed front porch supported by four (4) turned columns, wooden clapboard siding, and a central entrance flanked by two large wooden windows. The project site also contains a detached 205 square foot carriage house which is constructed of masonry block which has been painted beige and an east/west-facing wood gabled roof with gray asphalt shingles.

   While the proposed project includes the approval an unpermitted enclosed patio addition the material and prominent features will match the existing residence. The addition has been designed to blend with the original architecture without negatively affecting the resource but will not create a false sense of history.

2. With regard to any property located within a Historic District, the proposed work conforms to the prescriptive standards and design guidelines for the District adopted by the Board and does not adversely affect the character of the district.

   The project can be accomplished in a way that conforms to the Secretary of the Interior's Standards for Rehabilitation. The Standards state alterations may be made if they do not destroy historic materials, features and spatial relationships that characterize the property. The property is used as a single-family residence and the proposed addition is compatible with the historic features, size, scale, proportion and massing of the existing residence. Furthermore, the addition meets all of the specifications outlined within the Highland Municipal Code and guidelines adopted by the Board and will not negatively affect the character of the District.

3. In the case of construction of a new improvement, addition, building, or structure upon a designated cultural resource site, the use and exterior of such improvements will not adversely affect and will be compatible with the use and exterior or existing designated cultural resources, improvements, buildings, natural features, and structures on said site.

   The proposed use of the addition is residential and will increase the size of an existing residence from 842 square feet to 1,058 square feet. The proposed addition will include compatible materials, features, scale and massing of the existing residence and will complement the surrounding residential uses. Through the use of wider siding material and a delineation line the new addition will be distinguished as new construction and will not create a false sense of history on the property.