

CITY OF HIGHLAND REGULAR MEETING OF THE PLANNING COMMISSION AGENDA

MEMBERS

Randall Hamerly, Chair
Chandra Thomas, Vice Chair
Edward Amaya, Commissioner
Jarrod Miller, Commissioner
Jessica Sutorus, Commissioner

REGULAR MEETING

March 1, 2022
6:00 p.m.
City Hall
Donahue Council Chambers
27215 Base Line
Highland, California

STAFF

Lawrence A. Mainez, Community Development Director
Kim Stater, Assistant Community Development Director
Ash Syed, Associate Planner
Angela Tafolla, Assistant Planner
Angelica Martinez, Planning Technician II
Camille Goritz, Administrative Assistant III

MISSION STATEMENT

Highland is dedicated to the betterment of the individual, the family, the neighborhood and the community. The City Council and the staff of Highland are dedicated to providing the quality of public facilities and services that its citizens are willing to fund and will do so as efficiently as possible.

Visit the City's Website at: www.cityofhighland.org

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Pursuant to Government Code Section 54957.5, any disclosable public records related to an open session item on a regular meeting agenda and distributed by the City of Highland to all or a majority of the Planning Commission, less than 72 hours prior to that meeting, are available for public inspection at Highland City Hall, 27215 Base Line, Highland, CA 92346, during normal business hours.

Submission of Public Comments: To limit the number of persons in the Council Chambers, the public is encouraged to make public comments by email rather than in person. For those wishing to make public comments by email to be read aloud at the meeting by the Community Development Administrative Assistant. Email comments must be submitted by 5:00 p.m. on March 1, 2022 to publiccomment@cityofhighland.org.

For those wishing to make a public comment regarding a public hearing item, please identify the agenda item in the subject line. Comments can be submitted any time prior to the meeting, as well as during the meeting up until the end of the corresponding item. Please email your comments to publiccomment@cityofhighland.org. Members of the public will be permitted to make public comments in person.

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**PLANNING COMMISSION
REGULAR MEETING AGENDA
March 1, 2022 - 6:00 P.M.**

CALL TO ORDER

PLEDGE OF ALLEGIANCE

COMMUNITY INPUT (ITEMS NOT ON THE AGENDA)

To address the Planning Commission, please complete a speaker form located at the entrance and give it to the Administrative Assistant prior to the beginning of the meeting. Your name will be called when it is your turn to speak. Individual speakers are limited to three minutes each. Comments received via email by March 1, 2022, 5:00 p.m., will be read into the record, provided that the reading shall not exceed three (3) minutes.

CONSENT CALENDAR

1. Minutes from the February 15, 2022 Regular Meeting.

RECOMMENDATION: That the Planning Commission approve the minutes, as submitted.

PUBLIC HEARING

2. Proposal to subdivide two (2) existing parcels into four (4) new parcels (TPM 21-004) on an existing 1.4 acre site and amend Conditional Use Permit (CUP 16-006) and Design Review Application (DRA 16-015) to incorporate three (3) additional lots to the approved 15 lots for a total of 18 lots.(APN: 1191-351-021 & 1191-351-03)

RECOMMENDATION: Staff recommends the Planning Commission:

- 1) Adopt Resolution 22-____, approving Tentative Parcel Map No. 20455 (TPM 21-004) to subdivide two (2) existing parcels into four (4) new parcels and amending Conditional Use Permit (CUP 16-006) and Design Review Application (DRA 16-015) to incorporate 3 additional lots to the approved 15 lots for a total of 18 lots; and
- 2) Direct Staff to file a CEQA Notice of Exemption with the County Clerk of the Board of Supervisors.

ANNOUNCEMENTS

ADJOURN

I, Camille Goritz, Administrative Assistant III of the City of Highland, California, certify that I caused to be posted this agenda on or before the 23rd of February by 5:30 p.m. on our website at www.cityofhighland.org and in the following designated areas:

Highland Branch Library
7863 Central Avenue

Fire Station No. 1
26974 Base Line

City Hall
27215 Base Line

Date: February 23, 2022



Camille Goritz Administrative Assistant III



STAFF REPORT

TO THE PLANNING COMMISSION

DATE: March 1, 2022

FROM: Lawrence Mainez, Community Development Director

PREPARED BY: Camille Goritz, Administrative Assistant III *CG*

SUBJECT: Minutes from the February 15, 2022 Planning Commission Regular Meeting.

RECOMMENDATION: Staff recommends the Planning Commission approve the Minutes as submitted.

PUBLIC NOTICE: The agenda for this item was posted at the three locations per Resolution No. 2011-047 and on the City's website.

Approved _____	Motion _____	Second _____	Agenda Item No. <u>1</u>
Denied _____	Ayes _____		
Continued _____	Noes _____		File No. _____
Tabled _____	Abstain _____		
	Absent _____		
<i>Camille Goritz</i>		<i>Lawrence Mainez</i>	
Recording Secretary		Community Development Director	

MINUTES
PLANNING COMMISSION REGULAR MEETING
February 15, 2022 – 6:00 P.M.

CALL TO ORDER

The regular meeting of the Planning Commission of the City of Highland was called to order at 6:00 p.m. by Chair Hamerly at the Donahue Council Chambers, 27215 Base Line, Highland, California.

Present:	Chair	Randall Hamerly
	Vice Chair	Chandra Thomas
	Commissioner	Edward Amaya
	Commissioner	Jarrold Miller
	Commissioner	Jessica Sutorus

Staff Present: Lawrence Mainez, Community Development Director
Kim Stater, Assistant Community Development Director
Ash Syed, Associate Planner
Carlos Zamano, City Engineer
Matt Bennett, Assistant Public Works Director
Matt Wirz, Building Official
Scott Rice, City Landscape Architect
Camille Goritz, Administrative Assistant III

The Pledge of Allegiance was led by Chair Hamerly.

COMMUNITY INPUT (ITEMS NOT ON THE AGENDA)

None

CONSENT CALENDAR

1. Minutes from the February 1, 2022 Regular Meeting.

A MOTION was made by Vice Chair Thomas, seconded by Commissioner Sutorus, to approve the minutes, as amended. Motion carried, 5-0.

PUBLIC HEARING

A MOTION was made by Chair Hamerly, seconded by Commissioner Amaya, to present agenda item No. 3 prior to item No. 2, Motion carried, 5-0.

2. Review of the City's 2021 General Plan Implementation and Housing Element Annual Reports in accordance with Government Code Sections 65400 and 65588.

Assistant Community Development Director Stater presented the staff report.

Commissioner Amaya stated on the implementation progress that is an ongoing Airport Gateway Specific Plan, will that realistically be completed in 2022?

Assistant Community Development Director Stater stated most likely for year 2022 and what will happen is the city will meet again and we will provide the remainder of our comments to make sure we're all in agreement on a unified document that is acceptable to bring to Planning Commission and City Council.

Commissioner Miller stated I had a suggestion on page 43, it states in coordination with East Valley Water District and the County of San Bernardino continue to maintain, improve the hydrology and natural quality of the watersheds of Bledsoe Creek Plunge Creek, Alder Gulch, Sand Creek, Warm Creek, and Old City Creek. That project was just completed out on Plunge Creek, and I believe San Bernardino County was involved with that. I'm not sure if that would be a project that needs to be cited.

Assistant Community Development Director Stater stated that is a good idea.

The Planning Commission received and filed the 2021 General Plan and Housing Element Annual Reports.

3. Design Review Application (DRA 21-021) for the construction of a 21-unit multi-family apartment complex (Town Center Apartment Homes) located on a vacant 1.72-acre site. (APN: 1200-381-05 and -43)

Associate Planner Syed presented the staff report.

Chair Hamerly opened the public hearing.

Commissioner Miller stated the grade elevations and the invert elevations that are called out, the pipe seems to be running really shallow. In some cases, it looks like 6 inches or less, so be concerned about the loading on those pipes. The underground infiltration basin that's being proposed in the park area and cross referencing that with the landscape plans, it looks like there's some overlap between the larger trees and the underground system. I'm just wondering if we're going to be able to accommodate the root systems of those trees given what depth is proposed for that underground system.

Chair Hamerly asked how close can the underground WQMP get to a sewer lateral?

Commissioner Miller stated here's a standard requirement for that, if I was guessing, I would say 3 feet.

City Landscape Architect Scott Rice stated in our preliminary review of the landscape plans, we did comment that there seemed to be some overlap and just to be cognizant of that as the plans proceeded into full working drawings.

Commissioner Miller stated for the typical root structure for those types of trees. What are we thinking there?

City Landscape Architect Scott Rice stated we're really going to need to look at the depth of the infiltration or whatever the system is and kind of evaluate that. The tree in that area is shown in a general location, and we would look at the working draft of the water quality and shift the tree accordingly or recommend that during plan check.

Commissioner Miller stated or provide some type of root barrier because once those roots get down in that system, they can really compromise the integrity.

City Architect Scott Rice stated right, it would be more effective to move the tree further away than any sort of root barrier system.

Chair Hamerly asked would it be a bigger issue because the largest specimen tree, the 36-inch box California Sycamore looks like it's sitting directly over the sewer lateral? That was the one that I was concerned about, didn't pick up on the WQMP basin, but that's also a concern. But a sewer lateral is just like inviting disaster.

City Architect Landscape Scott Rice stated that was the comment that we had made during the preliminary review is we would we look at the final location during plan check.

Commissioner Miller stated I think it's great that we're incorporating permeable paving into this project that's aligning with our city goals of reducing imperviousness throughout the city.

Chair Hamerly stated one of the concerns was that almost all the specimen trees that are at the gateway elements. The westernmost entry coming in off Foster Avenue and then you have the four large Sycamore trees that are on the parking area that's outside of the gate. The entire tree palate is deciduous, and those are the kind of the specimen accent trees, and they're all going to be bare in the winter, so it'd be nice to have some foliage that's year-round, just as kind of the background information. You have a really nice under canopy here, with the shrubs, but having some of the specimen materials, if they had a year-round cover, might be a nice contrast to the bare sycamores and crape myrtles, and the other plants that are there. I don't know if you want to add additional trees or substitute out some of the trees. The Sycamore is a nice scale tree, so something similar size that is not deciduous would be a nice accent. Those are big buildings, and so we need to do something that can kind of mask them year-round.

Steve Powell, Applicant asked is there a recommendation that that that the City Landscape Architect would be able to make to give to our landscape architect? This is because they know the climate in the zone probably better than ours.

Chair Hamerly stated yes, I am sure.

Commissioner Amaya asked Is there a reason why we can't do a playground or that wasn't part of the plan or not big enough space?

Steve Powell stated all of the above. There are two-bedroom units, so again we're trying to design this as for the young executive. They're not designed for four-bedroom units. We do have a limited amount of space, if it was a bigger complex where we could amortize some of the costs over putting a playground set in there. This is too much of a small complex to justify it.

Commissioner Amaya asked is the apartment around 1,800 square feet?

Steve Powell stated the apartments are under 1,300 square feet.

Chair Hamerly asked long term lifecycle costs wouldn't go into something like an artificial turf?

Steve Powell stated that's a recommendation too that we would certainly consider.

Commissioner Sutorus stated I did see that condition and I caution you with the fake turf because other apartment complexes in the city I work for does not wash or clean it. It causes a very hot heat island effect, and it doesn't last unless you have really expensive base several feet down.

Chair Hamerly stated if it's for a dog park, you would have to have that advanced filtration system. You wouldn't just put the steaks right into compacted dirt.

Steve Powell stated for clarity, it is not a dog park. I don't want it to be marketed as a dog park, otherwise, you'll have everybody in town coming to use the dog park and that'll become a problem. If we don't provide the receptacles, then we may have that. I am familiar with that, and the artificial turf technology has gotten a lot better. We are looking for recommendations, the intent here is to make it look more botanical and a great place to pass through.

Commissioner Miller stated it would also be good if we could add a trash receptacle in there so we could deposit the waste as well. Is maintenance going to be handled in house? Are you going to be in control of that? Not just the landscaping but the entire development.

Steven Powell stated it'll be handled by a management company.

Commissioner Miller stated so you'll be bringing a street sweeper in monthly or as needed?

Steven Powell stated as needed.

Chair Hamerly regarding the trash enclosure, is that solution illustrated on this plan, or is it not because I didn't see the opening in the wall? It looks like a 3-sided wall with the doors in the front.

Associate Planner Syed stated that's correct, it's accessible from the internal drive aisle.

Chair Hamerly stated ok, a gate that size typically is not how you would address the ADA component for that. Regarding the exhibit as presented, does it illustrate the compliance with that condition of approval?

Building Official Wirz stated it's not shown as compliance based on this plan. It's something we must look at through the plan check a little closer, but I'm looking at the rear of that.

Chair Hamerly stated ok, because the swinging doors where the trash truck would drive through that's the gate that opens in the front so if it doesn't have an opening in the back, it's not accessible if you must open that giant steel gate.

Building Official Wirz stated correct, and that is something through plan check they would have to address with detail.

Chair Hamerly stated given the options, if we get a vote in this, it'd be a much more attractive presentation from that drive aisle to have the accessible path of travel and the opening in the wall be to the north side of that enclosure.

Building Official Wirz stated regarding the door, during plan check I'll have to discuss that with Public Services as well.

Chair Hamerly stated it is gated, so that's a mitigating measure there. I have one photometrics comment on the western border I didn't see any lumens, but it looks like there is two rings that go past the property boundary on the west. So, either those fixtures need to be shielded, or we're relying on the hedge to keep the light from crossing the property line and go into the rear yard of that single family residence. It looks like we'd be over half of a footcandle there if we're into the second contour. Regarding the floor plan, it looked like there was quite a bit of discrepancy on the designations for the elevations. Most of the ones in the packet, the direction was off. Building one is the first one with the elevations. What was the overall style that you're going for on these?

Steven Powell stated I went a little bit more between the Craftsman and Midcentury modern with the sloped roofs. It was just a way to break it and give it some interest on the front instead of just doing a gable. There isn't really a specific architectural style that we can name this.

Chair Hamerly stated I was leaning towards Craftsman just based on the color palette. There is not a consistent theme in terms of how the windows are treated. Your divided light patterns and the windows styles, and some of them have a big you know it's just basically 2 x 2 grid in there and then have nothing but a horizontal grid and then others. It's smaller grids and they're busy.

Steven Powell stated we have another architect; we also have in-house design, so we debated this back and forth and our architect had a lot of these windowpanes with no grids. When we drew it out, it had such a contemporary feel to it.

Vice Chair Thomas stated I don't mind how it looks. I think it looks ok; I like the difference in the windows.

Chair Hamerly stated regarding building 2, which is the largest of the complex on the northernmost side. I wasn't as concerned with the northern elevation on that, even though it has some of the same issues as the south facade of building 3, but that is going to be visible from that entire street that is north of you. I'll leave that open because if we put in a bunch of screening against the north there, I think that most of those issues go away because that is not a dominant elevation.

Steven Powell stated ok, I understand what you are saying.

Community Development Director Mainez stated so Mr. Chair you are trying to simplify what we thought was very dramatic and it's going to be a powerful statement that it's something unique here in the town district, and so we're trying to simplify it a little bit.

Chair Hamerly stated he's talking about breaking the budget to fix an entire facade on the south.

Community Development Director Mainez stated I understand budget, but I just want to make sure there is consensus because they spent a lot of time with staff trying to make it more dramatic and I just want to make sure that as you back away and staff is going to start to back away as well, we just want to be consistent. This is dramatic, it's not one style, it's a lot of styles. If what I'm hearing that's not acceptable, I need to tell staff.

Commissioner Sutorus stated it's a nicely designed apartment complex. One of the nicest I've seen it for the front facade and stuff. I love the color schemes and it kind of reminds me a little bit of our mountains.

Vice Chair Thomas stated I appreciate what you just said right now about giving each apartment tenant something different, right?

Chair Hamerly stated if we start talking about the human scale of how do people identify with their unit, what makes it unique? Most of the interior of these buildings are going to be experienced at the ground level driving through that that common driveway and that's going up to your front door. Are there any of those Craftsman details that we can pull in just around what we'll call the covered porch areas as you approach the front door? Can you do any timber details or trick out the lighting a little bit just at the front door so that the garage is no longer the dominant theme.

Steven Powell stated corbels are knee braces. I think that those are elements that had a lot of character and personality and they don't break the bank. We did put stone on here and having all the different texture changes.

Vice Chair Thomas stated regarding the side elevations that's viewable from Foster Avenue, what is going to be added on that side elevation?

Steven Powell stated I'm so focused on the front side that one there we're going to do some additional work on that, and the texture changes the recommendations I think is important.

Chair Hamerly stated on building 2 that you'd have three gables in the middle and two sheds on the end because you said you were trying to be consistent with all your elevations.

Steven Powell stated if I take the match lines out where the match lines are I have a total of 2 gable garages that contain 4 garage slots and then I have one hybrid and 3 sheds.

Vice Chair Thomas stated I didn't want to add any more conversation to it, but if I were going to be living in one of these, I would want the horizontal type of roof, not the ones that are just straight across.

Steven Powell stated we looked at putting gables all the way along, but it just looked too consistent.

Vice Chair Thomas stated right, but the other one where you're breaking it up and it's still consistent because you have two and two right? It's just a different consistency.

Steven Powell stated the ones that are by themselves are all shed. Again, it's hard to sort of match these together and then say what do you want to put on this one? We did spend a lot of time and again, I apologize this rendering should be in one long horizontal board. It it's easier to look at.

Vice Chair Thomas stated I think we're all problem solving like trying to figure out what's going to. I am leaning towards to keeping it as is.

Commissioner Miller, Sutorus, and Amaya concurred with Vice Chair Thomas.

Steven Powell stated thank you.

Chair Hamerly closed the public hearing.

A MOTION was made by Commissioner Amaya, seconded by Commissioner Miller, to:

- 1) Adopt Resolution 22-004, approving Design Review Application (DRA 21-021) for the construction of a 21-unit multi-family apartment complex; and
- 2) Direct staff to file a CEQA Notice of Exemption with the County Clerk of the Board of Supervisors. Motion carried, 5-0.

RESOLUTION NO. 2022 - 004

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HIGHLAND, CALIFORNIA, APPROVING DESIGN REVIEW APPLICATION (DRA 21-021) FOR THE CONSTRUCTION OF A 21-UNIT MULTI-FAMILY APARTMENT COMPLEX (TOWN CENTER APARTMENT HOMES) LOCATED ON A VACANT 1.72 ACRE SITE APPROXIMATELY 400 FEET EAST OF THE PALM AVENUE AND FOSTER AVENUE INTERSECTION.

ANNOUNCEMENTS

The next Planning Commission meeting is scheduled March 1, 2022.

ADJOURN

There being no further business, Chair Hamerly declared the meeting adjourned at 8:05 p.m.

Submitted by:

Approved by:

Camille Goritz, Administrative Assistant III
Community Development Department

Randall Hamerly, Chair
Planning Commission



STAFF REPORT

TO THE PLANNING COMMISSION

DATE: March 1, 2022

FROM: Lawrence A. Mainez, Community Development Director

REVIEWED BY: Kim Stater, Assistant Community Development Director *KS*

PREPARED BY: Ash Syed, Associate Planner *AS*

SUBJECT: Proposal to subdivide two (2) existing parcels into four (4) new parcels (TPM 21-004) on an existing 1.4 acre site and amend Conditional Use Permit (CUP 16-006) and Design Review Application (DRA 16-015) to incorporate three (3) additional lots to the approved 15 lots for a total of 18 lots.

LOCATION: A 1.4 acre site located approximately two-hundred (200) feet east of the intersection of Pacific Street and Victoria Avenue. Assessor's Parcel Numbers: 1191-351-02 and 1191-351-03.

APPLICANT: Monte Vista Homes

RECOMMENDATION: Staff recommends the Planning Commission:

- 1) Adopt Resolution 22-____, approving Tentative Parcel Map No. 20455 (TPM 21-004) to subdivide two (2) existing parcels into four (4) new parcels and amending Conditional Use Permit (CUP 16-006) and Design Review Application (DRA 16-015) to incorporate 3 additional lots to the approved 15 lots for a total of 18 lots; and
- 2) Direct Staff to file a CEQA Notice of Exemption with the County Clerk of the Board of Supervisors.

FISCAL IMPACT: Staff time for the review of the project and preparation of the staff report is covered by the application fee provided by the Applicant.

Approved _____	Motion _____	Second _____	Agenda Item No. <u>2</u>
Denied _____	Ayes _____		File No. _____
	Noes _____		
	Abstain _____		
	Absent _____		
<i>Carol G.</i> Recording Secretary		1	<i>Lawrence Mainez</i> Community Development Director

ENVIRONMENTAL REVIEW: Pursuant to CEQA, Tentative Parcel Map No. 20455 (TPM 21-004) and the amendment to Conditional Use Permit (CUP 16-006) and Design Review Application (DRA 16-015) are deemed Categorically Exempt from environmental proceedings per Section 15301, Class 32, for In-Fill Development Projects. The incorporation of the three (3) new lots and 1.4 acres will expand the size of the project site from 3.36 acres to 4.76 acres, keeping the scope of work below the five (5) acre limit. No further environmental review is required and Staff shall file a Notice of Exemption with the County Clerk of the Board.

PUBLIC NOTICE: As required by City Council Resolution, notice of the public hearing was posted at the City's three designated posting locations. On February 18, 2022, a legal advertisement was published in the Highland Community News. In addition, the notice was posted on the City's website, and mailed to property owners within 300 feet of the project site as well as those who previously requested notice.

PUBLIC COMMENT: Staff has not received any public comments in response to the project notice at the time of preparing this staff report.

DESCRIPTION OF THE SITE: The project site is located approximately two hundred (200) feet east of the intersection of Pacific Street and Victoria Avenue. At 1.4 acres, the site is split into two (2) parcels and features an existing 2,020 square foot single-family residence (Exhibit A – Area Map).

	Current Use	Zoning
Site	Single Family Residential & Vacant Land	Planned Development (PD)
North	Single Family Residential	Planned Development (PD)
South	Single Family Residential	Planned Development (PD)
East	Single Family Residential	Planned Development (PD)
West	Approved Commercial Shopping Center & Vacant Land	Planned Development (PD)

BACKGROUND: On September 18, 2007, the Planning Commission adopted Resolution No. 2007-012, approving Tentative Tract Map No. 18013 (TTM-06-002) for seventeen (17) single-family residential lots and Conditional Use Permit (CUP 006-004) which formally adopted a Planned Development Document (PDD) for the site, establishing development standards for a future single family development.

On December 19, 2016, the Applicant submitted a new application for Conditional Use Permit (CUP 16-006) and Design Review Application (DRA 16-015) for a revised Planned Development Document (PDD) featuring a new tract design for fifteen (15) single-family homes.

On August 1, 2017, the Planning Commission adopted Resolution No. 2017-014, approving Conditional Use Permit (CUP 16-006) and Design Review Application (DRA 16-015), which formally adopted the new Planned Development Document (PDD) for

the site, establishing revised development standards for the future single family development.

Tentative Tract Map No. 18013 (TTM-06-002)

The current development of the 15 lot subdivision is considered a traditional infill type of project, where in an urban setting the surrounding properties have all been developed. Located on the south side of Pacific Street and approximately three hundred (300) feet east of Victoria Avenue, the existing project site consists of 3.36 acres (Exhibit B – Tract Map No. 18013). The individual lot sizes range from 5,603 to 12,428 square feet, with an average lot size of approximately 6,000 square feet. Living space within the residential units ranges from approximately 1,526 to 1,725 square feet. The Planned Development Zoning District described in the Highland Municipal Code allows for modification to the applicable development standards.

Planned Development Document adopted by CUP 16-006:

The 2016 Hispano Planned Development Document provided the development standard guidelines for the project, which includes adequate minimum lot sizes, width, depth, lot coverage, fencing, parking, landscaping, building height, and setbacks, to satisfy the criteria as established in the Development Code and consistent with other single-family subdivisions (Exhibit C – Planned Development Document).

	PLANNED DEVELOPMENT
MINIMUM LOT AREA:	5,600 S.F.
INTERIOR LOT WIDTH:	52 FT
CORNER LOT WIDTH:	54 FT
LOT DEPTH:	100 FT
BUILDING COVERAGE AREA:	40%
FRONT SETBACK DISTANCE:	25 FT
REAR SETBACK DISTANCE:	15 FT
SIDE SETBACK DISTANCE:	5 FT
BUILDING HEIGHT:	25 FT

Site Design

The 15 existing lots, along with the proposed incorporation of four (4) additional lots, meet all of the minimum size and dimension requirements specified within the Planned Development Document (PDD). Overall, the site has a density of 4.46 dwelling units per acre. As mentioned, the single-story floor plans are proposed at approximately 1,526, 1,706, and 1,725 square feet with each plan offering one (1) or two (2) elevation options.

ANALYSIS: Following the approval of Tentative Tract Map No. 18013 (TTM-06-002) and adoption of a Planned Development Document via Conditional Use Permit (CUP 16-006), Monte Vista Homes purchased the Project from the original Owner/Developer, Hispano Investors. Subsequently, Monte Vista Homes was able to purchase the adjacent properties along Pacific Street, adjacent to lots 11, 2, 13, and 14 of the approved Tract Map. The new Owner/Applicant has proposed a Tentative Parcel Map No. 20455 (TPM 21-004) will subdivide two (2) newly purchased parcels (APN: 1191-351-02 and 1191-351-03) into four (4) parcels. As previously mentioned, there is an existing 2,020 square foot single-family residence toward the northwest corner of the 1.4 acre site. The Applicant's intent is to create four (4) new individual lots, leave the existing home on one of the newly created parcels with access to and from Pacific Street, and incorporate the remaining three (3) parcels into the approved development of fifteen (15) homes. The Applicant also intends to utilize each of the three (3) floorplans approved as part of the Planned Development Document (PDD). Each of the three (3) lots and newly constructed homes will feature minimum setbacks of 25, 15 and 5 feet for the front, rear, and side yards respectively, in compliance with the site development standards. Lastly, the addition of these three (3) proposed lots will utilize Mansfield Street, Alice Street, and Goodman Court, the same access routes approved as part of the original fifteen (15) lot subdivision.

ATTACHMENTS:

- 1) Planning Commission Resolution No. 2017 - 014; approval of CUP 16-006 & DRA 16-015
- 2) Planning Commission Resolution No. 2022 - _____
Exhibit 1: Conditions of Approval (TPM 21-004)

EXHIBITS:

- A) Area Map
- B) Existing Tract Map No. 18013
- C) Previously Approved Planned Development Document
- D) Previously Approved Building Elevations
- E) Tentative Parcel Map No. 20455

Attachment 1:

**Planning Commission Resolution No. 2017 - 014;
approval of CUP 16-006 & DRA 16-015**

PC RESOLUTION NO. 2017 - 014

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HIGHLAND, CALIFORNIA, APPROVING A CONDITIONAL USE PERMIT APPLICATION (CUP 16-006) AND DESIGN REVIEW APPLICATION (DRA 16-015) FOR THE CONSTRUCTION OF FIFTEEN (15) DETACHED SINGLE-FAMILY RESIDENCES ASSOCIATED WITH TENTATIVE TRACT MAP NO. 18013, AND THE PLANNED DEVELOPMENT DOCUMENT ESTABLISHING THE DEVELOPMENT STANDARDS LOCATED ON AN APPROXIMATELY 3.5 ACRE PARCEL APPROXIMATELY THREE HUNDRED (300) FEET SOUTHEAST OF THE INTERSECTION OF PACIFIC STREET AND VICTORIA AVENUE (APN NO.: 1191-351-04)

APPLICANT: HISPANO INVESTORS, INC.

A. RECITALS

1. On December 19, 2016, the Applicant submitted an application for a Conditional Use Permit (CUP 16-006) and Design Review (DRA 16-015) for fifteen (15) detached single-family residences located on an approximately 3.5 acre parcel of land located approximately three hundred (300) feet southeast of the intersection of Pacific Street and Victoria Avenue (APN: 1191-351-04).
2. The property is within the Victoria Avenue Corridor, established by the General Plan as the major entryway into the San Bernardino International Airport.
3. On August 1, 2017, the Planning Commission of the City of Highland conducted a public hearing on the subject application and concluded the meeting on that date.
4. All legal prerequisites to the adoption of this Resolution have occurred.

B. RESOLUTION

NOW THEREFORE, it is hereby found, determined and resolved by the Planning Commission of the City of Highland as follows:

1. The Planning Commission finds that all of the facts set forth in the Recitals, Part "A" of this Resolution, are true and correct.
2. The City of Highland Planning Commission after due consideration, inspection, investigation and study made by itself and on its behalf, and after due consideration of all evidence and reports offered at said meeting, including the staff report to the Planning Commission dated August 1, 2017, which is incorporated herein by this reference, does find and determine the following facts:
 - a. All necessary public meetings and opportunities for public testimony and comment have been conducted in compliance with State Law and the Municipal Code of the City of Highland.

3 Conditional Use Permit Findings of Fact (CUP 16-006).

- a. The proposed use is permitted within the subject district pursuant to the provisions of this section, and complies with all of the applicable provisions of this title; and is consistent with the goals, policies, and objectives of the Highland General Plan, and the applicable development policies and standards of the city.

Response: The project is located within the Planned Development (PD) General Plan Land Use Designation, and consists of the construction of fifteen (15) detached single-family residences associated with a previously approved Tract Map (TTM 18013), and the Planned Development Document establishing the development standards on a 3.5 acre undeveloped site. As specified within Table 16 12 010.B of the Highland Municipal Code, B. Use Regulations. The General Plan outlines the goals, objectives and policies establishing the character and location of land uses throughout the city. It is the purpose of this section to establish regulations which implement those goals, objectives and policies which provides for superior development by allowing a greater degree of design and land use flexibility within the framework of a site specific development plan

In addition, the City has reviewed the application and conditions of approval have been included to ensure compliance with applicable development policies and standards of the city

- b. The proposed use would not impair the integrity and character of the district in which it is to be established or located.

Response: The site is located within the Planned Development (PD) Zoning District Designation, and consists of the construction of fifteen (15) detached single-family residences associated with a previously approved Tract Map (TTM 18013), and the Planned Development Document establishing the development standards on a 3.5 acre undeveloped site. Therefore, no significant impacts to the existing visual character, or quality of the site and its surroundings would occur as a result of the proposed project. Conditions of approval have been placed on the project to ensure the project would not impair the integrity, or character of the proposed district in which it is to be established

- c. The site is suitable for the type and intensity of use or development which is proposed.

Response: The site is undeveloped. It is suitable for the type and intensity of use of the proposed single-family residences. The proposed use is permitted within the Planned Development Zoning District. Conditions have been placed on the project to ensure that it remains suitable with its surroundings. The site

will be developed with fifteen (15) detached single-family residences associated with a previously approved Tract Map (TTM 18013), and the Planned Development Document establishing the development standards on a 3.5 acre undeveloped site

- d. There are adequate provisions for water, sanitation, and public utilities and services to ensure public health and safety.

Response: Existing on-site water, public utilities and services for the Project will serve the proposed use and ensure public health and safety

- e. The proposed use will not be detrimental to the public health, safety, or welfare, or materially injurious to properties and improvements in the vicinity.

Response: The proposed use consist of fifteen (15) detached single-family residences associated with a previously approved Tract Map (TTM 18013), and the Planned Development Document establishing the development standards on a 3.5 acre undeveloped site. The proposed use will be in compliance with Municipal, Fire & Building codes. It will not be detrimental to the public health, safety or welfare, or materially injurious to properties and improvement in the vicinity

- f. The proposed use would not result in a significant effect on the environment

Response: The proposed project is Categorically Exempt from environmental proceedings pursuant to Section 15301, Class 32, In-Fill Developments, of the California Environmental Quality Act (CEQA) Guidelines, since the proposed project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations and, the development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses

4. Findings of Fact (Design Review)

- a. That the proposed project is consistent with the general plan or specific plan.

Response: The site has a General Plan Land Use and Zoning Designation of Planned Development (PD). The Planned Development Designation does allow for single-family residential, however, the standards of such projects shall be in accordance with the Planned Development (PD) Development Standards. The Planned Development Zoning Designation also allows for single-family residential as proposed by the Applicant. The City has reviewed the proposed use and has applied Conditions of Approval to the Project to address the intensity of the development and insure that it is compatible with the surrounding uses. There are no specific plans associated with this site.

- b. That the proposed use is in accordance with the objectives of Title 16, Land Use and Development of the City of Highland Municipal Code, and the purposes of the land use district in which the site is located.

Response: The site plan, preliminary grading plan, typical building elevations, and conceptual landscape plan have been reviewed and conditioned to be in compliance with the objectives of Title 16, Land Use and Development of the City of Highland Municipal Code, and the purposes of the Land Use District in which the site is located.

- c. That the proposed use is in compliance with city design and landscape standards and criteria.

Response: The proposed elevations are consistent with existing surrounding house designs, and the landscape plans have been preliminarily reviewed by the City of Highlands landscape architect in accordance with the City's ordinances and regulations. Prior to installation of any landscape improvements associated with the Project, the Applicant will be required to submit for landscaping plan check.

- d. That the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare or will not be materially injurious to properties or improvements in the vicinity of the site.

Response: The proposed single-family residential use has been reviewed by the City of Highland and has been found that it will not be detrimental to the public health, safety, welfare, or materially injurious to properties and improvements in the vicinity.

5. Based on the Findings of Fact and Conclusions set forth above, the Planning Commission approves Conditional Use Permit (CUP 16-006) and Design Review Application (DRA-16-015) associated with previously approved Tentative Tract Map No. 18013 for 15 detached single-family residences

C. ADOPTION OF RESOLUTION

The City Clerk shall certify to the adoption of this Resolution and shall cause the same to be published or posted in the manner prescribed by law.

PASSED, APPROVED AND ADOPTED this 1st day of August 2017.

ATTEST.



Randall Hamerly, Chairman
Planning Commission



Lawrence A. Mainez
Community Development Director

ATTACHMENT "A"

CITY OF HIGHLAND **PLANNING DIVISION CONDITIONS OF APPROVAL**

Date: August 1, 2017

Applicant: Hispano Investors, Inc.

File/Index: Conditional Use Permit Application (CUP 16-006) and Design Review Application (DRA 16-015)

Proposal: For the construction of fifteen (15) detached single-family residences associated with a previously approved Tract Map (TTM 18013), and the Planned Development Document establishing the development standards.

Location: An approximately 3.5 acre parcel of land located approximately three hundred (300) feet east of the intersection of Pacific Street and Victoria Avenue (APN: 1191-351-04).

PLANNING CONDITIONS OF APPROVAL

Note. These conditions represent Planning Division conditions only and are meant to be only one part of the Project's overall conditions that may include Building and Safety, Engineering, and the Fire Department conditions of approval. All required on-site and off-site improvements shall be completed and approved prior to final inspection for occupancy, except where noted.

Conditional Use Permit (CUP 16-006) and Design Review Application (DRA 16-015) are conditionally approved, subject to compliance with the requirements as specified below. The Conditions listed below are continuing Conditions; failure of the Applicant and/or operator to comply with any / all Conditions at any time shall result in initiating revocation of the subject permit.

1. Conditional Use Permit and Design Review Application shall become null and void:
 - a. Unless all conditions have been complied with and the occupancy or use of the land or structures authorized by this conditional use permit and design review application have occurred within thirty-six (36) months from the approval date of this conditional use permit, this conditional use permit shall expire and be null and void without further action by the City of Highland.
 - b. Where circumstances beyond the control of the Applicant cause delays which do not permit compliance within the time limitation established in this Section, the Planning Commission may grant an extension of time for a period of time not to exceed an additional thirty-six (36) months. An application for an extension of time must be set forth in writing, stating the reasons for the extension, and must be filed with the community development department no less than 30 calendar days nor more than 90 calendar days prior to the expiration date of the permit or

approval. Such application shall be filed together with the City's processing fee, as established by the City Council

NOTE: All required on-site and off-site improvements shall be completed and approved prior to final inspection for occupancy.

2. The proposed Entitlements permit the construction and occupancy of fifteen (15) detached single-family residences, on approximately 3.5 acre parcel of land located approximately three hundred (300) feet east of the intersection of Pacific Street and Victoria Avenue (APN: 1191-351-04) as illustrated on Exhibits included herein
 - a. The approved site plan, preliminary grading plan, typical building elevations, and conceptual landscape plan are on file with the Planning Division.
 - b. Three complete sets of revised plans reflecting changes required by these conditions of approval shall be submitted to the planning Department within one week of this project's approval.
3. The operator and recorded owner of the property shall submit to the Planning Division written evidence of agreement with all conditions of this approval before the approval becomes effective. Plan check cannot begin prior to receipt of this signed documentation.
4. In compliance with the Highland Municipal Code, the Applicant/Owner shall agree, at his/her sole cost and expense, to defend, indemnify, and hold harmless, the City, its officers, employees, agents, and consultants, from any claim, action, or proceeding brought by a third-party against the City, its officers, agents, and employees, which seeks to attack, set aside, challenge, void, or annul an approval of the City Council, Planning Commission, or other decision-making body, including staff, concerning this project. The City may, at its sole discretion, participate at its own expense in the defense of any such action but such participation shall not relieve the Applicant/Owner of his/her obligations under this condition.
5. The Owner/Applicant is responsible for implementing all conditions of approval to the satisfaction of the Community Development Director, City Engineer, Fire Department, and Police Department. No final inspection or clearances shall be given until all conditions are met. Each condition of approval is separately enforced, and if one of the conditions of approval is found to be invalid by a court of law, all the other conditions shall remain valid and enforceable.
6. The subject property shall be developed in accordance with plans and materials approved by the Planning Commission on August 1, 2017, on file with the City of Highland Planning Division, and shall be in compliance with all conditions of approval contained herein.
 - a. The Site Plan, Plotting, Building Elevations, Floor Plans, and Conceptual Landscape Plan, are included as Exhibit "A"

- b. This project shall also comply with the underling Conditions of Approval adopted with Planning Commission Resolution No. 2007-012 for (TTM 006-002 / 18013) and (CUP 006-004).
7. Revisions, modification, or deletions of associated plans must be submitted to the Planning Division for review and approval. Revisions may require additional review by the Planning Commission.
 8. The Development Impact Fees shall be paid after obtaining a Certificate of Rough Grading for the site and prior to the issuance of Building Permits. The Development Impact Fees are calculated at the time of issuance of Building Permits.
 9. Prior to the issuance of Building Permits, a copy of the utility plan shall be submitted to the Planning Division and City Engineer for review and approval. The Utility Plan shall show the location of all proposed above ground electrical transformers, utility cabinets, back flow devices, Fire Department detector check valves, etc. both on site and in the public right-of-way.
 10. Prior to issuance of a certificate of occupancy by the City, all landscaping, irrigation or other construction shown on the approved landscaping and irrigation plans, including any walls and fences, shall be installed.
 11. Construction activities shall be restricted to weekdays and Saturdays between 7.00 a.m. and 7:00 p.m. only. No construction, other than interior finish work shall be conducted any time on Sundays. Construction equipment shall be muffled in accordance with manufacturer's specifications.
 12. Prior to the start of operations (i.e. construction), the owner/developer shall obtain any necessary permits. The owner/developer shall arrange for a final inspection by representatives of the Planning Division, Building Division, Engineering Division, and Fire Department prior to occupancy of each dwelling.
 13. All heating, venting and air conditioning (HVAC) units shall be ground mounted and shall incorporate sufficient structural or landscape screening, to the satisfaction of the Community Development Director.
 14. Lighting for each residence shall be directed downward in order to minimize glare nuisances to surrounding properties. Fixtures shall be decorative and compatible with the overall project design theme
 15. Perimeter and interior walls and fencing shall be constructed in compliance with the approved plans and conditions of approval for Tract No. 18013. Decorative six (6) foot tall masonry block walls shall be provided along all property lines visible from the public right-of-way. Fences between private lots which are not visible from the public right-of-way shall be a maximum height of six (6) feet and constructed of vinyl fencing as depicted on the approved wall/fence plan.

16. Landscape plans in substantial conformance with Chapter 16.40.390 of the Highland Municipal Code (HMC). Three (3) copies of the landscape plan shall be submitted to the Planning Division for plan check in conjunction with the construction plans, and landscaping shall be installed prior to final inspection. The landscape plans shall incorporate all requirements of HMC Chapter 16.40.390, including, but not limited to, the location of plants, plant species, spacing, and hydrozones and the Maximum Applied Annual Water Allowance (MAWA) and Estimated Total Annual Applied Water Use (ETWU) calculations.
17. Landscape plans submitted into plan check shall comply, and be consistent with, the Water Quality Management Plan, as approved by the Engineering Division.

LANDSCAPING

STREET TREES

- 1) The existing street tree on Goodman Court, just west of this tract, appears to be Crape Myrtle. Continue the use of Crape Myrtles for the street trees at Lots 1, 11, 12, 13. OK to use Chitalpa for Alice Street and Mansfield Street.
- 2) Lots 14 and 15 shall include a designated street tree in addition to the front yard accent tree

FRONT YARD TYPICAL LANDSCAPE

- 6) Provide at 12" maximum on-center spacing, where flatted groundcover is used, due to high failure rate in areas where planting is installed, while other trades (such as painters) are still actively working on site.
- 7) Alternate between (Lippia) turfgrass and (but not limited to) Buffalo Grass or Yarrow, as opposed to Water Saver Fescue, not to exceed 20% cover along the front-yard

LANDSCAPE MAINTENANCE DISTRICT (LMD)

- 8) A separate water meter and electrical point of connection shall be required for the small LMD area along Pacific Street, unless a utility easement is provided at Lot 14.

Engineering

COMMENTS

Prior to issuance of Conditions of Approval, the following comments should be addressed. These comments are preliminary in nature and additional comments may be made. In no way do these comments constitute the final conditions of approval.

1. Please note the following conditions, as they may have impacts on the project and may have not been discussed in the past:
 - a. **Street Improvements** – Nos. 15 & 19
 - b. **Drainage** – No. 25
 - c. **Maps/Dedication** – Nos. 28, 29 & 30
 - d. **Utilities/Construction** – No. 43

CONDITIONS

The following will become conditions of approval for the project. These conditions are in a draft format and may be subject to change. Conditions may be added and/or deleted as a result of the comments above.

- A - Required Prior to Map Approval
- B - Required Prior to Building Permit/Construction
- C - Required Prior to Occupancy
- D - Ongoing
- E - Required Prior to Grading Permit
- * - Non Standard Conditions

SOILS/GEOLOGY/GRADING

- A 1. Submit a preliminary soils report, prepared by a licensed Geotechnical Engineer, for review and approval by the City Engineer. Comply with the recommendations contained in the report and any amendments thereof as approved by the City Engineer.
- A 2. Submit a geology report, prepared by a licensed Engineering Geologist, for review and approval by the City Engineer. Comply with the recommendations contained in the report and any amendments thereof as approved by the City Engineer.
- A 3. Submit rough and/or precise grading plans to the City Engineer for review and approval. Comply with the City of Highland grading standards as shown on the grading plan checklist.
- A 4. Design individual lot grading to drain the entire area of each lot directly to the adjacent street.
- A 5. Submit structural design and location for any required retaining walls for review and approval by the City Engineer. Install concrete v-ditches at the back of retaining walls in accordance with the grading plan checklist.
- C 6. Construct an underground water quality infiltration facility, or an alternate water quality treatment facility, as approved by the City Engineer. The underground infiltration facility shall be located within a separate lot and shall be graded to drain

directly to the adjacent street, and landscaped as approved by the City Planner and Design Review Board.

- E 7. Obtain approval by the City Engineer of a Final Water Quality Management Plan (F-WQMP), prepared in accordance with the City's National Pollutant Discharge Elimination System (NPDES) permit requirements in effect at the time the Conceptual Water Quality Management Plan was approved unless subsequent City NPDES permits require otherwise. The F-WQMP shall (1) be prepared, signed, and sealed by a licensed Civil Engineer, (2) include Site Design Low Impact Development and Source Control Best Management Practices (BMPs) appropriate for commercial development, (3) include a BMP implementation, operation, and funding mechanism, and (4) be certified by the property owner. The property owner shall also enter into a Stormwater BMP Transfer, Access, and Maintenance Agreement with the City on the City form. Include a copy of the recorded agreement in the F-WQMP. Construct BMPs in accordance with the approved F-WQMP
- C 8 Submit two (2) sets of WQMP BMP Exhibits with a "WQMP BMP As-Built Certificate" wet signed and sealed by the Engineer of Record. The Certificate shall state:

"I hereby certify that the Water Quality Management Plan Best Management Practices have been constructed under my supervision in accordance with the approved plans and are functional to the best of my knowledge."
- B 9. Include requirements in the Covenants, Conditions and, Restrictions (CC&Rs) for each owner to maintain site design and source control BMPs designated in the WQMP to be maintained by the owner of each parcel
- A 10. Submit an erosion control plan to minimize potential increases in erosion and sediment transport during construction activity for City Engineer approval. Place erosion control measures during or after grading work as required by the City Engineer
- A 11. Design short term erosion control in accordance with Best Management Practices such as, hydroseeding, mulching, jute matting or plastic sheeting to protect slopes; silt fencing to control site perimeter; and straw bale barriers, sand bag barriers, rock filters or sediment basins to control internal erosion, or other methods to stabilize disturbed areas, as approved by the City Engineer
- D 12 Implement dust control measures during construction activities including, but not limited to, daily watering of construction area as frequently as necessary during active and inactive periods, utilizing soil emulsions, limiting construction vehicle speed to 10 miles per hour, stabilizing construction entrances to prevent trackout of sediments, and street sweeping.
- B 13. Submit original wet signed and stamped rough grading certifications from the soils engineer and the grading engineer, along with compaction reports, to the City Engineer.

- C 14. Submit original wet signed and stamped final grading certification from the grading engineer, to the City Engineer.

STREET IMPROVEMENTS

- C* 15. Remove the existing drive approach on Pacific Street and replace with full height curb and gutter as well as any sidewalk necessary to meet ADA requirements, and in accordance with City standards. The limits of removals shall be as directed by the Public Works Inspector.
- C* 16. Remove the existing curb and gutter and paving within the cul-de-sac on Goodman Court and construct new street improvements including, but not limited to, curb and gutter, six-foot curb adjacent sidewalk, asphalt concrete pavement and class II aggregate base, to provide a standard typical section. Reconstruct three driveway approaches, constructs transitions to the existing driveways, and modify landscaping and irrigation, as approved by the City Engineer and City Planner
- C 17. Construct street improvements on Mansfield Street, Alice Street and Goodman Court including, but not limited to, curb and gutter, six-foot curb adjacent sidewalk, asphalt concrete pavement, class II aggregate base, and one driveway approach per lot. Street widths shall be 36 feet curb to curb. The minimum street grade shall be 1 percent.
- C 18. Install street name signs, traffic control signs, no parking signs, and pavement markings, with locations and types approved by the City Engineer
- C 19. Design and submit construction plans for street lighting on Mansfield Street, Alice Street and Goodman Court, to be owned and maintained by the City, for approval by the City Engineer. Construct the street lighting system with Light Emitting Diode (LED) luminaires on decorative poles, with types and at locations specified by the City Engineer and the Community Development Director. Install street lights, electric meters, conduits, conductors, etc., per City requirements. Coordinate with Southern California Edison to energize the street lights, and pay the City for the initial 12-months of street lighting energy and maintenance charges
- A 20. Submit street improvement plans to the City Engineer for review and approval. Indicate the location of any existing utility/facility which would affect construction on final plans and profiles. Comply with the City of Highland design standards as shown on the street and storm drain improvement checklist. Include in the street design, the westerly extension of Goodman Court beyond the end of the proposed improvements, as necessary to justify grades.
- B 21. Submit a thorough evaluation of the structural road section from a soil engineer to the City Engineer. Include a recommended street structural section, designed for a service life of 20 years as outlined in Section 600 of the Caltrans Highway Design Manual. The minimum section is 3" A C /4" A.B. The City Engineer will provide traffic indexes.

- A 22. Design public improvements including sidewalk, drive approaches and access ramps in accordance with all requirements of the State of California Accessibility Standards, Title 24 California Administrative Code.
- C 23. Submit "Record Revisions" to all plans to reflect the improvements as constructed, and any changes made during construction
- D 24. After all houses are constructed, slurry seal the streets within the tract prior to final bond release or submit cash payment in lieu of slurry seal.

DRAINAGE

- C* 25. Construct a concrete v-ditch on the adjoining property northerly of Lots 11, 12 and 13, and a drainage facility along the westerly property line of Lot 13, to intercept and convey off-site drainage to the street. Utilize an under sidewalk drain within the public right-of-way. If the developer cannot obtain permission from the adjacent property owner after a verifiable good faith effort, an alternate design may be submitted for review by the City Engineer.
- C 26. Intercept and convey off-site drainage tributary to the project boundary around or through the project in a manner that will not adversely affect adjacent or downstream properties
- A 27. Prepare and submit a hydrology study to determine storm runoff quantities tributary to the site. Include hydraulic calculations to determine the size and type of all drainage facilities.

MAP/DEDICATION

- A* 28. Pacific Street is identified as a Secondary Highway (88-foot right-of-way) per the City of Highland General Plan. The applicant/developer shall dedicate an additional 14-feet of right-of-way along the frontage of Pacific Street (Lots 14 and 15).
- A* 29. Apply to the City to annex the project into assessment districts for maintenance of water quality treatment BMPs, and landscaping for Basin Lot "A". Sign ballots prepared by the City agreeing to the annexations and amounts of assessment.
- A* 30. Dedicate 5-foot public utility and sidewalk easements on the south sides of Mansfield Street along the frontage of Lot 10.
- A* 31. Reserve a private drainage easement across Lots 11, 12 and 13 (as necessary) for the use and benefit of the upstream property owners
- A* 32. Dedicate street right-of-way and all necessary easements within the tract boundary by Final Map. Goodman Court and Alice Street right-of-way shall be 60 feet in width. Mansfield Street right-of-way shall be 55-feet (30-feet on the north, 25-feet on the south.)
- A 33. Dedicate corner property line cutoffs for all corner lots in accordance with City standards.

- B 34. Record a Final Map with the San Bernardino County Recorder pursuant to the provisions of the State Subdivision Map Act
- A 35. At the time of Final Map submittal, include traverse calculation sheets which show error of closure, copies of recorded maps and deeds used as reference and/or showing original land division, tie notes and bench marks referenced, and a current title report. Inverse calculations will not be accepted for plan check.

FEES/PERMITS/BONDING

- C* 36. Make a cash payment for one year of landscaping maintenance, to be provided by the City through the assessment district after a six-month plant establishment period and the City's acceptance of landscaping.
- D 37. Obtain a permit from Engineering prior to any on-site grading or construction within the City's right-of-way
- D 38. Pay appropriate engineering fees for bond processing, district annexations, plan check, WQMP review, hydrology study review, structural calculation review, on-site and off-site inspection, utility excavation permits, GIS map plan update, microfilming and storage of maps and plans, and other required fees
- A 39. Post a deposit for monumentation which shall not be released prior to completion of all on-site construction
- E 40. Post a deposit for erosion control which shall not be released prior to completion of all on-site construction
- A 41. Bond for all required street, grading, water, sewer, on-site landscaping, and landscape maintenance district improvements in accordance with City Development Code.
- A 42. Enter into an agreement for construction of improvements with the City of Highland using the adopted City form

UTILITIES/CONSTRUCTION

- C* 43. The applicant/developer shall be responsible for the payment of Utility Undergrounding in-lieu fees in accordance with Section 16.40.380 of the Highland Municipal Code. This includes the utility lines along the Pacific Street frontage (Lots 14 & 15). Fees will be in accordance with Resolution 2007-062
- E* 44. Obtain written permission from the adjoining property owners for offsite grading, if any.
- E* 45. Install construction fencing and screening in accordance with Building and Safety Division Policy 335.
- C 46. Coordinate, and where necessary, pay for the relocation of any existing public utilities as necessary.

- C 47. Provide all utility services to each lot, including sanitary sewers, water, electric power, cable, gas, and telephone. All utilities are to be underground.
- C 48. Reconstruct existing public improvements removed or damaged during construction as approved by the City Engineer. Pavement repair, which may include A.C. overlay, T-cut trench repair and/or slurry seal shall be across all or a portion of damaged pavement as determined by the City Engineer.
- E 49. Comply with applicable requirements of the National Pollutant Discharge Elimination System (NPDES) permit program. Provide written verification from the Regional Water Quality Control Board specifying the project's WDID number.
- B 50. Destroy any abandoned wells on the property or similar structures that might result in contamination of underground waters in a manner approved by the City Engineer.
- B 51. All underground structures, except those desired to be retained, must be broken in, backfilled, and inspected before covering.
- D 52. Comply with the prevailing City design and construction standards and requirements at the time of permit issuance.

Project: CUP-16-006; DRA 160-15
SE Corner of Pacific and Victoria Ave.

ALL CONSTRUCTION (New and renovations to existing) SHALL COMPLY WITH THE CALIFORNIA FIRE CODE (2013 edition) Along with amendments as adopted within the Highland Municipal Code (Ord. #387).

Compliance with the following items are conditions of FINAL APPROVAL. (

1. ADDRESS NUMBERS SHALL BE PLACED ON ALL NEW AND EXISTING RESIDENTIAL STRUCTURES IN SUCH A MANNER AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE ACCESS ROADWAY OR STREET. SINGLE FAMILY DWELLINGS SHALL HAVE NUMBERS OF 4" HEIGHT, 3/8" STROKE ON CONTRASTING BACKGROUND. ADDRESS NUMBERS SHALL BE LOW VOLTAGE, AUTOMATICALLY ELECTRICALLY ILLUMINATED.

WHERE STRUCTURE SETBACK EXCEEDS ONE HUNDRED (100) FEET FROM THE ACCESS ROADWAY OR STREET, ADDITIONAL NON-ILLUMINATED NUMBERS 4" IN HEIGHT, 3/8" STROKE, ON CONTRASTING BACKGROUND SHALL BE DISPLAYED AT PROPERTY ACCESS ENTRANCE. CFC 505.1

2. REQUIRED FIRE FLOW FOR THIS PROJECT, DETERMINED BY CALIFORNIA FIRE CODE APPENDIX B, IS AS FOLLOWS:

RESIDENTIAL: 500gpm AT 20 PSI RESIDUAL, FOR A 1- HOUR DURATION.

3. FIRE HYDRANT SPACING SHALL BE:

SINGLE FAMILY RESIDENTIAL: 600 FEET FROM ANY PORTION OF THE STRUCTURES

4. AUTOMATIC FIRE SPRINKLERS SHALL BE INSTALLED ACCORDING TO NFPA 13D AND FIRE DEPARTMENT REQUIREMENTS. SUBMIT THREE (3) SETS OF SHOP PLANS WITH MATERIAL CUT SHEETS AND HYDRAULIC CALCULATIONS FOR FIRE DEPT. REVIEW AND APPROVAL PRIOR TO ANY INSTALLATION. SUBMIT COPY OF CALIFORNIA C-16 LICENSE.

Jason Walsh, Fire Marshal
City of Highland Fire Department

Building and Safety Division Conditions of Approval

Date: 5-10-17
Applicant: Raul Sanchez – Dixi Design
Address of Applicant: 1231 N. Cactus unit E, Rialto, CA 92376
Site Location: South East Corner of Victoria and Pacific
Telephone: 909-549-5563
APN 1191-351-04
CUP 16-006
DRA 16-015

1. Please provide three (3) sets of the following construction plans and documents listed below for review of the proposed project. The initial plan review time will take two weeks on most projects. The applicant will receive a plan review number at the time plans are submitted for Building & Safety's plan review. This plan review number is needed to obtain information regarding your project.

- (3) Architectural Plans
- (3) Structural Plans
- (3) Structural Calculations
- (3) Plot/Site Plans
- (3) Electrical Plans
- (3) Electrical Load Calculations
- (3) Plumbing Plans/Isometrics
- (3) Mechanical Plans
- (3) HVAC Duct Layout Plans
- (3) Roof and Floor Truss Plans
- (3) Title 24 Energy Calculations
- (3) Geology Report
- (3) Soils Report
- (3) Precise Grading Plans
- (3) Site Disabled Access Plan
- (3) Condition of Approval Packages
- (3) Temporary Fence Plan

2. All structures shall be designed in accordance with the current version of the California Building Codes, including the California Green Building Standards Code. Design all structures to comply with Seismic Design Category D, basic wind speed 110 (ULT) MPH, at exposure "C."

3. Per each lot, the gas will not be released until all final approvals are made. Policy 295.
4. The Developer/Owner is responsible for the coordination of releasing any Deferral of Development Impact Fees or Bonds after such fees have been paid. The Developer/Owner should be aware, once the deferral notice is sent to the San Bernardino County Recorder's Office; the release process takes two to three weeks. This process will delay final Certificates of Occupancy.
5. The Developer/Owner is responsible for the coordination of the final occupancy. The Developer/Owner shall request clearances from each department and/or agency at least two weeks prior to requesting a final building inspection from Building and Safety. Each agency shall sign the back of the Building and Safety Job Card and provide a copy of the signatures to Building and Safety at the time a final inspection is requested.
6. Building and Safety inspection requests can be made 24 hours in advance for the next day inspection. Please contact (909) 864-2136, Ext 228. You may also fill out an inspection request at the Building and Safety counter and submit it to the permit technician for the next day inspection.
7. A security fence with screening shall protect all construction sites. The fencing and screening shall be maintained at all times to protect pedestrians.
8. Portable toilet facilities shall be provided for construction workers and such facilities shall be maintained in a sanitary condition. Construction toilet facilities of the non-sewer type shall conform to ANSI ZA.3
9. All construction materials, which are not used, shall be recycled pursuant to the requirements set forth by Ordinance No. 269. Receipts from the recycle company responsible for picking up the materials shall be kept in the construction office. After the construction is complete and before final occupancy, the trash receipts shall be forwarded to the Planning Division.
10. Construction projects, requiring temporary electrical power, shall obtain an electrical permit from Building and Safety. No temporary electrical power will be granted to a project unless the following item is in place and approved by Building and Safety and the Planning Division.
 - a) Installation of a construction trailer through the "Temporary Occupancy Permit", alternatively, a security fenced area where the electrical power will be located. Installation of construction/sales trailers must be located on private property. No trailers can be located in the street unless a permit from the Engineering Department is obtained.

11. Fire Sprinklers are required by Ordinance 209. Submit fire sprinkler plans to the Fire Marshal located at 27215 Base Line, Highland CA. Please contact the Fire Marshal for information on the design requirements. (909) 864-2136, ext. 248.
12. Prior to the issuance of Building Permits, on site water service shall be installed and approved by the responsible agency. On site fire hydrants shall be approved by the Fire Department. No flammable materials will be allowed on the site until the fire hydrants are established and approved. No flammable construction materials shall be placed on the site without approvals by the Fire Department. All street and access roadways around the project shall be paved for emergency response vehicles before flammable materials are placed on the project.
13. Prior to issuance of permits, site-grading certifications and compaction reports shall be submitted to Building and Safety.
14. Prior to issuance of building permits, provide a receipt from the appropriate Unified School District stating that all school fees have been paid. This project is located in the San Bernardino Unified School District.
15. All construction projects shall comply with the NPDES Stormwater Best Management Program. Prior to building permit issuance submit copy of the Water Quality Management Program Report. (WQMP)
16. Prior to final inspection, provide Building & Safety with a flash disk of the approved plans and documents.
17. Site development and grading shall be designed to provide access to all entrances and exterior ground floor exits and access to normal paths of travel. The accessible route(s) of travel shall be the most practical direct route.
18. The City enforces the State of California provisions of the California Building Code disabled access requirements. The Federal Americans with Disabilities Act (ADA) standards may differ in some cases from the California State requirements, therefore it is the building owner's responsibility to be aware of those differences and comply accordingly.
19. At the time of the project plan submittal for plan review, submit a Commissioning Plan pursuant to (Section 5.410.2 and Section 5.410.2.3) of the California Green Building Standards Code. The Commissioning Plan shall include the following:
 - a. General project information
 - b. Commissioning goals
 - c. Systems to be commissioned
 - d. An explanation of the original design intent
 - e. Equipment and systems to be tested, including the extent of the test
 - f. Functions to be tested.
 - g. Conditions under which the test shall be performed

- h. Measurable criteria for acceptable performance
- i. Commissioning team information
- j. Commissioning process activities, schedules and responsibilities.
- k. Plans for the completion of the commissioning shall be included.

STATE OF CALIFORNIA)
COUNTY OF SAN BERNARDINO)
CITY OF HIGHLAND)

I, Brandy Littleton, Administrative Assistant III of the City of Highland, California, do hereby certify Resolution No. 2017- 014 was duly and regularly adopted by the Planning Commission of the City of Highland, California, at a regular meeting thereof held on the 3rd day of August, 2017, by the following vote:

AYES: J. Gamboa, R. Haller, R. Hamerly

NOES:

ABSTAIN:

ABSENT: M. Shaw, M. Sparks



Brandy Littleton, Administrative Assistant III

Attachment 2:

**Planning Commission
Resolution No. 2022 - ____**

RESOLUTION NO. 2022 - ____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HIGHLAND, CALIFORNIA, APPROVING TENTATIVE PARCEL MAP NO. 20455 (TPM 21-004) TO SUBDIVIDE TWO (2) EXISTING PARCELS INTO FOUR (4) NEW PARCELS AND AMENDING CONDITIONAL USE PERMIT (CUP 16-006) AND DESIGN REVIEW APPLICATION (DRA 16-015) TO INCORPORATE 3 ADDITIONAL LOTS TO THE APPROVED 15 LOTS FOR A TOTAL OF 18 LOTS LOCATED ON AN APPROXIMATELY 1.4 ACRE SITE APPROXIMATELY TWO-HUNDRED (200) FEET EAST OF THE INTERSECTION OF PACIFIC STREET AND VICTORIA.

AVENUE ASSESSOR'S PARCEL NUMBER: 1191-351-02 & 1191-351-03.

APPLICANT: MONTE VISTA HOMES

A. RECITALS

1. On September 18, 2007, the Planning Commission adopted Resolution No. 2007-012, approving Tentative Tract Map No. 18013 (TTM-06-002) for seventeen (17) single-family residential lots and Conditional Use Permit (CUP 006-004) which formally adopted a Planned Development Document (PDD) for the site, establishing development standards for a future single family development.
2. On December 19, 2016, the Applicant submitted a new application for Conditional Use Permit (CUP 16-006) and Design Review Application (DRA 16-015) for a revised Planned Development Document (PDD) featuring a new tract design for fifteen (15) single-family homes.
3. On August 1, 2017, the Planning Commission adopted Resolution No. 2017-014, approving Conditional Use Permit (CUP 16-006) and Design Review Application (DRA 16-015), which formally adopted the new Planned Development Document (PDD) for the site, establishing revised development standards for the future single family development.
4. On October 11, 2021, the Applicant submitted applications for a Tentative Parcel Map No. 20455 (TPM 21-004) to subdivide two (2) existing parcels into four (4) new parcels and amend Conditional Use Permit (CUP 16-006) and Design Review Application (DRA 16-015) to incorporate 3 additional lots to the approved 15 lots for a total of 18 lots.
5. On March 1, 2022, the Planning Commission of the City of Highland conducted a public hearing on the subject applications and concluded the meeting on that date.
6. All legal prerequisites to the adoption of this Resolution have occurred.

B. RESOLUTION

NOW THEREFORE, it is hereby found, determined and resolved by the Planning Commission of the City of Highland as follows:

1. The Planning Commission finds that all of the facts set forth in the Recitals, Part "A" of this Resolution, are true and correct.
2. The City of Highland Planning Commission after due consideration, inspection, investigation and study made by itself and on its behalf, and after due consideration of all evidence and reports offered at said meeting, including the staff report to the Planning Commission dated March 1, 2022, which is incorporated herein by this reference, does find and determine the following facts:
 - a. All necessary public meetings and opportunities for public testimony and comment have been conducted in compliance with State Law and the Municipal Code of the City of Highland.
3. Findings of Fact for **Conditional Use Permit (CUP 16-006)**
 - a. The proposed use is permitted within the subject district pursuant to the provisions of this section, and complies with all of the applicable provisions of this title; and is consistent with the goals, policies, and objectives of the Highland general plan, and with the applicable development policies and standards of the city;

Response: The project is located within the Planned Development (PD) General Plan Land Use Designation, and now consists of the construction of eighteen (18), as opposed to fifteen (15), detached single-family residences associated with a previously approved Tract Map No. 18013 (TTM-06-002) and the Planned Development Document on a 4.76 acre undeveloped site. As specified within Table 16.12.010.B of the Highland Municipal Code, B. Use Regulations. The General Plan outlines the goals, objectives and policies establishing the character and location of land uses throughout the city. It is the purpose of this section to establish regulations which implement those goals, objectives and policies which provides for superior development by allowing a greater degree of design and land use flexibility within the framework of a site specific development plan.

In addition, the City has reviewed the application and conditions of approval have been included to ensure compliance with applicable development policies and standards of the city.

- b. The proposed use would not impair the integrity and character of the district in which it is to be established or located.

Response: The site is located within the Planned Development (PD) Zoning District Designation, and now consists of the construction of eighteen (18), as opposed to fifteen (15), detached single-family residences associated with a previously approved Tract Map No. 18013 (TTM-06-002) and the Planned Development Document establishing the development standards on a 4.76 acre undeveloped site. Therefore, no significant impacts to the existing visual character, or quality of the site and its surroundings would occur as a result of the proposed project. Conditions of approval have been placed on the project to ensure the project would not impair the integrity, or character of the proposed district in which it is to be established.

- c. The site is suitable for the type and intensity of use or development which is proposed.

Response: There is an existing 2,020 square foot single-family residence toward the northwest corner of the 1.4 acre portion that will be added to the project site. The Applicant's intent is to create four (4) new individual lots, leave the existing home on one of the newly created parcels with access to and from Pacific Street, and incorporate the remaining three (3) parcels into the approved development of fifteen (15) homes. The remainder of the site is undeveloped. It is suitable for the type and intensity of use of the proposed single-family residence and is permitted within the Planned Development Zoning District. Conditions have been placed on the project to ensure that it remains suitable with its surroundings.

- d. There are adequate provisions for water, sanitation, and public utilities and services to ensure public health and safety.

Response: The project site will require provisions for water, sewer, public utilities, and public health and safety. As required by the Highland Municipal Code, a "will-serve" letter from the water and sanitation provider must be submitted to the City's Building Official prior to the issuance of building permits. Additionally, the project site will be served by the City of Highland Fire and Police Departments. As conditioned, the Applicant/Developer is required to pay Development Impact Fees which contribute to the additional infrastructure costs associated with these services. Furthermore, as conditioned, the Applicant/ Developer will be required to coordinate with the gas and electricity purveyors to ensure that the project site is adequately serviced. As such, there will be adequate provisions for water, sanitation, and public utilities and services to ensure public health and safety.

- e. The proposed use will not be detrimental to the public health, safety, or welfare, or materially injurious to properties and improvements in the vicinity.

Response: The project now consists of the construction of eighteen (18), as opposed to fifteen (15), detached single-family residences associated with a previously approved Tract Map No. 18013 (TTM-06-002) and the Planned Development Document establishing the development standards on a 4.76

acre undeveloped site. The proposed use will be in compliance with Municipal, Fire & Building codes. It will not be detrimental to the public health, safety or welfare, or materially injurious to properties and improvement in the vicinity.

- f. The proposed use would not result in a significant effect on the environment.

Response: The proposed project is Categorically Exempt from environmental proceedings per Section 15301, Class 32, for In-Fill Development Projects. The incorporation of the three (3) new lots and 1.4 acres will expand the size of the project site from 3.36 acres to 4.76 acres, keeping the scope of work below the five (5) acre limit. No further environmental review is required

4. Findings of Fact for **Design Review Application (DRA 16-015)**

- a. That the proposed project is consistent with the general plan or specific plan.

Response: The site has a General Plan Land Use and Zoning Designation of Planned Development (PD). The Planned Development Designation does allow for single-family residential, however, the standards of such projects shall be in accordance with the Planned Development (PD) Development Standards. The City has reviewed the proposed use and has applied Conditions of Approval to the Project to address the intensity of the development and insure that it is compatible with the surrounding uses.

- b. That the proposed use is in accordance with the objectives of Title 16, Land Use and Development of the City of Highland Municipal Code, and the purposes of the land use district in which the site is located.

Response: The site plan, preliminary grading plan, building elevations, and conceptual landscape plan were previously reviewed and conditioned to be in compliance with the objectives of Title 16, Land Use and Development of the City of Highland Municipal Code, and the purposes of the Land Use District in which the site is located.

- c. That the proposed use is in compliance with city design and landscape standards and criteria.

Response: The proposed elevations are consistent with existing surrounding house designs, and the landscape plans have been preliminarily reviewed by the City of Highlands landscape architect in accordance with the City's ordinances and regulations. Prior to installation of any landscape improvements associated with the Project, the Applicant will be required to submit for landscaping plan check.

- d. That the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare or will not be materially injurious to properties or improvements in the vicinity of the site.

Response: The proposed single-family residential use has been reviewed by the City of Highland and has been found that it will not be detrimental to the public health, safety, welfare, or materially injurious to properties and improvements in the vicinity.

5. Findings of Fact for **Tentative Parcel Map No. (TPM 21-004)**

- a. The proposed map is consistent with applicable General and specific plans.

Response: The subdivision of this 1.4 acre area comprised of two (2) parcels will create four (4) new parcels, one (1) to accommodate the existing home, and three (3) additional parcels that will be incorporated into the existing fifteen (15) home development for a total of eighteen (18) homes. The parcel map is in compliance with the vision for development of the City, as described in the Highland Municipal Code, Chapter 16.12.010 Planned Development (PD) District.

- b. The design or improvement of the proposed subdivision is consistent with applicable general plan.

Response: The proposed development is located on a 1.4 acre area comprised of two (2) parcels will create four (4) new parcels, (1) to accommodate the existing home, and three (3) additional parcels that will be incorporated into the existing fifteen (15) home development for a total of eighteen (18) homes. this project is in compliance with the vision for the General Plan's Victoria Avenue Corridor.

- c. The site is physically suitable for the type of development.

Response: The site is generally flat without any unusual features and is located within an urbanized area with existing services and infrastructure available to the Site. The proposed Parcel Map subdivides two (2) existing parcels, approximately 1.4 acres in total, into four (4) separate parcels, one (1) to accommodate the existing home, and three (3) additional parcels that will be incorporated into the existing fifteen (15) home development for a total of eighteen (18) homes.

- d. The site is physically suitable for the proposed density of development.

Response: The proposed project is in compliance with the development standards in the Highland Municipal Code, Chapter 16.12.010 Planned Development (PD) District. Currently, there is an existing 2,020 square foot single-family residence toward the northwest corner of the 1.4 acre site. The Applicant's intent is to create four (4) new individual lots, leave the existing home on one of the newly created parcels with access to and from Pacific Street, and incorporate the remaining three (3) parcels into the approved development of fifteen (15) homes.

- e. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

Response: Pursuant to CEQA, Tentative Parcel Map No. 20455 (TPM 21-004) and the amendment to Conditional Use Permit (CUP 16-006) and Design Review Application (DRA 16-015) are deemed Categorically Exempt from environmental proceedings per Section 15301, Class 32, for In-Fill Development Projects. The incorporation of the three (3) new lots and 1.4 acres will expand the size of the project site from 3.36 acres to 4.76 acres, keeping the scope of work below the five (5) acre limit. No further environmental review is required

- f. The design of the subdivision or type of improvements is not likely to cause serious public health problems.

Response: The proposed Parcel Map provides the new parcels and site layout required for the Planned Development to be constructed as intended. No public health problems are expected as a result of this subdivision.

- g. The design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision.

Response: The design of the subdivision will not conflict with easements for access through, or use of, property within the proposed subdivision.

- 5. Based on the Findings of Fact and Conclusions set forth above, the Planning Commission approves Tentative Parcel Map No. 20455 (TPM 21-004) to subdivide two (2) existing parcels into four (4) new parcels and amending Conditional Use Permit (CUP 16-006) and Design Review Application (DRA 16-015) to incorporate 3 additional lots to the approved 15 lots for a total of 18 lots.

C. ADOPTION OF RESOLUTION

The City Clerk shall certify to the adoption of this Resolution and shall cause the same to be published or posted in the manner prescribed by law.

Exhibit 1 attached includes the project Conditions of Approval

PASSED, APPROVED, and ADOPTED this 1st day of March 2022.

ATTEST:

Randall Hamerly, Chairman
Planning Commission

Lawrence A. Mainez
Community Development Director

Attachment 2 - Exhibit 1:

Conditions of Approval (TPM 21-004)

EXHIBIT 1

CITY OF HIGHLAND **PLANNING DIVISION CONDITIONS OF APPROVAL**

Date: March 1, 2022

Applicant: Monte Vista Homes

File/Index: Tentative Parcel Map No. 20455 (TPM 21-004), Conditional Use Permit Application (CUP 16-006), and Design Review Application (DRA 16-015)

Proposal: Subdivision of two (2) existing parcels into four (4) new parcels (TPM 21-004) on an existing 1.4 acre site and amendment to Conditional Use Permit (CUP 16-006) and Design Review Application (DRA 16-015) to incorporate three (3) additional lots to the approved 15 lots for a total of 18 lots.

Location: A 1.4 acre site located approximately two-hundred (200) feet east of the intersection of Pacific Street and Victoria Avenue. Assessor's Parcel Number: 1191-351-02 and 1191-351-03.

PLANNING CONDITIONS OF APPROVAL

Note: These conditions represent Planning Division conditions only and are meant to be only one part of the Project's overall conditions that may include Building and Safety, Engineering, and the Fire Department conditions of approval. All required on-site and off-site improvements shall be completed and approved prior to final inspection for occupancy, except where noted.

Tentative Parcel Map No. 20455 (TPM 21-004), Conditional Use Permit Application (CUP 16-006), and Design Review Application (DRA 16-015) are conditionally approved, subject to compliance with the requirements as specified below. The Conditions listed below are continuing Conditions; failure of the Applicant and/or operator to comply with any / all Conditions at any time shall result in initiating revocation of the subject permit.

1. Tentative Parcel Map No. 20455 (TPM 21-004), Conditional Use Permit Application (CUP 16-006), and Design Review Application (DRA 16-015) shall become null and void:
 - a. Unless all conditions have been complied with and the occupancy or use of the land or structures authorized by this conditional use permit and design review application have occurred within thirty-six (36) months from the approval date of this conditional use permit, this conditional use permit shall expire and be null and void without further action by the City of Highland.

- b. Where circumstances beyond the control of the Applicant cause delays which do not permit compliance within the time limitation established in this Section, the Planning Commission may grant an extension of time for a period of time not to exceed an additional thirty-six (36) months. An application for an extension of time must be set forth in writing, stating the reasons for the extension, and must be filed with the community development department no less than 30 calendar days nor more than 90 calendar days prior to the expiration date of the permit or approval. Such application shall be filed together with the City's processing fee, as established by the City Council.

NOTE: All required on-site and off-site improvements shall be completed and approved prior to final inspection for occupancy.

2. The proposed entitlements permit subdivision of two (2) existing parcels into four (4) new parcels (TPM 21-004) on an existing 1.4 acre site and an amendment to Conditional Use Permit (CUP 16-006) and Design Review Application (DRA 16-015) to incorporate three (3) additional lots to the approved 15 lots for a total of 18 lots on approximately 4.76 total acres located approximately two hundred (200) feet east of the intersection of Pacific Street and Victoria Avenue.
 - a. The approved site plan, preliminary grading plan, typical building elevations, and conceptual landscape plan are on file with the Planning Division.
 - b. Three complete sets of revised plans reflecting changes required by these conditions of approval shall be submitted to the planning Department within one week of this project's approval.
3. The operator and recorded owner of the property shall submit to the Planning Division written evidence of agreement with all conditions of this approval before the approval becomes effective. Plan check cannot begin prior to receipt of this signed documentation.
4. In compliance with the Highland Municipal Code, the Applicant/Owner shall agree, at his/her sole cost and expense, to defend, indemnify, and hold harmless, the City, its officers, employees, agents, and consultants, from any claim, action, or proceeding brought by a third-party against the City, its officers, agents, and employees, which seeks to attack, set aside, challenge, void, or annul an approval of the City Council, Planning Commission, or other decision-making body, including staff, concerning this project. The City may, at its sole discretion, participate at its own expense in the defense of any such action but such participation shall not relieve the Applicant/Owner of his/her obligations under this condition.
5. The Owner/Applicant is responsible for implementing all conditions of approval to the satisfaction of the Community Development Director, City Engineer, Fire Department, and Police Department. No final inspection or clearances shall be

given until all conditions are met. Each condition of approval is separately enforced, and if one of the conditions of approval is found to be invalid by a court of law, all the other conditions shall remain valid and enforceable.

6. The subject property shall be developed in accordance with plans and materials approved by the Planning Commission on March 1, 2022, on file with the City of Highland Planning Division, and shall be in compliance with all conditions of approval contained herein.
 - a. This project shall also comply with the underling Conditions of Approval adopted with Planning Commission Resolution No. 2007-012 for Tentative Tract Map No. 18013 (TTM-06-002) and Conditional Use Permit (CUP 06-004).
7. The subject property shall be developed in accordance with plans and materials approved by the Planning Commission on March 1, 2022, on file with the City of Highland Planning Division, and shall be in compliance with all conditions of approval contained herein and as defined on the Tentative Parcel Map No. 20142 included as Exhibit 3B.
8. Revisions, modifications, and/or deletions to the approved plans shall be submitted to the Planning Division for review and approval. Revisions, modifications and/or deletions may require additional review by the Planning Commission.
9. In compliance with the Highland Municipal Code, the Applicant/Owner shall, at his/her sole cost and expense and through counsel of the City's choosing, protect, defend, indemnify, and hold harmless, the City, its officers, employees, agents, and consultants (collectively, "City indemnitees"), from all liability and monetary damages, and all claims, actions, or proceedings brought against the City indemnitees, arising from the issuance of the permit or approval, or the denial thereof, or arising from any action by any person seeking to have a permit or approval held void by a court of law. Owner/Applicant shall make a deposit of City's reasonably anticipated costs and attorneys' fees in advance, and shall promptly reimburse the City for any fees, costs, or damages City actually incurs in excess of the deposit.
10. No expansion of the project beyond the scope and nature described in the application (TPM 21-004), which would tend to increase the projected scale of the project, shall be permitted except upon application for, and approval of, modification of this application in compliance with all procedures and requirements therefore.
11. The applicant and recorded owner of the property shall submit to the Planning Division written evidence of agreement with all conditions of this approval before the approval becomes effective. Plan check cannot begin prior to receipt of this signed documentation.

12. The Applicant/Owner is responsible for implementing all conditions of approval to the satisfaction of the Community Development Director, City Engineer, Fire Department, and Police Department. No final inspection or clearances shall be given until all conditions are met. Each condition of approval is separately enforced, and if one of the conditions of approval is found to be invalid by a court of law, all the other conditions shall remain valid and enforceable.
13. Prior to the start of operations (i.e. construction), the developer shall obtain any necessary permits. The developer shall arrange for a final inspection by representatives of the Planning Division, Building Division, Engineering Division, and Fire Department prior to the start of operations (i.e., occupancy). Any discrepancy between the approved plans and the field conditions shall be remedied prior to the start of operations (i.e., occupancy) such that the field condition is consistent with the approved plans. If the field condition cannot be reconfigured to match the approved plans, the Community Development Director shall consider any requested deviation and may refer the matter to the Planning Commission for review and consideration.
14. All Ordinances, Policy Resolutions, and Standards of the City in effect at the time this project is approved shall be complied with as a condition of this approval.
15. No further subdivision of any lot shall be permitted.
16. The Development Impact Fees shall be paid after obtaining a Certificate of Rough Grading for the site and prior to the issuance of Building Permits. The Development Impact Fees are calculated at the time of issuance of Building Permits.
17. Prior to issuance of a certificate of occupancy by the City, all landscaping, irrigation or other construction shown on the approved landscaping and irrigation plans, including any walls and fences, shall be installed.
18. Construction activities shall be restricted to weekdays and Saturdays between 7:00 a.m. and 7:00 p.m. only. No construction, other than interior finish work shall be conducted any time on Sundays. Construction equipment shall be muffled in accordance with manufacturer's specifications.
19. Prior to the start of operations (i.e. construction), the owner/developer shall obtain any necessary permits. The owner/developer shall arrange for a final inspection by representatives of the Planning Division, Building Division, Engineering Division, and Fire Department prior to occupancy of each dwelling.
20. All heating, venting and air conditioning (HVAC) units shall be ground mounted and shall incorporate sufficient structural or landscape screening, to the satisfaction of the Community Development Director.

21. Lighting for each residence shall be directed downward in order to minimize glare nuisances to surrounding properties. Fixtures shall be decorative and compatible with the overall project design theme.
22. Perimeter and interior walls and fencing shall be constructed in compliance with the plans previously approved for Tract Map No. 18013. Decorative six (6) foot tall masonry block walls shall be provided along all property lines visible from the public right-of-way. Fences between private lots which are not visible from the public right-of-way shall be a maximum height of six (6) feet and constructed of vinyl fencing as depicted on the approved wall/fence plan.
23. Landscape plans submitted into plan check shall comply, and be consistent with, the Water Quality Management Plan, as approved by the Engineering Division.
24. The existing street tree on Goodman Court, just west of this tract, appears to be Crape Myrtle. Continue the use of Crape Myrtles for the street trees at Lots 1, 11, 12, 13. OK to use Chitalpa for Alice Street and Mansfield Street.
25. Lots 14 and 15 shall include a designated street tree in addition to the front yard accent tree.
26. Provide an access gate and a clear, non-planted access path from sidewalk into basin for the sake of ongoing maintenance.
27. Provide self-clinging vines along basin side of block wall, where the wall occurs on the north side of Lot 2.
28. The basin slopes need to be supplemented with shrubs if slope height exceeds 3 feet.
29. Provide at 12" maximum on-center spacing, where flatted groundcover is used, due to high failure rate in areas where planting is installed, while other trades (such as painters) are still actively working on site.
30. Alternate between (Lippia) turfgrass and (but not limited to) Buffalo Grass or Yarrow, as opposed to Water Saver Fescue.
31. A separate water meter and electrical point of connection shall be required for the small LMD area along Pacific Street, unless a utility easement is provided at Lot 14.

Attached Exhibits:

- A) Area Map
- B) Existing Tract Map No. 18013
- C) Previously Approved Planned Development Document
- D) Previously Approved Building Elevations
- E) Tentative Parcel Map No. 20455

Engineering

CONDCTIONS

The following will become conditions of approval for the project. These conditions are in a draft format and may be subject to change. Conditions may be added and/or deleted as a result of the comments above.

- A - Required Prior to Map Approval
- B - Required Prior to Building Permit/Construction
- C - Required Prior to Occupancy
- D - Ongoing
- E - Required Prior to Grading Permit
- * - Non Standard Conditions

SOILS/GEOLOGY/GRADING

- A 1. Submit a preliminary soils report, prepared by a licensed Geotechnical Engineer, for review and approval by the City Engineer. Comply with the recommendations contained in the report and any amendments thereof as approved by the City Engineer.
- A 2. Submit a geology report, prepared by a licensed Engineering Geologist, for review and approval by the City Engineer. Comply with the recommendations contained in the report and any amendments thereof as approved by the City Engineer.
- A 3. Submit rough and/or precise grading plans to the City Engineer for review and approval. Comply with the City of Highland grading standards as shown on the grading plan checklist.
- A 4. Design individual lot grading to drain the entire area of each lot directly to the adjacent street.
- A 5. Submit structural design and location for any required retaining walls for review and approval by the City Engineer. Install concrete v-ditches at the back of retaining walls in accordance with the grading plan checklist.
- C 6. Construct an underground water quality infiltration facility, or an alternate water quality treatment facility, as approved by the City Engineer. The underground infiltration facility shall be located within a separate lot and shall be graded to drain directly to the adjacent street, and landscaped as approved by the City Planner and Design Review Board.
- E 7. Obtain approval by the City Engineer of a Final Water Quality Management Plan (F-WQMP), prepared in accordance with the City's National Pollutant Discharge Elimination System (NPDES) permit requirements in effect at the time the Conceptual Water Quality Management Plan was approved unless subsequent City NPDES permits require otherwise. The F-WQMP shall (1) be prepared, signed, and sealed by a licensed Civil Engineer, (2) include Site Design Low Impact Development and Source Control Best Management Practices (BMPs) appropriate for commercial development, (3) include a BMP implementation, operation, and funding mechanism, and (4) be certified by the property owner. The property owner

shall also enter into a Stormwater BMP Transfer, Access, and Maintenance Agreement with the City on the City form. Include a copy of the recorded agreement in the F-WQMP. Construct BMPs in accordance with the approved F-WQMP.

- C 8. Submit two (2) sets of WQMP BMP Exhibits with a "WQMP BMP As-Built Certificate" wet signed and sealed by the Engineer of Record. The Certificate shall state:

"I hereby certify that the Water Quality Management Plan Best Management Practices have been constructed under my supervision in accordance with the approved plans and are functional to the best of my knowledge."

- B 9. Include requirements in the Covenants, Conditions and, Restrictions (CC&Rs) for each owner to maintain site design and source control BMPs designated in the WQMP to be maintained by the owner of each parcel.
- A 10. Submit an erosion control plan to minimize potential increases in erosion and sediment transport during construction activity for City Engineer approval. Place erosion control measures during or after grading work as required by the City Engineer.
- A 11. Design short term erosion control in accordance with Best Management Practices such as, hydroseeding, mulching, jute matting or plastic sheeting to protect slopes; silt fencing to control site perimeter; and straw bale barriers, sand bag barriers, rock filters or sediment basins to control internal erosion, or other methods to stabilize disturbed areas, as approved by the City Engineer.
- D 12. Implement dust control measures during construction activities including, but not limited to, daily watering of construction area as frequently as necessary during active and inactive periods, utilizing soil emulsions, limiting construction vehicle speed to 10 miles per hour, stabilizing construction entrances to prevent trackout of sediments, and street sweeping.
- B 13. Submit original wet signed and stamped rough grading certifications from the soils engineer and the grading engineer, along with compaction reports, to the City Engineer.
- C 14. Submit original wet signed and stamped final grading certification from the grading engineer, to the City Engineer.

STREET IMPROVEMENTS

- C* 15. Remove the existing drive approach on Pacific Street and replace with full height curb and gutter as well as any sidewalk necessary to meet ADA requirements, and in accordance with City standards. The limits of removals shall be as directed by the Public Works Inspector.
- C* 16. Remove the existing curb and gutter and paving within the cul-de-sac on Goodman Court and construct new street improvements including, but not limited to, curb and

gutter, six-foot curb adjacent sidewalk, asphalt concrete pavement and class II aggregate base, to provide a standard typical section. Reconstruct three driveway approaches, constructs transitions to the existing driveways, and modify landscaping and irrigation, as approved by the City Engineer and City Planner.

- C 17. Construct street improvements on Mansfield Street, Alice Street and Goodman Court including, but not limited to, curb and gutter, six-foot curb adjacent sidewalk, asphalt concrete pavement, class II aggregate base, and one driveway approach per lot. Street widths shall be 36 feet curb to curb. The minimum street grade shall be 1 percent.
- C 18. Install street name signs, traffic control signs, no parking signs, and pavement markings, with locations and types approved by the City Engineer.
- C 19. Design and submit construction plans for street lighting on Mansfield Street, Alice Street and Goodman Court, to be owned and maintained by the City, for approval by the City Engineer. Construct the street lighting system with Light Emitting Diode (LED) luminaires on decorative poles, with types and at locations specified by the City Engineer and the Community Development Director. Install street lights, electric meters, conduits, conductors, etc., per City requirements. Coordinate with Southern California Edison to energize the street lights, and pay the City for the initial 12-months of street lighting energy and maintenance charges.
- A 20. Submit street improvement plans to the City Engineer for review and approval. Indicate the location of any existing utility/facility which would affect construction on final plans and profiles. Comply with the City of Highland design standards as shown on the street and storm drain improvement checklist. Include in the street design, the westerly extension of Goodman Court beyond the end of the proposed improvements, as necessary to justify grades.
- B 21. Submit a thorough evaluation of the structural road section from a soil engineer to the City Engineer. Include a recommended street structural section, designed for a service life of 20 years as outlined in Section 600 of the Caltrans Highway Design Manual. The minimum section is 3" A.C./4" A.B. The City Engineer will provide traffic indexes.
- A 22. Design public improvements including sidewalk, drive approaches and access ramps in accordance with all requirements of the State of California Accessibility Standards, Title 24 California Administrative Code.
- C 23. Submit "Record Revisions" to all plans to reflect the improvements as constructed, and any changes made during construction.
- D 24. After all houses are constructed, slurry seal the streets within the tract prior to final bond release or submit cash payment in lieu of slurry seal.

DRAINAGE

- C* 25. Construct a concrete v-ditch on the adjoining property northerly of Lots 11, 12 and 13, and a drainage facility along the westerly property line of Lot 13, to intercept and convey off-site drainage to the street. Utilize an under sidewalk drain within the public right-of-way. If the developer cannot obtain permission from the adjacent property owner after a verifiable good faith effort, an alternate design may be submitted for review by the City Engineer.
- C 26. Intercept and convey off-site drainage tributary to the project boundary around or through the project in a manner that will not adversely affect adjacent or downstream properties.
- A 27. Prepare and submit a hydrology study to determine storm runoff quantities tributary to the site. Include hydraulic calculations to determine the size and type of all drainage facilities.

MAP/DEDICATION

- A* 28. Pacific Street is identified as a Secondary Highway (88-foot right-of-way) per the City of Highland General Plan. The applicant/developer shall dedicate an additional 14-feet of right-of-way along the frontage of Pacific Street (Lots 14 and 15).
- A* 29. Apply to the City to annex the project into assessment districts for maintenance of water quality treatment BMPs, and landscaping for Basin Lot "A". Sign ballots prepared by the City agreeing to the annexations and amounts of assessment.
- A* 30. Dedicate 5-foot public utility and sidewalk easements on the south sides of Mansfield Street along the frontage of Lot 10.
- A* 31. Reserve a private drainage easement across Lots 11, 12 and 13 (as necessary) for the use and benefit of the upstream property owners.
- A* 32. Dedicate street right-of-way and all necessary easements within the tract boundary by Final Map. Goodman Court and Alice Street right-of-way shall be 60 feet in width. Mansfield Street right-of-way shall be 55-feet (30-feet on the north, 25-feet on the south.)
- A 33. Dedicate corner property line cutoffs for all corner lots in accordance with City standards.
- B 34. Record a Final Map with the San Bernardino County Recorder pursuant to the provisions of the State Subdivision Map Act.
- A 35. At the time of Final Map submittal, include traverse calculation sheets which show error of closure, copies of recorded maps and deeds used as reference and/or showing original land division, tie notes and bench marks referenced, and a current title report. Inverse calculations will not be accepted for plan check.

FEES/PERMITS/BONDING

- C* 36. Make a cash payment for one year of landscaping maintenance, to be provided by the City through the assessment district after a six-month plant establishment period and the City's acceptance of landscaping.
- D 37. Obtain a permit from Engineering prior to any on-site grading or construction within the City's right-of-way.
- D 38. Pay appropriate engineering fees for bond processing, district annexations, plan check, WQMP review, hydrology study review, structural calculation review, on-site and off-site inspection, utility excavation permits, GIS map plan update, microfilming and storage of maps and plans, and other required fees.
- A 39. Post a deposit for monumentation which shall not be released prior to completion of all on-site construction.
- E 40. Post a deposit for erosion control which shall not be released prior to completion of all on-site construction.
- A 41. Bond for all required street, grading, water, sewer, on-site landscaping, and landscape maintenance district improvements in accordance with City Development Code.
- A 42. Enter into an agreement for construction of improvements with the City of Highland using the adopted City form.

UTILITIES/CONSTRUCTION

- C* 43. The applicant/developer shall be responsible for the payment of Utility Undergrounding in-lieu fees in accordance with Section 16.40.380 of the Highland Municipal Code. This includes the utility lines along the Pacific Street frontage (Lots 14 & 15). Fees will be in accordance with Resolution 2007-062.
- E* 44. Obtain written permission from the adjoining property owners for offsite grading, if any.
- E* 45. Install construction fencing and screening in accordance with Building and Safety Division Policy 335.
- C 46. Coordinate, and where necessary, pay for the relocation of any existing public utilities as necessary.
- C 47. Provide all utility services to each lot, including sanitary sewers, water, electric power, cable, gas, and telephone. All utilities are to be underground.
- C 48. Reconstruct existing public improvements removed or damaged during construction as approved by the City Engineer. Pavement repair, which may include A.C. overlay, T-cut trench repair and/or slurry seal shall be across all or a portion of damaged pavement as determined by the City Engineer.

- E 49. Comply with applicable requirements of the National Pollutant Discharge Elimination System (NPDES) permit program. Provide written verification from the Regional Water Quality Control Board specifying the project's WDID number.
- B 50. Destroy any abandoned wells on the property or similar structures that might result in contamination of underground waters in a manner approved by the City Engineer.
- B 51. All underground structures, except those desired to be retained, must be broken in, backfilled, and inspected before covering.
- D 52. Comply with the prevailing City design and construction standards and requirements at the time of permit issuance.

Project: CUP-16-006; DRA 160-15
SE Corner of Pacific and Victoria Ave.

ALL CONSTRUCTION (New and renovations to existing) SHALL COMPLY WITH THE CALIFORNIA FIRE CODE (2013 edition) Along with amendments as adopted within the Highland Municipal Code (Ord. #387).

Compliance with the following items are conditions of FINAL APPROVAL. (

1. ADDRESS NUMBERS SHALL BE PLACED ON ALL NEW AND EXISTING RESIDENTIAL STRUCTURES IN SUCH A MANNER AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE ACCESS ROADWAY OR STREET. SINGLE FAMILY DWELLINGS SHALL HAVE NUMBERS OF 4" HEIGHT, 3/8" STROKE ON CONTRASTING BACKGROUND. ADDRESS NUMBERS SHALL BE LOW VOLTAGE, AUTOMATICALLY ELECTRICALLY ILLUMINATED.

WHERE STRUCTURE SETBACK EXCEEDS ONE HUNDRED (100) FEET FROM THE ACCESS ROADWAY OR STREET, ADDITIONAL NON-ILLUMINATED NUMBERS 4" IN HEIGHT, 3/8" STROKE, ON CONTRASTING BACKGROUND SHALL BE DISPLAYED AT PROPERTY ACCESS ENTRANCE. CFC 505.1

2. REQUIRED FIRE FLOW FOR THIS PROJECT, DETERMINED BY CALIFORNIA FIRE CODE APPENDIX B, IS AS FOLLOWS:

RESIDENTIAL: 500gpm AT 20 PSI RESIDUAL, FOR A 1- HOUR DURATION.

3. FIRE HYDRANT SPACING SHALL BE:

SINGLE FAMILY RESIDENTIAL: 600 FEET FROM ANY PORTION OF THE STRUCTURES

4. AUTOMATIC FIRE SPRINKLERS SHALL BE INSTALLED ACCORDING TO NFPA 13D AND FIRE DEPARTMENT REQUIREMENTS. SUBMIT THREE (3) SETS OF SHOP PLANS WITH MATERIAL CUT SHEETS AND HYDRAULIC CALCULATIONS FOR FIRE DEPT. REVIEW AND APPROVAL PRIOR TO ANY INSTALLATION. SUBMIT COPY OF CALIFORNIA C-16 LICENSE.

Jason Walsh, Fire Marshal
City of Highland Fire Department

Building and Safety Division Conditions of Approval

Date: 5-10-17
Applicant: Raul Sanchez – Dixi Design
Address of Applicant: 1231 N. Cactus unit E, Rialto, CA 92376
Site Location: South East Corner of Victoria and Pacific
Telephone: 909-549-5563
APN 1191-351-04
CUP 16-006
DRA 16-015

1. Please provide three (3) sets of the following construction plans and documents listed below for review of the proposed project. The initial plan review time will take two weeks on most projects. The applicant will receive a plan review number at the time plans are submitted for Building & Safety's plan review. This plan review number is needed to obtain information regarding your project.

- (3) Architectural Plans
- (3) Structural Plans
- (3) Structural Calculations
- (3) Plot/Site Plans
- (3) Electrical Plans
- (3) Electrical Load Calculations
- (3) Plumbing Plans/Isometrics
- (3) Mechanical Plans
- (3) HVAC Duct Layout Plans
- (3) Roof and Floor Truss Plans
- (3) Title 24 Energy Calculations
- (3) Geology Report
- (3) Soils Report
- (3) Precise Grading Plans
- (3) Site Disabled Access Plan
- (3) Condition of Approval Packages
- (3) Temporary Fence Plan

2. All structures shall be designed in accordance with the current version of the California Building Codes, including the California Green Building Standards Code. Design all structures to comply with Seismic Design Category D, basic wind speed 110 (ULT) MPH, at exposure "C."

3. Per each lot, the gas will not be released until all final approvals are made. Policy 295.
4. The Developer/Owner is responsible for the coordination of releasing any Deferral of Development Impact Fees or Bonds after such fees have been paid. The Developer/Owner should be aware, once the deferral notice is sent to the San Bernardino County Recorder's Office; the release process takes two to three weeks. This process will delay final Certificates of Occupancy.
5. The Developer/Owner is responsible for the coordination of the final occupancy. The Developer/Owner shall request clearances from each department and/or agency at least two weeks prior to requesting a final building inspection from Building and Safety. Each agency shall sign the back of the Building and Safety Job Card and provide a copy of the signatures to Building and Safety at the time a final inspection is requested.
6. Building and Safety inspection requests can be made 24 hours in advance for the next day inspection. Please contact (909) 864-2136, Ext 228. You may also fill out an inspection request at the Building and Safety counter and submit it to the permit technician for the next day inspection.
7. A security fence with screening shall protect all construction sites. The fencing and screening shall be maintained at all times to protect pedestrians.
8. Portable toilet facilities shall be provided for construction workers and such facilities shall be maintained in a sanitary condition. Construction toilet facilities of the non-sewer type shall conform to ANSI ZA.3.
9. All construction materials, which are not used, shall be recycled pursuant to the requirements set forth by Ordinance No. 269. Receipts from the recycle company responsible for picking up the materials shall be kept in the construction office. After the construction is complete and before final occupancy, the trash receipts shall be forwarded to the Planning Division.
10. Construction projects, requiring temporary electrical power, shall obtain an electrical permit from Building and Safety. No temporary electrical power will be granted to a project unless the following item is in place and approved by Building and Safety and the Planning Division.
 - a) Installation of a construction trailer through the "Temporary Occupancy Permit", alternatively, a security fenced area where the electrical power will be located. Installation of construction/sales trailers must be located on private property. No trailers can be located in the street unless a permit from the Engineering Department is obtained.

11. Fire Sprinklers are required by Ordinance 209. Submit fire sprinkler plans to the Fire Marshal located at 27215 Base Line, Highland CA. Please contact the Fire Marshal for information on the design requirements. (909) 864-2136, ext. 248.
12. Prior to the issuance of Building Permits, on site water service shall be installed and approved by the responsible agency. On site fire hydrants shall be approved by the Fire Department. No flammable materials will be allowed on the site until the fire hydrants are established and approved. No flammable construction materials shall be placed on the site without approvals by the Fire Department. All street and access roadways around the project shall be paved for emergency response vehicles before flammable materials are placed on the project.
13. Prior to issuance of permits, site-grading certifications and compaction reports shall be submitted to Building and Safety.
14. Prior to issuance of building permits, provide a receipt from the appropriate Unified School District stating that all school fees have been paid. This project is located in the San Bernardino Unified School District.
15. All construction projects shall comply with the NPDES Stormwater Best Management Program. Prior to building permit issuance submit copy of the Water Quality Management Program Report. (WQMP)
16. Prior to final inspection, provide Building & Safety with a flash disk of the approved plans and documents.
17. Site development and grading shall be designed to provide access to all entrances and exterior ground floor exits and access to normal paths of travel. The accessible route(s) of travel shall be the most practical direct route.
18. The City enforces the State of California provisions of the California Building Code disabled access requirements. The Federal Americans with Disabilities Act (ADA) standards may differ in some cases from the California State requirements, therefore it is the building owner's responsibility to be aware of those differences and comply accordingly.
19. At the time of the project plan submittal for plan review, submit a Commissioning Plan pursuant to (Section 5.410.2 and Section 5.410.2.3) of the California Green Building Standards Code. The Commissioning Plan shall include the following:
 - a. General project information
 - b. Commissioning goals
 - c. Systems to be commissioned
 - d. An explanation of the original design intent
 - e. Equipment and systems to be tested, including the extent of the test
 - f. Functions to be tested.
 - g. Conditions under which the test shall be performed

- h. Measurable criteria for acceptable performance
- i. Commissioning team information
- j. Commissioning process activities, schedules and responsibilities.
- k. Plans for the completion of the commissioning shall be included.

Exhibit A:

Area Map



Exhibit B:

Existing Tract Map No. 18013

Exhibit C:

Previously Approved Planned Development Document

HP ENGINEERING, INC.
Civil Engineering, Land Surveying
1465 Crestview Rd.
Redlands, CA 92374
(909) 335-8239

**PROJECT REPORT
TTM 18013
PLANNED DEVELOPMENT
DOCUMENT**

HIGHLAND, CALIFORNIA



7/27/18

Applicant
HISPANO INVESTORS, INC.
555 S. Mt. Vernon Ave., Ste. A
San Bernardino, CA 92410
(909) 885-0061

Tract 18013

Location

South Side of Pacific Street, approximately 300 feet east of
Victoria Avenue.

INTRODUCTION

As described in the Development Code, the intent of the Planned Development (PD) is to “promote a more efficient use of the land and to create a more desirable and affordable living environment by providing greater design flexibility that would be possible through the strict application of standard development regulations required by conventional zone for land use district.”

This report identifies how the proposed project satisfies the approval criteria for the PD as established in the Development Code, which includes project compatibility with surrounding land uses, no additional expansions or extensions of infrastructure systems than would be required for a conventional development, and to provide the same access to public services and facilities as would be available to the conventional development project.

Also provided in the report is a section where the proposed PD meets the development Code findings that must be satisfied for project approval by the Planning Commission.

PROJECT OBJECTIVES

Develop infill property with housing projects to meet the affordability range of new and existing residents.

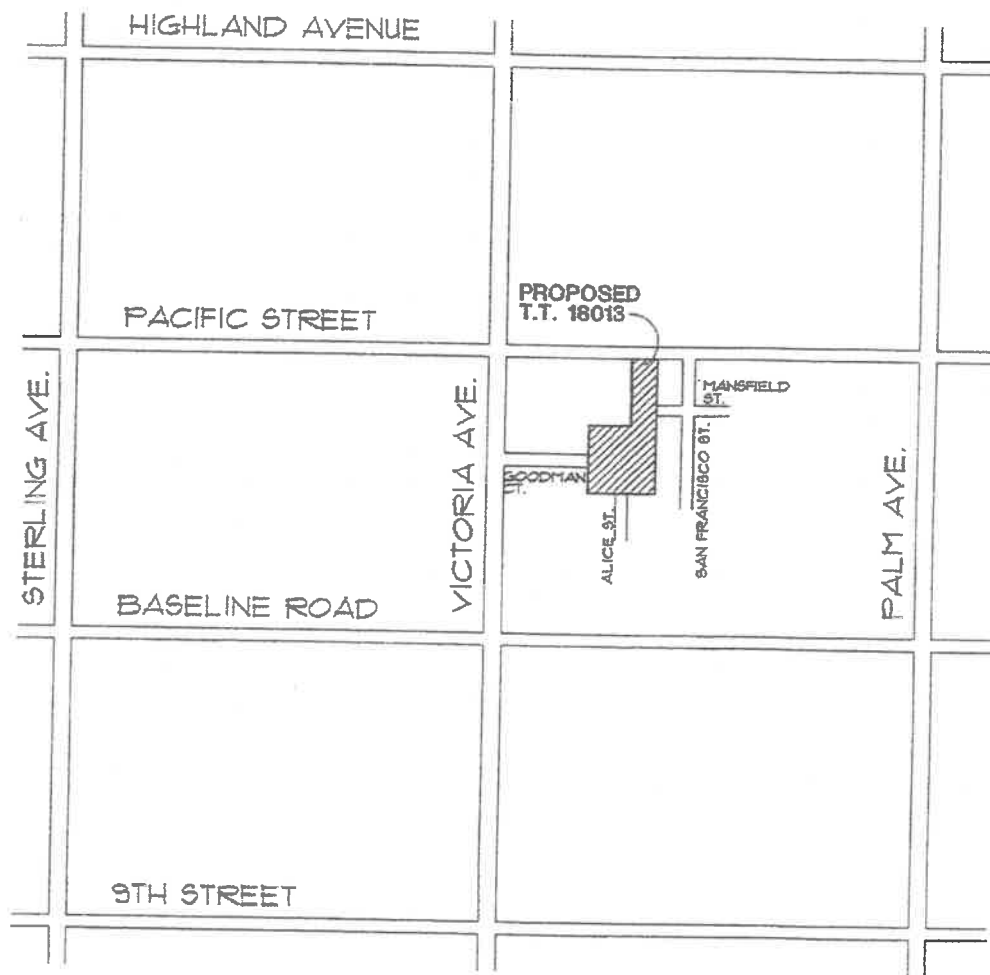
Provide quality homes that are aesthetically pleasing, efficiently designed and equipped with amenities to be competitive with area developments.

Attract the first-time buyer that will continue to maintain a pride of ownership.

PROJECT DESCRIPTION

Located south of Pacific Street approximately 300 feet east of Victoria Avenue, the proposed project consists of 15 lots developed with single- family homes on 3.33 acres.

Individual lot sizes ranges from 5,603 to 12,428 square feet, with an average lot size of 6,000 square feet. Anticipated sizes of the residential units are approximately from 1,526 square feet 1,725 square feet. The builder will landscape the front yard, install side yard vinyl fencing with coordinated color (brown or of similar color), decorative blockwall around the tract perimeter, double glazed windows, pre-wiring for security systems, and rear yard hydroseed landscaping. Extensions of existing streets with access to the project are Alice Street from south going north, Goodman Court from west to east and Mansfield Street from east to West.



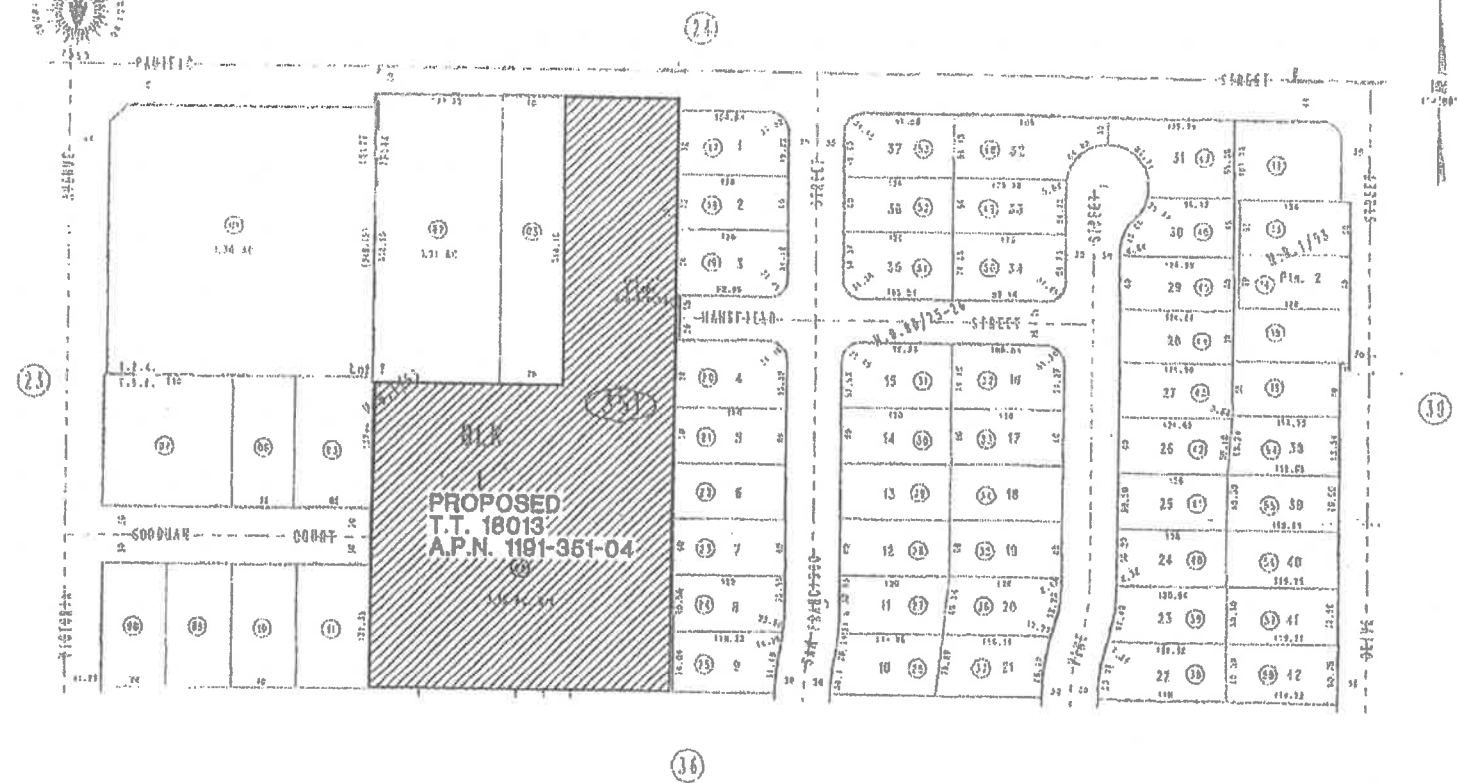
VICINITY MAP

THIS MAP IS FOR THE PURPOSE
OF THE TAXABLE PARCELS ONLY.

Beers Sub. M.B. 1/53

City of Highland
Taxable Area
18044, 18127

1191 35



DEC. 2001

Tract No. 5521, U.B. 90/75-26

Assessor's Map
Book 1191 Page 35
San Bernardino County

ASSESSORS PARCEL MAP

PROJECT SETTING

The proposed development is located on a site that is essentially flat. The site has a slope of approximately 1.5% from north to south, with no abrupt changes in landform. Storm water run-off flows naturally from the site and onto the new streets.

The project site is bounded on the east, west and south by developed single-family homes. Primary access to the subdivision will be by Alice Street, Goodman Court, Mansfield Street and Pacific Street.

LAND USE AND DEVELOPMENT STANDARDS

The development of the 15 lots subdivision should be considered a classic infill type of project, where in an urban setting the surrounding properties have all been developed.

The project consists of single land use type: detached single- family homes. The property has a total area of 3.33 acres gross and 2.50 acres net. The proposed 15 single-family residential homes will result in a density of 6.00 dwelling units per net acre.

The Planned Development Zoning District described in the City of Highland Municipal Code allows modifications to the applicable development standards. This section identifies the proposed standards in comparison with current standards. These proposed standards create a project that is compatible with the current standards. The table below shows the current and proposed development standards.

DEVELOPMENT STANDARDS SUMMARY

	PROPOSED	STANDARD (R-1 Zoning)
<u>Minimum Lot Area:</u>	5,900 s.f.	7,200 s.f.
<u>Lot Width – interior:</u>	52'	60'
- corner	54'	
<u>Lot Depth:</u>	100'	100'
<u>Coverage Area:</u>	40%	40%
(Building Coverage)		

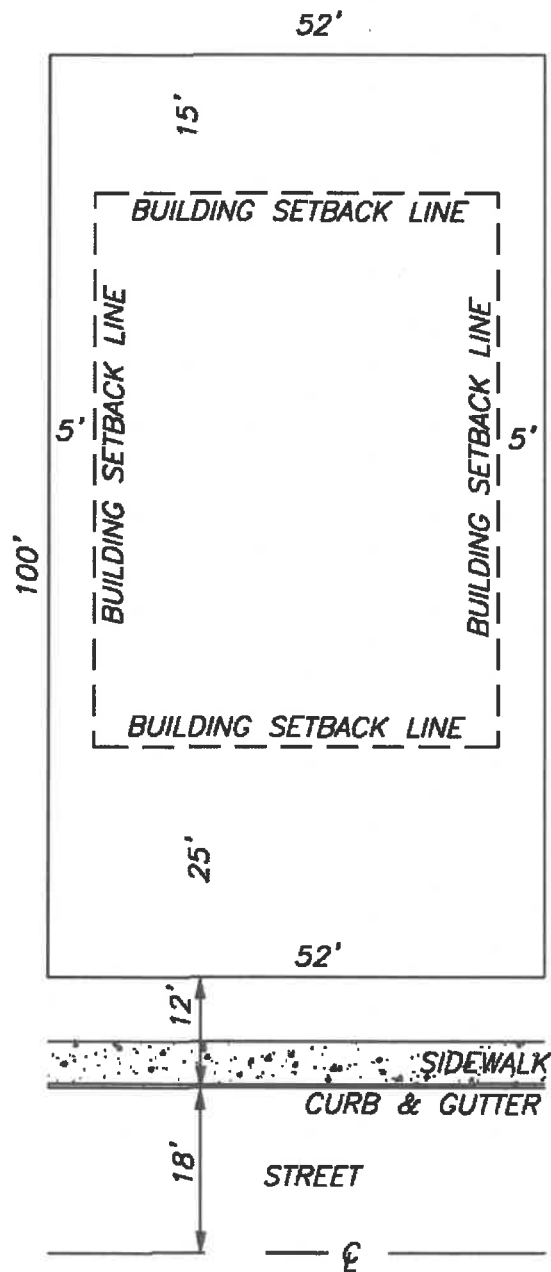
	PROPOSED	STANDARD (R-1 Zoning)
<u>Setbacks:</u> Front:	25' (Average)	25' Average
Rear:	15'	20'
Side – interior:	5'	10'/5'
- local street:	10'	15'

Building Type: Single Family Detached

Building Height: 25' Max. Single Story

Building Density: 6.0 dwelling units per acre

TYPICAL LOT STANDARDS



PLANNED DEVELOPMENT SUPPORT INFORMATION

General Plan Consistency—

Development project located within urban areas as infill projects, providing housing that is affordable for the City's inhabitants and satisfying development guidelines can be found consistent with many goals, objectives and policies of the General Plan. Specifically this site is located within the "Victoria Avenue Corridor Policy Area." This development is implementing those goals by providing residential opportunities in mid-block areas between 9th Street and Pacific Avenue (policy 3). Encouraging the consolidation of parcels to promote quality, planned development by utilizing the existing Streets for access to the parcel (Policy 4). And consolidating access points along Victoria Avenue to improve traffic flows by allowing a Future access point for adjacent parcels through the project (Policy 5).

Development Characteristics—

Through the process of a Planned Development and the establishment of development standards, the proposed project provides adequate yards, setbacks, fencing, parking and landscaping to be consistent with other single-family residential subdivisions. The modifications to the development requirements are limited to reducing the lot size by an average of approximately 17%, and reducing the lot width and side yard at street side. Other standards remain essentially as required by the R-1 Zone.

Public Services—

Infrastructure for all public services and facilities are currently in place for this infill development. No upgrading or extension of facilities is necessary to provide adequate services. A summary of services and the providing agency follows:

Water

East Valley Water District will provide domestic water service to the subdivision. Existing facilities are available in the right-of-way of Pacific Street (10" main), Alice Street (8" main), Goodman Court (8" main) and Mansfield Street. The project will extend distribution lines throughout the development for domestic as well as fire projection use.

Sewer

Sewage collection and treatment facilities are provided by East Valley Water District. Sewer lines are located in Pacific Street (12" main), Mansfield Street (8" main), Alice Street (8" main), Goodman Court (8" main) and will be accepting connections from collection lines installed in the subdivision. Connection and treatment plant expansion fees will be paid as mitigation measure of the new development.

Gas, electric & Telephone

Southern California Gas Company will provide natural gas for the project. Electrical power for the project will be by the Southern California Edison (SCE). General Telephone of California will provide telephone service for the project.

Police and Fire Protection

The current level of fire protection should be adequate for the size of development. The responding station for this site is located at 26974 Base Line, approximately one mile to the south. Discussion with this agency indicated that response time to the project site would be approximately two minutes.

Police protection is provided by San Bernardino county Sheriff through contract with the City of Highland. The responding police station is located at 26985 Base Line. The project site is located in the center of the response time area, as a result impact to this agency is anticipated to be minimal.

Schools

The project site lies within the jurisdiction of the City of San Bernardino Unified School District. The school district is responsible for providing complete educational services and facilities for students for kindergarten through grade twelve. The schools serving the future student population will be Lankershim Elementary, Curtis Middle School, and San Gorgonio High School. Distances to these schools are shown below. The school district collects fees per dwelling unit at the time of permit building issuance for purposes of financing school facilities.

The community services readily available to the residents of the proposed development are listed below with their approximate travel distances shown adjacent:

Community Services Summary

Medical Aid:

St. Bernardine's Medical Center	4 mi. West
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Parks:	Perris Hill Park	2.5 mi. west
	Jerry Lewis Community Center	1.5 mi. West

Fire Protection:	San Bndo. Co. Fire Agency	0.5 mi. East
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Police Protection:	San Bndo. Co. Sheriff	1.0 mi. East
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Schools:	Lankershim Elementary	0.5 mi. West
	Curtis Middle School	2.2 mi. West
	San Gorgonio High School	0.6 mi. North

Land Use Compatibility

The recently adopted General Plan designates the subject property for Planned Development. The adjacent designation to the east, west and south is low density.

The site is not located within any fire, flood, seismic, or slope hazards.

Emergency access, as indicated previously, is provided through public right-of-way off Pacific Street, Alice Street, Mansfield Street and Goodman Court.

Storm water runoff will drain over the proposed street sections to existing systems (Alice Street and Goodman Court).

CONCLUSION

By developing this property in an urban setting, this infill development carries out the intent of the planned residential provisions by providing housing at affordable prices, which would not be achieved through the use of conventional developments standards. Given the configuration of the subject property and points of access, the application of conventional R-1 development standards limits the ability to use the entire site efficiently.

Modifying these development standards allows the access road to be designed with lots on both sides of the street. The resulting higher density allows the improvement costs to be distributed over a greater number of units. Therefore, the sales price of these homes will be affordable, providing the opportunity for home ownership to an increased number of families. Without the provision of the Planned Development District, the objective of providing affordable high quality integrated residential development for the City could not be obtained.

Prepared by,
HP ENGINEERING, INC.



7/27/2017

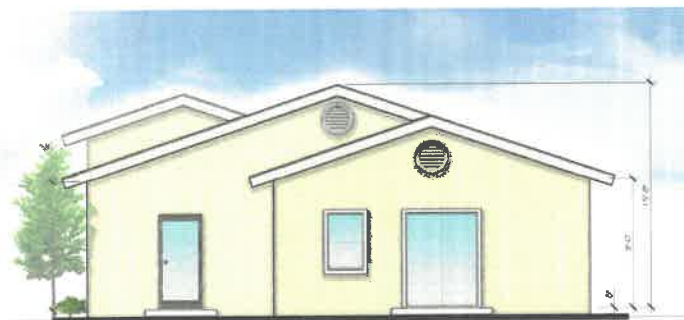
Henry C. Poquiz, P.E.
RCE 37037, Exp. 06-30-18

Exhibit D:

Previously Approved Building Elevations



SIDE ELEVATION DESIGN TYPE "A - 1"
N.T.S.



REAR ELEVATION DESIGN TYPE "A - 1"
N.T.S.



FRONT ELEVATION DESIGN TYPE "A - 1"
N.T.S.



SIDE ELEVATION DESIGN TYPE "A - 1"
N.T.S.

DIXI DESIGN

DESIGNER

BUILDING DESIGN
1231 N. CACTUS AVE. SUITE 200 RIALTO, CA 92376
CREATIVE DEVELOPMENT & QUALITY
(909) 946-5583

These drawings and ideas are the property of the designer and shall not be reproduced, changed or altered in any form or any manner, nor be used for any purpose without the written consent of the designer. The designer assumes no responsibility for errors or omissions and warrants and represents the quality of the work.

REVISIONS

REVISION

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15 NEW HOUSES
TTM4-006-002
TTM4 18013
COP-006-004

CLIENT NAME

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CLIENT NAME

HISPANO INVESTORS
RAUL SANCHEZ
HIGHLAND, CA. 92346

CLIENT NAME

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CLIENT NAME

COLORED
ELEVATIONS
DESIGN TYPE "A-1"

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SHEET NO.

SHEET NO.

SHEET NO.

SHEET NO.

SHEET NO.

SHEET NO.

SHEET NO.

SHEET NO.

SHEET NO.

SHEET NO.

A-3.1

SCALE

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DATE PLOT
4/17

DATE PLOT
4/17

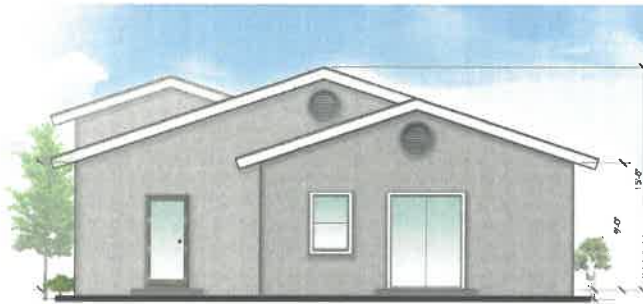
DATE PLOT
4/17

DATE PLOT
4/17

DATE PLOT
4/17



SIDE ELEVATION DESIGN TYPE "A - 2"
N.T.S.



REAR ELEVATION DESIGN TYPE "A - 2"
N.T.S.



FRONT ELEVATION DESIGN TYPE "A - 2"
N.T.S.



SIDE ELEVATION DESIGN TYPE "A - 2"
N.T.S.

DIXI DESIGN

BUILDING DESIGN
1221 N. CALIFORNIA SUITE #100, CA 92016
FOR DEVELOPMENT & QUALITY
(951) 946-5555

REVISIONS

NO.	DESCRIPTION

SUBMITTAL

15 NEW HOUSES
TTM-006-002
TTM 18013
COP-006-004

HISPANO INVESTORS
RAUL SANCHEZ
HIGHLAND, CA. 92346

**COLORADO
ELEVATIONS
DESIGN TYPE "A-2"**

**SHEET No.
A-5.1**

SCALE
AS SHOWN
DATE PLOT
4/17



SIDE ELEVATION DESIGN TYPE "A - 3"
N.T.S.



REAR ELEVATION DESIGN TYPE "A - 3"
N.T.S.



FRONT ELEVATION DESIGN TYPE "A - 3"
N.T.S.



STREET SIDE ELEVATION DESIGN TYPE "A - 3"
N.T.S.

DIXI DESIGN
BUILDING DESIGN
1231 N. CACTUS AVE. SUITE "E" RIALTO, CA 92376
CREATIVE DEVELOPMENT & QUALITY
(909) 506-5553

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REVISIONS

DATE

BY

DATE

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DATE

HISPANO INVESTORS
RAUL SANCHEZ
HIGHLAND, CA. 92346
APPlicant / OWNER
A.P.A.

COLORED ELEVATIONS
DESIGN TYPE "A-3"
STREET SIDE

SHEET NO.
A-7A.1

SCALE
AS SHOWN
DATE 4/17



SIDE ELEVATION DESIGN TYPE "B - 1"
N.T.S.



REAR ELEVATION DESIGN TYPE "B - 1"
N.T.S.



FRONT ELEVATION DESIGN TYPE "B - 1"
N.T.S.



SIDE ELEVATION DESIGN TYPE "B - 1"
N.T.S.

DIXI DESIGN

12111 LINDSEY AVE SUITE 250 SAN JOSE, CA 95131
(408) 546-5500

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REVISIONS

NO.	DATE	DESCRIPTION

15 NEW HOUSES
TTM-006-002
TTM-13013
CUP-006-004

APPROVED FOR CONSTRUCTION
DATE: 4/17

HISPANO INVESTORS
RAUL SANCHEZ
HIGHLAND, CA 92346

COLORED ELEVATIONS
DESIGN TYPE "B-1"
STREET SIDE

A-9A.1

SCALE: AS SHOWN
DATE: 4/17



SIDE ELEVATION DESIGN TYPE "B - 2"
N.T.S



REAR ELEVATION DESIGN TYPE "B - 2"
N.T.S



FRONT ELEVATION DESIGN TYPE "B - 2"
N.T.S



SIDE ELEVATION DESIGN TYPE "B - 2"
N.T.S

DIXI DESIGN

BUILDING DESIGN
1231 N. CACTUS AVE. SUITE "E" RIALTO, CA 92376
CREATIVE DEVELOPMENT & QUALITY
(951) 545-5553

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R2V1310303

SUBMITTA

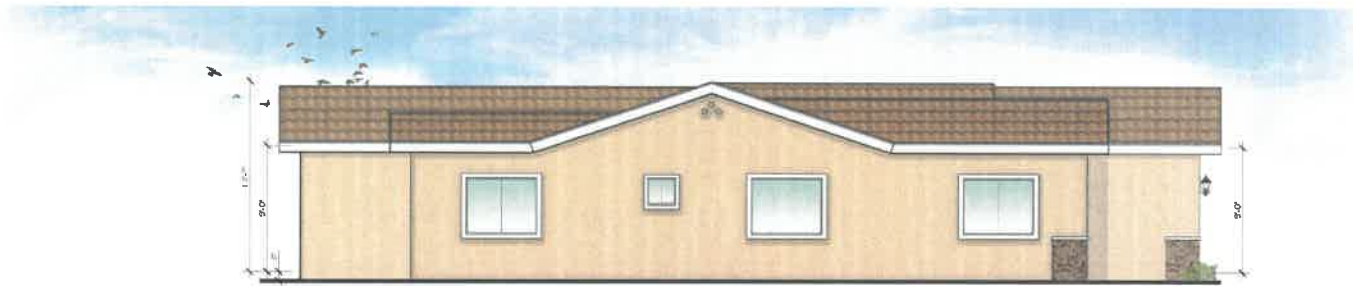
15 NEW HOUSES
TTM-006-002
TTM 18013
CUP-006-004

HISPANO INVESTORS
RAUL SANCHEZ
a.k.a. HIGHLAND, CA. 92346

COLORED
ELEVATIONS
DESIGN TYPE "B-2"
STREET SIDE

SHEET No.
A-11A.1

SCALE
AS SHOWN
DATE PLT
4/17



SIDE ELEVATION DESIGN TYPE "C"
N.T.S.



REAR ELEVATION DESIGN TYPE "C"
N.T.S.



FRONT ELEVATION DESIGN TYPE "C"
N.T.S.



SIDE ELEVATION DESIGN TYPE "C"
N.T.S.

DIXI DESIGN

DESIGNER:

BUILDING DESIGN
1231 N. CACTUS AVE, SUITE "E" RIALTO, CA 92376
CREATIVE DEVELOPMENT & QUALITY
(951) 948-5383

REVISIONS

NO.	DATE	DESCRIPTION

15 NEW HOUSES
TTM-006-002
TTM-18013
CUP-006-004

HISPANO INVESTORS
RAUL SANCHEZ
HIGHLAND, CA, 92346
A.P.A.

COLORED
ELEVATIONS
DESIGN TYPE "C"

SHEET No.
A-13.1

SCALE: AS SHOWN
DATE: 4/17

Exhibit E:

Tentative Parcel Map No. 20455

IN THE CITY OF HIGHLAND

TENTATIVE PARCEL MAP 20455

BEING A DIVISION OF THE SOUTH 318.15 FEET OF THE NORTH 348.15 FEET OF THE WEST 207.72 FEET OF THE EAST 1/2 OF LOT 1, BLOCK 1 OF H M BEER'S SUBDIVISION AS PER PLAT RECORDED IN BOOK 1 OF MAPS, PAGE 53, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA.

S.D. ENGINEERING AND ASSOCIATES

SEPTEMBER, 2021

OWNER / APPLICANT

MONTE VISTA ASSETS INC.
A CALIFORNIA CORPORATION
P.O. BOX 9559
ALTA LOMA, CA 91701
ATTN: MR. STEVE LANDIS
PH: (951) 231-7206

ENGINEER

S.D. ENGINEERING AND ASSOCIATES
242 E. AIRPORT DRIVE, STE. 212
SAN BERNARDINO, CA 92408
ATTN: MR. SURESH DODDIAH
PH: (909) 215-3451

PROPERTY ADDRESS

26555 PACIFIC STREET
HIGHLAND, CA 92346

ASSESSORS PARCEL NO:

1191-351-02 AND 03

ZONING

EXISTING AND PROPOSED: RS

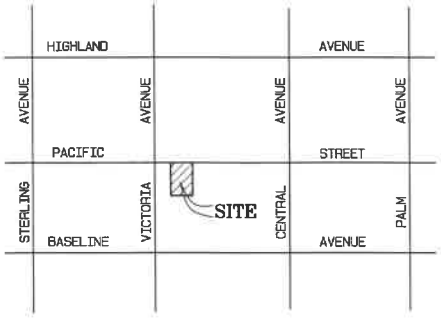
LEGAL DESCRIPTION

THE SOUTH 318.15 FEET OF THE NORTH 348.15 FEET OF THE WEST 207.72 FEET OF THE EAST 1/2 OF LOT 1, BLOCK 1 OF H M BEER'S SUBDIVISION AS PER PLAT RECORDED IN BOOK 1 OF MAPS, PAGE 53, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA.

EXCEPT THAT PORTION FOR PUBLIC STREETS.

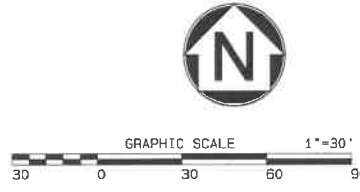
UTILITIES

- GAS:** SOUTHERN CALIFORNIA GAS COMPANY
1981 WEST LUGONIA AVENUE
REDLANDS, CA 92373
PH (909) 335-7750
- ELECTRIC:** SOUTHERN CALIFORNIA EDISON
287 TENNESSEE STREET
REDLANDS, CA 92373
PH (909) 307-6787
- WATER & SEWER:** EAST VALLEY WATER DISTRICT
11555 DEL ROSA AVENUE
SAN BERNARDINO, CA 92413
PH (909) 889-9501
- TELEPHONE:** SBC
1265 VAN BUREN STREET, ROOM 180
ANAHEIM, CA 92807
PH (714) 666-5750

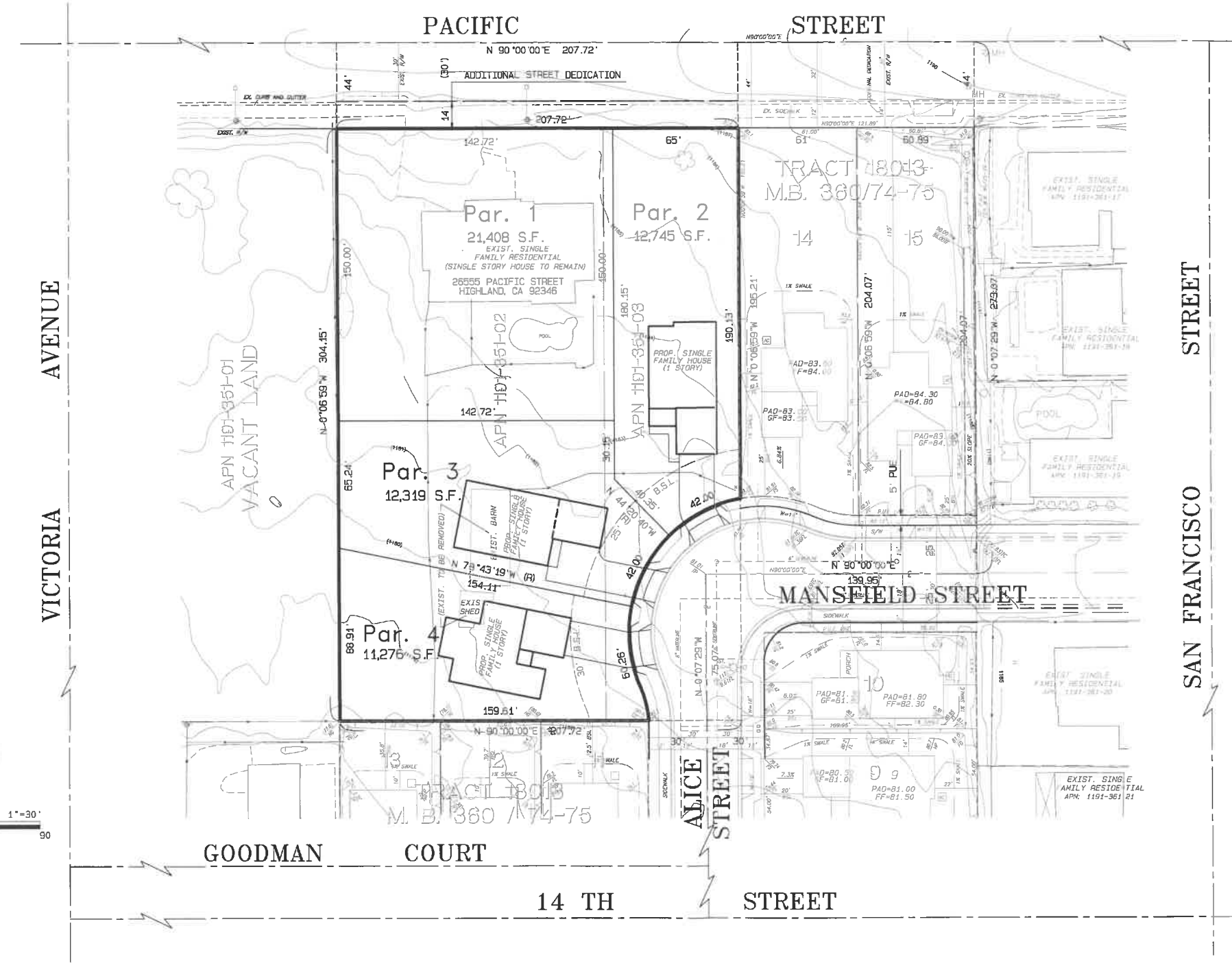


VICINITY MAP

NTS



GRAPHIC SCALE



BENCH MARK:

BENCH MARK: CITY OF HIGHLAND B.M. NO. 00652
ELEVATION = 1146.306
BRASS DISC IN TOP OF CURB AT THE NORTHWEST CORNER OF VICTORIA AVE. AND BASELINE AT NORTH SIDE OF DRIVEWAY, 102 FT. NORTH OF BASELINE, 32 FT. WEST OF VICTORIA AVE.



S.D. ENGINEERING AND ASSOCIATES

LAND PLANNING AND CIVIL ENGINEERING
242 E. AIRPORT DRIVE, STE. 212 - SAN BERNARDINO, CALIF. 92408
PHONE: (909) 215-3451 EMAIL: SURESH@SDEENGINEERING.NET

SURESH DODDIAH R.C.E. 36361 DATE 7/3

REVISIONS

NO.	DESCRIPTION	DATE

CITY OF HIGHLAND

RECOMMENDED BY:	APPROVED BY:
EXP. DATE	DATE

TENTATIVE PARCEL MAP

TENTATIVE P.M. 20455	DRAWER NO.

SHEET 1 OF 1