

CITY OF HIGHLAND REGULAR MEETING OF THE PLANNING COMMISSION AGENDA

REGULAR MEETING

February 6, 2024

6:00 p.m.

City Hall

Donahue Council Chambers

27215 Base Line

Highland, California

MEMBERS

Randall Hamerly, Chair

Chandra Thomas, Vice Chair

Craig Graves, Commissioner

Jarrold Miller, Commissioner

David Saran, Commissioner

STAFF

Lawrence A. Mainez, Community Development Director

Kim Stater, Assistant Community Development Director

Angela Tafolla, Associate Planner

Travis Trejo, Assistant Planner

Tiffany Martinez, Assistant Planner

Camille Duarte, Administrative Assistant III

Matt Bennett, Assistant Public Works Director

Matt Wirz, Building Official

Scott Rice, City Landscape Architect

MISSION STATEMENT

Highland is dedicated to the betterment of the individual, the family, the neighborhood and the community. The City Council and the staff of Highland are dedicated to providing the quality of public facilities and services that its citizens are willing to fund and will do so as efficiently as possible.

Visit the City's Website at: www.cityofhighland.org

In compliance with the Americans with Disabilities Act (ADA), if you need special assistance, please contact the City Clerk's office at (909) 864-6861, ext. 226, at least 72 hours prior to the meeting for any requests for reasonable accommodation to include interpreters.

Pursuant to Government Code Section 54957.5, any disclosable public records related to an open session item on a regular meeting agenda and distributed by the City of Highland to all or a majority of the Planning Commission, less than 72 hours prior to that meeting, are available for public inspection at Highland City Hall, 27215 Base Line, Highland, CA 92346, during normal business hours.

Submission of Public Comments: For those wishing to make public comments by email, please submit your comments by email to be read aloud at the meeting. Email comments must be submitted by 5:00 p.m. on February 6, 2024 to publiccomment@cityofhighland.org. If you are submitting a public comment pertaining to an item on the February 6, 2024 agenda, please identify the agenda item number in the subject line.

For those wishing to make public comments regarding a public hearing item please identify the agenda item in the subject line. Comments can be submitted any time prior to the meeting, as well as during the meeting up until the close of the public hearing on the corresponding item to be considered part of the record. Please email your comments at publiccomment@cityofhighland.org.

Members of the public will be permitted to make public comments in person.

**PLANNING COMMISSION
REGULAR MEETING AGENDA
February 6, 2024 - 6:00 P.M.**

CALL TO ORDER

PLEDGE OF ALLEGIANCE

COMMUNITY INPUT (ITEMS NOT ON THE AGENDA)

To address the Planning Commission, please complete a speaker form located at the entrance and give it to the Administrative Assistant prior to the beginning of the meeting. Your name will be called when it is your turn to speak. Individual speakers are limited to three minutes each. Comments received via email by February 6, 2024, 5:00 p.m., will be read into the record, provided that the reading shall not exceed three (3) minutes.

1. Election of Chair and Vice Chair

RECOMMENDATION: Staff recommends the Planning Commission conduct an Election for Chair and Vice Chair.

CONSENT CALENDAR

2. Minutes from the January 16, 2024 Regular Meeting.

RECOMMENDATION: That the Planning Commission approve the minutes, as submitted.

PUBLIC HEARINGS

3. Design Review Application (DRA 23-015) for the Site Plan, Landscape Plan, Building Elevations and Conceptual Grading Plan related to the construction of a 2,350 square feet quick service restaurant with double lane drive through and 580 square feet of patio dining. (27864 Greenspot Road. North of Greenspot Road. East of State Route SR-210. Assessor's Parcel Number: 1201-331-09, Applicant: OHB 2021, LLC DBA Ono Hawaiian BBQ)

RECOMMENDATION: Staff recommends the Planning Commission:

1. Adopt Resolution No. 2024-____ approving Design Review Application (DRA 23-015) for the Site Plan, Landscape Plan, Building Elevations and Conceptual Grading Plan, related to the construction of a 2,350 square feet quick service restaurant subject to the Conditions of Approval and the Findings of Fact;
4. Public Hearing to declare the existence of a Public Nuisance in accordance with Title 8, Chapter 8.32, of the Highland Municipal Code, and authorize the abatement thereof, at the Property generally located at 9th St. & Sterling Ave., San Bernardino, CA 92410, Tax Assessor's Parcel Number 1192-071-05.

RECOMMENDATION: Staff recommends the Appeals Board conduct the required Public Hearing and adopt Appeals Board Resolution No 2024 -____, declaring the existence of a public nuisance on the Property generally located at 9th St. & Sterling Ave., San Bernardino, CA 92410 and order the abatement thereof.

ANNOUNCEMENTS

ADJOURN

I, Camille Duarte, Administrative Assistant III of the City of Highland, California, certify that I caused to be posted this agenda on or before the 1st of February 2024 by 5:30 p.m. on our website at www.cityofhighland.org and in the following designated areas:

Highland Branch Library
7863 Central Avenue

Fire Station No. 1
26974 Base Line

City Hall
27215 Base Line

Date: February 1, 2024



Camille Duarte, Administrative Assistant III



STAFF REPORT

TO THE PLANNING COMMISSION

DATE: February 6, 2024

FROM: Lawrence A. Mainez, Community Development Director

PREPARED BY: Camille Duarte, Administrative Assistant III *CD*

SUBJECT: Election of Chair and Vice Chair

RECOMMENDATION: Staff recommends the Planning Commission conduct an Election for Chair and Vice Chair

FISCAL IMPACT: None

PUBLIC NOTICE: The agenda for this item was posted at the three locations per Resolution No. 2011-047 and on the City's website.

BACKGROUND: In accordance with Resolution No. 89-19, Section 3.1(b), the Planning Commission will annually meet to appoint a Chair and Vice Chair for the coming year. Staff will take nominations and the vote for Chair. After the appointment of the Chair, Staff will turn the meeting over to the newly appointed Chair who will then take nominations and the vote for Vice Chair.

Approved _____	Motion _____	Second _____	Agenda Item No. <u>1</u>
Denied _____	Ayes _____		
Continued _____	Noes _____		File No. _____
Tabled _____	Abstain _____		
	Absent _____		
<i>Camille Duarte</i>		<i>Lawrence Mainez</i>	
Recording Secretary		Community Development Director	



STAFF REPORT

TO THE PLANNING COMMISSION

DATE: February 6, 2024

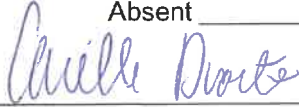
FROM: Lawrence Mainez, Community Development Director

PREPARED BY: Camille Duarte, Administrative Assistant III

SUBJECT: Minutes from the January 16, 2024 Planning Commission Regular Meeting.

RECOMMENDATION: Staff recommends the Planning Commission approve the Minutes as submitted.

PUBLIC NOTICE: The agenda for this item was posted at the three locations per Resolution No. 2011-047 and on the City's website.

Approved _____	Motion _____	Second _____	Agenda Item No. <u>2</u>
Denied _____	Ayes _____		
Continued _____	Noes _____		File No. _____
Tabled _____	Abstain _____		
	Absent _____		
 Recording Secretary		 Community Development Director	

PLANNING COMMISSION REGULAR MEETING MINUTES
January 16, 2024 – 6:00 P.M.

CALL TO ORDER

The regular meeting of the Planning Commission of the City of Highland was called to order at 6:00 p.m. by Chair Hamerly at the Donahue Council Chambers, 27215 Base Line, Highland, California.

Present:	Chair	Randall Hamerly
	Vice Chair	Chandra Thomas
	Commissioner	Craig Graves
	Commissioner	Jarrold Miller
	Commissioner	David Saran

Staff Present: Lawrence Mainez, Community Development Director
Kim Stater, Assistant Community Development Director
Angela Tafolla, Associate Planner
Matt Bennett, Assistant Public Works Director
Camille Duarte, Administrative Assistant III

Chair Hamerly led the Pledge of Allegiance.

COMMUNITY INPUT (ITEMS NOT ON THE AGENDA)

None.

Newly appointed Commissioner Graves introduced himself to the Commissioners and Staff.

CONSENT CALENDAR

1. Minutes from the January 2, 2023 Regular Meeting.

A MOTION was made by Vice Chair Thomas and seconded by Commissioner Miller to approve the minutes as amended. Motion carried, 5-0.

PUBLIC HEARINGS

2. Conditional Use Permit CUP-23-009 for the development of a 243,323 square foot speculative industrial warehouse building, Variance VAR-23-002 to allow the building to exceed the maximum building height permitted in the Business Park Zone by 17.6', Design Review DRA-23-010 for the project's Site Plan, Building Elevations, Conceptual Grading Plan, Conceptual Landscape Plan, Mitigated Negative Declaration, and Vesting Tentative Parcel Map TPM 23-003 for the consolidation of twenty-four (24) parcels into one (1) parcel. **Continued from the 12-19-23 Planning Commission Meeting.**

Chair Hamerly asked what is the date the Applicant requested to continue the meeting?

Associate Planner Tafolla stated the Applicant does not have a date specific. We need to table this item.

A MOTION was made by Chair Hamerly and seconded by Commissioner Saran to continue this item at the request of the Applicant to an unspecified date. Motion carried, 5-0.

3. Code of Ethics – Annual Review

The Planning Commission received and filed the current Code of Ethics.

ANNOUNCEMENTS

Administrative Assistant Duarte announced the Planning Commissioners Academy Conference scheduled March 6-8, 2024 in Long Beach, California.

The Planning Commissions next regular meeting is scheduled February 6, 2024.

ADJOURN

There being no further business, Chair Hamerly declared the meeting adjourned at 6:12 p.m.

Submitted by:

Approved by:

Camille Duarte, Administrative Assistant III
Community Development Department

Randall Hamerly, Chair
Planning Commission



STAFF REPORT

TO THE PLANNING COMMISSION

DATE: February 6, 2024

FROM: Lawrence A. Mainez, Community Development Director

REVIEWED BY: Kim Stater, Assistant Community Development Director 

PREPARED BY: Travis Trejo, Assistant Planner 

SUBJECT: Design Review Application (DRA 23-015) for the Site Plan, Landscape Plan, Building Elevations and Conceptual Grading Plan related to the construction of a 2,350 square feet quick service restaurant with double lane drive through and 580 square feet of patio dining.

(SB 1439 Campaign Contributions and Conflicts of Interest - Government Code Section 84308 is applicable)

LOCATION: 27864 Greenspot Road. North of Greenspot Road. East of State Route SR-210
Pad 3 of Greenspot Crossing
Assessor's Parcel Number: 1201-331-09

OWNER / APPLICANT: OHB 2021, LLC DBA Ono Hawaiian BBQ

RECOMMENDATION: Staff recommends the Planning Commission:

1. Adopt Resolution No. 2024-____ approving Design Review Application (DRA 23-015) for the Site Plan, Landscape Plan, Building Elevations and Conceptual Grading Plan, related to the construction of a 2,350 square feet quick service restaurant subject to the Conditions of Approval and the Findings of Fact;

PUBLIC NOTICE: On January 26, 2024, a Public Hearing Notice was posted on the City's website, published in the San Bernardino Sun newspaper on January 26, 2024. The Planning Commission Agenda was posted at the City's three designated posting

Approved _____	Motion _____	Second _____	Agenda Item No. <u>3</u>
Denied _____	Ayes _____		File No. _____
	Noes _____		
Continue _____	Abstain _____		
	Absent _____		
 Recording Secretary		 Community Development Director	

locations, mailed to property owners within 300 feet of the project site and those requesting notice.

PUBLIC COMMENT: At the time of preparing this report, staff has not received any public comments.

BACKGROUND: This project is located within the Greenspot Village & Marketplace Specific Plan.

On December 22, 2020 City of Highland Planning Commission approved a mixed use project, "Greenspot Crossing" comprised of commercial and residential components. Entitlements included Specific Plan Revision (SPR 06-01A) amending the Greenspot Village & Marketplace Specific Plan (SPR 06-001); Design Review Application (DRA 20-012) for the commercial and residential design components; Conditional Use Permit Application (CUP 20-006) to establish eight (8) California Alcohol Beverage Control (ABC) licenses for the commercial complex; Conditional Use Permit (CUP 20-007) to establish a gas station with convenience store and car wash; Tentative Parcel Map (TPM 20-002), increasing the number of parcels from four (4) to eight (8); and Accessory Sign Review Application (ASR 20-013) to establish a Sign Program (collectively referred to as "Subject Applications").

DESCRIPTION OF SITE: The subject Design Review Application is located on south side of Greenspot Crossings (Exhibit A – Area Map). It fronts Greenspot Road and is located at the mid-point of the Project on Pad 3. The Conditions of Approval for Greenspot Crossings require that a Design Review Application be processed for future Pads 1,3,6 and Major 1 &2.

PROJECT REVIEW/ANALYSIS:

Design Review Application (DRA 23-015)

Site Plan

The proposed development is for a 2,350 sq ft quick service restaurant with drive-through and outdoor dining. The drive through entry is 28 ft wide with two separate drive lanes approximately 11 ft wide each, which come together into a single 12 ft wide lane. The restaurant has two handicap spaces and two 15-minute pick up parking spots adjacent to the building with additional parking serviced by the rest of the commercial development (Exhibit B – Site Plan).

The indoor dining area is approximately 720 square feet and will consist of tables as well as booths surrounding the perimeter. This arrangement allows seating for

up to 52 people, including 3 required ADA accessible seats. The outdoor Patio space is in the north side of the building and is approximately 580 square feet . The patio will be used for outdoor dining and will be arranged with tables and chairs for seating up to 32 people, including the 2 required ADA accessible seats.

Elevations

The exterior of the restaurant consists primarily of stucco and brick finishes which is consistent with the agrarian style architecture established within the Specific Plan documents. The Southeast and Northwest corner elevations consist of large stone veneer facades broken up by panels of "Maxi Teal" stucco, and windows and the outdoor patio area respectively. The trims of the stone veneer facades are sandblasted, powder coated "Cardinal" colored metal sheeting. The eastern elevation has a single drive through window with the window bump out accentuated with brick veneer on the bottom half of the column and "White Flour" Stucco on the remaining. The remaining walls are all "White Flour" stucco and have an "Umber Rust" Cornice with "Urban Bronze" rafters along the top trim.

The patio area canopy is a "Caviar" colored trellis which comes out from the building to three pillars. Those pillars are "White Flour" stucco with stone veneer on the bottom. The patio area is enclosed with dark bronze railing which will complement the building's trim (Exhibit C - Elevations).

In reference to the rest of the pads of the commercial center, the exterior elevations of this project are consistent with the approved pad elevations.

Conceptual Landscape

The conceptual landscaping proposed on the site includes various trees, shrubs, and groundcovers. (Exhibit D – Landscape Plan). The Northern side of the pad has a Thornless Honey Locust tree which was chosen to match the commercial center's existing landscaping plans. The planters which wrap around the entirety of the building including the patio area, walkways, and drive through aisle are planted with various shrubs (Variegated Flax Lily, Pink Dancer Indian Hawthorn, Iceberg Rose, and Little John Weeping Bottlebrush) and ground cover (Little Moonshine Common Yarrow, and Foothill Sedge). The landscaping on the southside fronting Greenspot Road will be done by the commercial center developer in accordance with the landscaping guidelines of the Specific Plan. Planter areas will also be wood mulched as a top dressing.

The City's Landscape Architect reviewed the plans and provided conditions with respect to the Landscape Plan (Exhibit F - Conditions or Approval)

The Conceptual Landscape Plan is compliant with the City's water efficient landscape requirements, per Section 16.40.390 of the Highland Municipal Code. A licensed landscape architect prepared the project plans, the plant selection, and the grouping of plants with similar water needs. The plants were selected appropriately based on their adaptability to the conditions of the site; no new turf is proposed; and invasive species were avoided to ensuring that the environmentally sensitive areas in the open space to the south will not be negatively affected.

Access

Primary access will be provided from Greenspot Road. An ingress/egress point into the parking lot off Greenspot Road, east of the pad, will be implemented with the development of the commercial complex specific plan area. Ingress and egress shall be integrated to function within the circulation patterns of the commercial center. An additional cross lot access will be provided to the east, at such a time the parcel to the east is developed.

Conceptual Signs

The Applicant will submit elevations for the "Ono Hawaiian BBQ" signage along with an application for an Accessory Sign Review compliant with the commercial center's sign program for staff level approval.

Conceptual Grading Plan

The grading of this site is a part of a larger grading plan for the commercial center. The pad is consistent with the larger plan.

ENVIRONMENTAL DETERMINATION: The City Council certified an Environmental Impact Report (EIR) and supplemental EIR for Greenspot Village and Marketplace Specific Plan and adopted a Mitigation and Monitoring Reporting Plan (MMRP) that will be applied to this project. No further environmental review is necessary.

EXHIBITS:

- A) Area Map
- B) Site Plan
- C) Elevations
- D) Landscape Plan
- E) Grading Plan
- F) Conditions of Approval

ATTACHMENTS:

- 1) Resolution No. 2024-_____ for Design Review Application (DRA 23-015)
 - Exhibit 1: Site Plan
 - Exhibit 2: Landscape Plan
 - Exhibit 3: Building Elevations
 - Exhibit 4: Conditions of Approval (DRA 23-015)

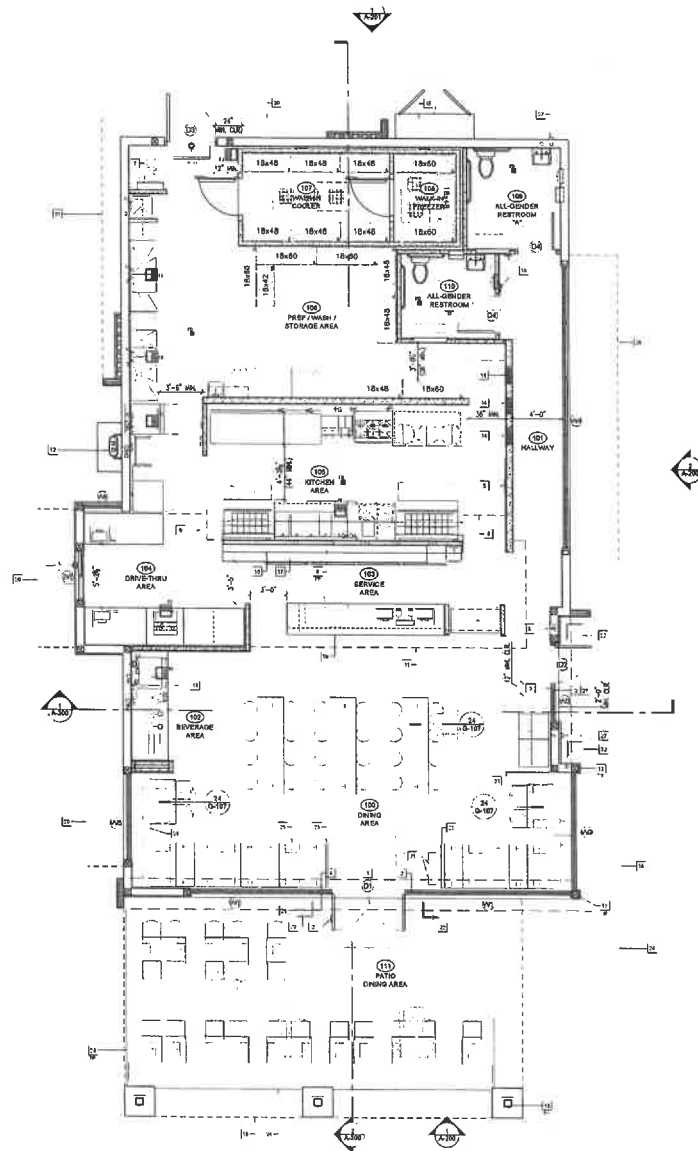
Exhibit A: Area Map

GREENSPOT ROAD

Exhibit B: Site Plan



A-000



GENERAL NOTES

- SEE SHEET A-100 TO A-102 FOR ROOM FINISHES, DOOR SCHEDULE, AND WINDOW SCHEDULE. SEE A-101 FOR WALL SCHEDULE.
- SEE ELEVATIONS FOR MORE INFORMATION FOR INTERIOR FINISHES.
- GO TO VERIFY SITE DIMENSIONS & ALL CONDITIONS PRIOR TO CONSTRUCTION.

FLOOR PLAN KEY NOTES

- PREMIER SIGN THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED
- UNIVERSAL ACCESSIBLE SIGN 7/3-107
- EXIT TACTILE SIGN SEE DETAIL 10/3-107
- MAXIMUM CAPACITY SIGN
- CLASS 4 T-100 FIRE EXTINGUISHER W/ CABINET MOUNTED NOT MORE THAN 5'-0" AFF TO TOP, TRAVEL DISTANCE FROM EXTINGUISHER SHALL BE NO MORE FURTHER THAN 25 FT.
- CLASS 4 ALSO T-100 FIRE EXTINGUISHER W/ CABINET MOUNTED NOT MORE THAN 5'-0" AFF TO TOP, TRAVEL DISTANCE FROM EXTINGUISHER SHALL BE NO MORE FURTHER THAN 25 FT.
- NOSE ACCESS UNDER
- NEW BOARD OVERHEAD
- NEW BOARD OVERHEAD
- NORMAL ACCESSIBLE GENDER-NEUTRAL SIGN SEE 13/2-107
- SMOKE LINE ABOVE
- GAS METER LOCATION & SHUT-OFF VALVE - SEE PLUMBING PLANS
- STRUCTURAL STEEL POSTS SEE STRUCTURAL PLANS
- ELECTRICAL PANEL SEE ELECTRICAL PLANS
- ELECTRICAL CABINET SEE ELECTRICAL PLANS
- 60" A.F.F. STAINLESS STEEL PAWS THROUGH SHEET
- 34" MAX A.F.F. STAINLESS STEEL SINK COUNTER
- 34" MAX A.F.F. STAINLESS STEEL SINK COUNTER
- PAWS/STOPS LINE OVERHEAD
- CANOPY/SHAWD LINE OVERHEAD
- ONLY-SOURCE SIGN
- PLASTER BOX BY OTHER
- WITH A.F.F. FLOOR MOUNTED CROWN METAL FINISHED VENDOR/MFR TO SUBMIT SHOP DRAWING FOR CHD CORP. APPROVAL
- WITH A.F.F. FLOOR MOUNTED CROWN METAL FINISHED VENDOR/MFR TO SUBMIT SHOP DRAWING FOR CHD CORP. APPROVAL
- GENERAL BOOTH TABLE SEE DETAIL 10/4-101
- BAR/STOVE SECTION AT WINDOW SEE DETAIL 10/4-101
- ROOF OVERFLOW DRAIN SEE PLUMBING PLANS
- PREMIER "NO SMOKING WITHIN 20FT MAIN ENTRANCES, EXITS AND OPENABLE WINDOWS" SIGN

ACCESSIBLE SEATING

- WHERE DINING SURFACE ARE PROVIDED FOR THE CONSUMPTION OF FOOD OR DRINK, AT LEAST 5 PERCENT OF THE SEATING SPACES AND STANDING SPACES AT THE DINING SURFACES SHALL COMPLY WITH SECTION 118-902. IN ADDITION, WHERE WORK SURFACES ARE PROVIDED FOR USE BY OTHER EMPLOYEES, AT LEAST 5 PERCENT SHALL COMPLY WITH SECTION 118-902.
- DINING SURFACES REQUIRED TO COMPLY WITH SECTION 118-902 SHALL BE DISPERSED THROUGHOUT THE SPACE OR FACILITY CONTAINING DINING SURFACES FOR EACH TYPE OF SEATING IN A FUNCTIONAL AREA. WORK SURFACES REQUIRED TO COMPLY WITH SECTION 118-902 SHALL BE DISPERSED THROUGHOUT THE SPACE OR FACILITY CONTAINING WORK SURFACES.

	INDOOR	PATIO
TOTAL NO. OF SEATS	52 SEATS	32 SEATS
	52	32
	2.6	1.6
TOTAL NO. OF SEATING ADA SEATS (INDOOR) = 3		(PATIO) = 2
TOTAL NO. OF PROVIDED ADA SEATS = 5		

FLOOR PLAN 1

Ono Hawaiian BBQ

THIS DRAWING AND SPECIFICATIONS AND ALL DETAILS ARE THE PROPERTY OF GWA ARCHITECTURE. NO PART OF THIS DRAWING MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF GWA ARCHITECTURE. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

ARCHITECT
GWA
ARCHITECTURE
27884 Greenspot Rd., Suite 100
Highland, CA 92346
Tel: 951-281-1111
Fax: 951-281-1112

STAMP

PROJECT NAME/ADDRESS
Ono Hawaiian BBQ
GREENSPOT VILLAGE
MAIN RETAIL SPACE
27884 GREENSPOT RD.
HIGHLAND CA, 92346
(PAD 3)

REVISION / ISSUE DATE

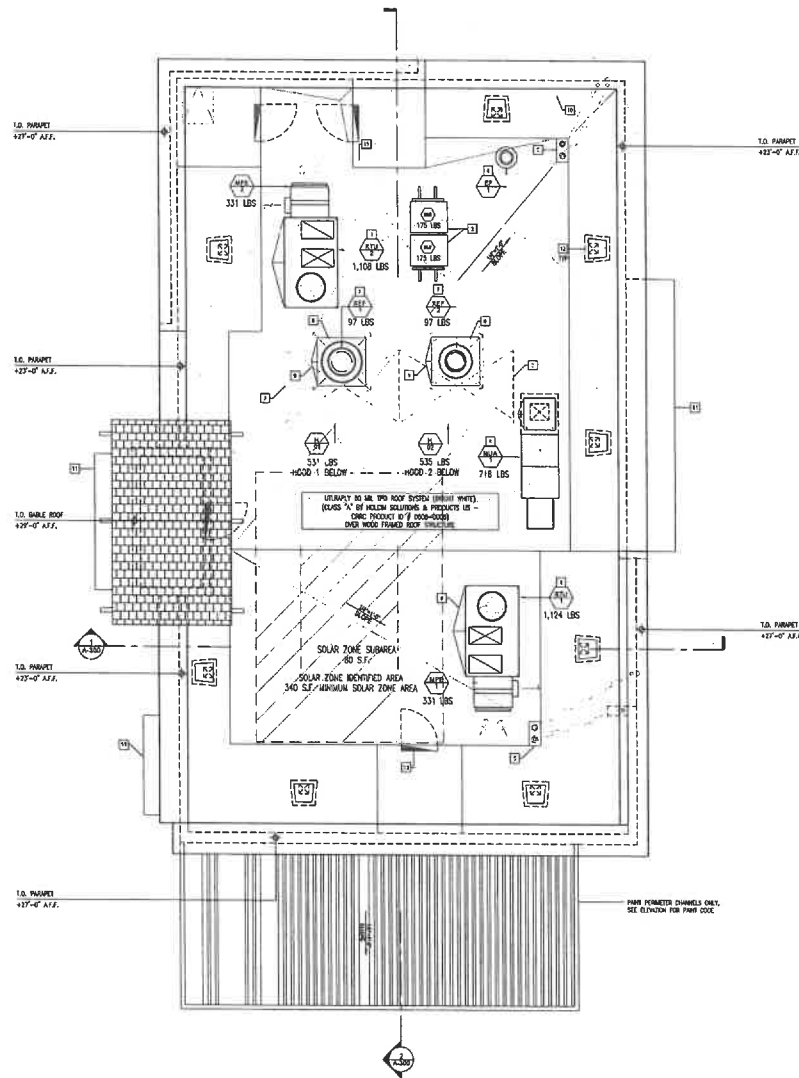
NO.	DATE	DESCRIPTION
1		

JOB NUMBER
ARCH PROJECT #: 25-133
STORY: CHD-CAS

DESIGNED BY
JW
CHECKED BY
JP

SHEET CONTENT
FLOOR PLAN

SHEET NO.
A-100



ROOF PLAN LEGEND

- WALL / STRUCTURE BELOW
- DESIGNATED AREA FOR FUTURE SOLAR EQUIPMENT, 15% OF TOTAL ROOF AREA

GENERAL NOTES

- SEE ALL DRAWINGS FOR ADDITIONAL NOTES AND SPECIFICATIONS.
- GENERAL CONTRACTOR MUST PROVIDE ALL REQUIRED PROTECTION TO ALL SURROUNDING AREAS THROUGHOUT COURSE OF CONSTRUCTION.
- GENERAL CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. GENERAL CONTRACTOR TO INFORM AOR WITH ANY DISCREPANCY ON PLAN VERSUS ACTUAL SITE CONDITION.
- CONTRACTOR SHALL COMPASS THAT ALL ROOF AREAS ARE PROVIDED FOR POSITIVE DRAINAGE TO ROOF DRAINS PRIOR TO SHEARING ROOF.
- CONTRACTOR SHALL PROVIDE CRICKET WHERE IT IS REQUIRED FOR PROMISING POSITIVE DRAINAGE AT HIGH SIDE OF CURVED ROOF OPENING, PLATFORMS, RETURN WALLS, BRACING, ETC.
- ALL ROOF HEIGHTS ARE REFERENCED FROM FINISH FLOOR ELEVATION 0'-0".
- FOR BUILDING AND PARAPET HEIGHT VERTICAL ELEVATIONS, REFER TO EXTERIOR ELEVATIONS, A-200 & 201.
- PROVIDE ROUND PENETRATIONS THROUGH ROOF, THE USE OF CHANNELS, ANGLES, OR LUG-STRIPS THROUGH THE ROOF ALONE OR WITH PITCH POCKETS IS NOT ALLOWED.
- DO NOT PENETRATE ROOFING WITHIN 18" OF VALLEYS/CRICKETS.
- VERIFY ALL REQUIRED ROOF TOP EQUIPMENT CURBS AND SUPPORT DIMENSIONS PRIOR TO FRAMING OF ROOF SUPPORTS, OPENINGS AND CURBS FABRICATION AND INSTALLATION.
- TERMINATE OVERFLOW DRAIN AT EXTERIOR WALL AT 18" ABOVE ADJACENT EXTERIOR FINISH GRADE.
- ROOF DRAIN PIPES AND FITTING ARE TO BE CONCEALED WITHIN BUILDING CONSTRUCTION.
- DO NOT GROUP OR BUNDLE DECK PENETRATIONS. MAINTAIN 6 INCHES CLEAR MINIMUM AROUND PENETRATIONS.
- CONTRACTOR SHALL PROVIDE A COMPLETE SINGLE PLY ROOFING SYSTEM FOR FLAT ROOF AREA INCLUDING, BUT NOT LIMITED TO, FLASHINGS, COPPINGS, ETC.
- ALL HVAC UNITS SHALL BE PLACED ON FACTORY ROOF CURBS.

ROOF PLAN KEY NOTES

- 1. ROOF TOP UNITS, SEE MECHANICAL PLANS
- 2. WALK-IN COOLER/FREEZER REFRIG. CONDENSER, SEE 17/A-400 & 10/A-402
- 3. TYPE-I HOOD BELOW, SEE A-104 AND MECHANICAL PLANS
- 4. RESTROOM EXHAUST (EF-1)
- 5. ROOF AND OVERFLOW DRAIN SEE DETAIL 17/A-420
- 6. MAKE-UP AIR UNIT, SEE MECHANICAL PLANS
- 7. KITCHEN EXHAUST FAN, SEE MECHANICAL PLANS
- 8. KITCHEN EXHAUST HOOD GREASE CONTAINMENT SYSTEM, SEE 18/A-401
- 9. CRICKET AS REQUIRED
- 10. ROOF ACCESS LADDER, SEE DETAIL 21/A-420
- 11. CANOPY BELOW
- 12. LOWER VENT AS REQUIRED, SEE DETAIL 29/A-420
- 13. ACCESS DOOR AT PARAPET BRACING, SEE DETAIL 27/A-420

THIS DRAWING AND SPECIFICATIONS HAVE BEEN PREPARED BY THE ARCHITECT OR ENGINEER OR OTHER PROFESSIONAL PERSON IN THE STATE OF CALIFORNIA AND ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OR ENGINEER. THE ARCHITECT OR ENGINEER ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING OUT OF THE USE OF THIS DRAWING OR SPECIFICATIONS. THE ARCHITECT OR ENGINEER DOES NOT WARRANT OR GUARANTEE THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT OR ENGINEER DOES NOT WARRANT OR GUARANTEE THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT OR ENGINEER DOES NOT WARRANT OR GUARANTEE THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREON.



PROJECT NAME/ADDRESS:
Ono Newell BBQ
 GREENSPOT VILLAGE
 MARKETPLACE
 27884 GREENSPOT RD.
 HIGHLAND, CA 92346
 (PAD 3)

REVISION / ISSUE DATE
 NO. DATE DESCRIPTION

2018 NUMBER
 ARCH PROJECT #: 28-133
 STORED: 040-646

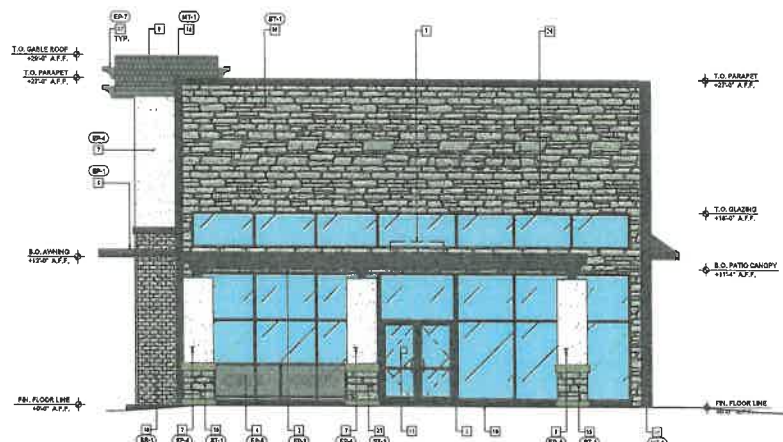
DRAWN BY: JH
 CHECKED BY: JP

SHEET CONTENT
 ROOF PLAN

SHEET NO.
A-110

Exhibit C: Elevations

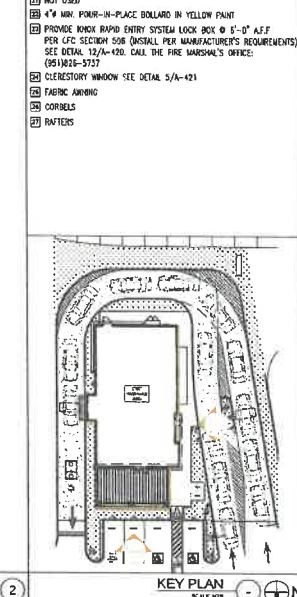
BR-1	EXTERIOR FAÇADE	MANUFACTURER: BRICK BY WALL COLOR: BROWN FINISH: ARTIFICIAL BRICK DESCRIPTION: BRICK VENEER MATERIAL: CLAY CONTACT: [REDACTED]
MT-1	EXTERIOR FAÇADE	MANUFACTURER: [REDACTED] COLOR: [REDACTED] FINISH: [REDACTED] DESCRIPTION: [REDACTED] MATERIAL: [REDACTED] CONTACT: [REDACTED]
ST-1	EXTERIOR FAÇADE	MANUFACTURER: [REDACTED] COLOR: [REDACTED] FINISH: [REDACTED] DESCRIPTION: [REDACTED] MATERIAL: [REDACTED] CONTACT: [REDACTED]
EP-1	PAVED STRUCTURE/ CANOPY/COVER ELECTRIC CABINET	MANUFACTURER: [REDACTED] COLOR: [REDACTED] FINISH: [REDACTED] DESCRIPTION: [REDACTED] MATERIAL: [REDACTED] CONTACT: [REDACTED]
EP-2	SEE WALL FINISH PLAN	MANUFACTURER: [REDACTED] COLOR: [REDACTED] FINISH: [REDACTED] DESCRIPTION: [REDACTED] MATERIAL: [REDACTED] CONTACT: [REDACTED]
EP-3	SEE ROOF WALL FINISH PLAN	MANUFACTURER: [REDACTED] COLOR: [REDACTED] FINISH: [REDACTED] DESCRIPTION: [REDACTED] MATERIAL: [REDACTED] CONTACT: [REDACTED]
EP-4	PAVED STRUCTURE/ CANOPY/COVER ELECTRIC CABINET	MANUFACTURER: [REDACTED] COLOR: [REDACTED] FINISH: [REDACTED] DESCRIPTION: [REDACTED] MATERIAL: [REDACTED] CONTACT: [REDACTED]
EP-5	PAVED STRUCTURE/ CANOPY/COVER ELECTRIC CABINET	MANUFACTURER: [REDACTED] COLOR: [REDACTED] FINISH: [REDACTED] DESCRIPTION: [REDACTED] MATERIAL: [REDACTED] CONTACT: [REDACTED]
EP-6	TRANSCORNER	MANUFACTURER: [REDACTED] COLOR: [REDACTED] FINISH: [REDACTED] DESCRIPTION: [REDACTED] MATERIAL: [REDACTED] CONTACT: [REDACTED]
EP-7	CORBEL/CORNER JUNCTION	MANUFACTURER: [REDACTED] COLOR: [REDACTED] FINISH: [REDACTED] DESCRIPTION: [REDACTED] MATERIAL: [REDACTED] CONTACT: [REDACTED]



ELEVATION - NORTH
SCALE 1/8" = 1'-0"

- ### GENERAL NOTES
- DOOR SCHEDULE, SEE [REDACTED]
 - WINDOW SCHEDULE, SEE [REDACTED]
 - VERIFY ON SITE SLAB/DECK HEIGHTS, SLOPES AND ELEVATIONS ON FLOOR PLAN AND SECTIONS
 - PROVIDE METAL PLASTER CONTROL JOINT AS SHOWN ON PLAN
 - PAINT EXPOSED METAL FLASHING TO MATCH COLOR OF ADJACENT SURFACES
 - PROVIDE FLASHING FOR ALL ITEMS PENETRATING EXTERIOR WALL CONSTRUCTION
 - EXTEND SUBSTRATE SHEATHING TO WEARSET INSIDE OR OUTSIDE WALL CORNER TO SEAM CONTIGUOUS FLASH WALL
 - INSTALL ALL NEW GLAZING WITH A CERTIFYING LABEL ATTACHED, SHOWING U-VALUE
 - PROVIDE TO THE OWNER A "CERTIFICATION OF COMPLIANCE" SIGNED BY THE GENERAL CONTRACTOR STATING THE MATERIALS WORKMANSHIP COMPLY WITH THE PLANS AND SPECIFICATIONS AFFECTING TITLE 24 ENERGY DESIGN REQUIREMENTS
 - PROVIDE SAFETY GLAZING REQUIRED BY THE CALIFORNIA BUILDING CODE
 - PROVIDE GLASS THICKNESS REQUIRED BY THE CALIFORNIA BUILDING CODE

- ### ELEVATION PLAN KEY NOTES
- ILLUMINATED BRICK SIGN, UNDER SEPARATE PERMIT
C.C. TO PROVIDE POWER PROVISION & BACKING/FOLLOWING AS REQUIRED
 - ALUMINUM STOREFRONT SYSTEM AND DOORS WITH 1" LOW "E" INSULATED FLOAT GLASS/TEMPERED GLASS. PROVIDE SILL RECEPTOR WITH WEELPS. GC TO PROVIDE SHOP DRAWINGS FOR APPROVAL
COLOR: DARK BRONZE ANODIZED
U-VALUE: 0.30
SHGC: 0.23 (SOLARBAN 57 (2) AZURIA CLEAR OR EQUAL)
 - PATIO TRELLIS, SEE STRUCTURAL PLANS
 - 42" AFF FLOOR MOUNTED CUSTOM METAL PATIO FENCE, VENDOR/WR TO SUBMIT SHOP DRAWINGS FOR OWNER APPROVAL
 - PREFAB CANTILEVERED ALUMINUM AWNING/CANOPY
C-CATER, EXTENDED DECK CANOPY BY AMERICAN PRODUCTS, INC. (API), PROVIDE COMPLETE SYSTEM PER MFR'S RECOMMENDATION
 - ROOF OVERFLOW DRAIN DOWNSPOUT NOZZLE (POLISHED BRONZE)
SEE DETAIL 7/A-420
 - PLASTER CEMENT (3 COATS) OVER METAL LATH OVER 2 LAYERS OF BUILDING PAPER (GRADE 3) OVER PLYWOOD SHEATHING
 - ROOF TILE - CHARONAL BLEND
 - ELECTRICAL SWITCHGEAR/CABINET
 - LED WALL PACK, SEE A-104
 - DECORATIVE EXTERIOR LIGHT - SURFACE MOUNTED, SEE A-104
 - CORNER/FRAM
 - METAL INTERIORWALL SIGN OF ACCESSIBILITY, SEE DETAIL 7/B-107
 - INSTALL BUILDING ADDRESS NUMBER, MUST BE IN A COLOR CONTRASTING WITH THE COLOR OF THE BACKGROUND, ONLY ADDRESS NUMBER, ASSIGNED AND APPROVED BY BCL/ADSS MAY BE DISPLAYED
 - METAL WALL PACK, 20" W x 4'-0"
 - DRAIN-TOUR WINDOW, GASKETED MODEL: SS-4035C
 - BRICK/STONE VENEER INSTALLED OVER WORTHINGTON PAPER BACKED METAL LATH, INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND WARRANTY REQUIREMENTS
 - CONCRETE CURB - PAINT TO MATCH STOREFRONT DARK BRONZE
 - EXTERIOR METAL DOOR
 - NOT USED
 - 4" MIN. MIN. IN-PLACE DOLLARD IN YELLOW PAINT
 - PROVIDE ROKH RAPID ENTRY SYSTEM LOCK BOX @ 5'-0" AFF PER LIFE SECTION 508 (DETAIL PER MANUFACTURER'S REQUIREMENTS) SEE DETAIL 12/A-420. CALL THE FIRE MARSHAL'S OFFICE: (951)215-3737
 - CLERESTORY WINDOW (SEE DETAIL 5/A-421)
 - FABRIC AWNING
 - CORBELS
 - RAVENS



Ono NewTeam BBQ
ARCHITECT

GWA ARCHITECTURE
ARCHITECT

PROJECT NAME/ADDRESS:
Greenspot Village
HAYMAKER PLACE
27168 GREENSPOT RD.
HIGHLAND CA, 92346
(PAD 3)

REVISION / ISSUE DATE

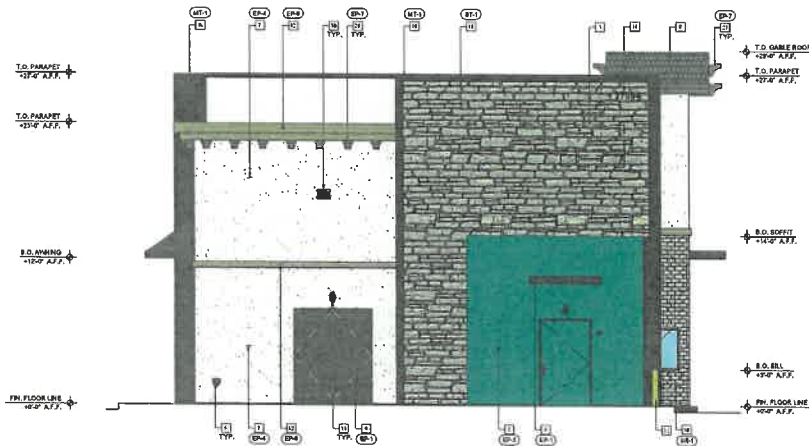
JOB NUMBER
ARCH PROJECT # 22-113
STORE: 045-045

DRAWN BY: [REDACTED] CHECKED BY: [REDACTED]

SHEET CONTENT
EXTERIOR ELEVATION

SHEET NO.
A-200

BR-1	EXTERIOR FAÇADE	MANUFACTURER: BROWN WILLIAMS COLOR: BROWN FINISH: BROWN DESCRIPTION: BRICK VENEER CONTACT: BROWN WILLIAMS
MT-1	EXTERIOR FAÇADE	MANUFACTURER: BROWN WILLIAMS COLOR: BROWN FINISH: BROWN DESCRIPTION: BRICK VENEER CONTACT: BROWN WILLIAMS
BT-1	EXTERIOR FAÇADE	MANUFACTURER: BROWN WILLIAMS COLOR: BROWN FINISH: BROWN DESCRIPTION: BRICK VENEER CONTACT: BROWN WILLIAMS
P-1 EP-1	PATIO STRUCTURE / CANYON CORNER / BLOC CANYON	MANUFACTURER: BROWN WILLIAMS COLOR: BROWN FINISH: BROWN DESCRIPTION: BRICK VENEER CONTACT: BROWN WILLIAMS
P-2 EP-2	SEE WALL FROM PLAN	MANUFACTURER: BROWN WILLIAMS COLOR: BROWN FINISH: BROWN DESCRIPTION: BRICK VENEER CONTACT: BROWN WILLIAMS
P-3 EP-3	SEE WALL FROM FAIRPLAY	MANUFACTURER: BROWN WILLIAMS COLOR: BROWN FINISH: BROWN DESCRIPTION: BRICK VENEER CONTACT: BROWN WILLIAMS
SP-1	PATIO BALING	MANUFACTURER: BROWN WILLIAMS COLOR: BROWN FINISH: BROWN DESCRIPTION: BRICK VENEER CONTACT: BROWN WILLIAMS
SP-2	TRINOVINE	MANUFACTURER: BROWN WILLIAMS COLOR: BROWN FINISH: BROWN DESCRIPTION: BRICK VENEER CONTACT: BROWN WILLIAMS
BR-2	CONCRETE RAFTER	MANUFACTURER: BROWN WILLIAMS COLOR: BROWN FINISH: BROWN DESCRIPTION: BRICK VENEER CONTACT: BROWN WILLIAMS



ELEVATION - SOUTH
8'-0" x 10'-0"

GENERAL NOTES

1. DOOR SCHEDULE, SEE
2. WINDOW SCHEDULE, SEE
3. VERIFY ON SITE SLAB/DECK HEIGHTS, SLOPES AND ELEVATIONS ON FLOOR PLAN AND SECTIONS
4. PROVIDE METAL PLASTER CONTROL JOINT AS SHOWN ON PLAN
5. PAINT EXPOSED METAL FLASHING TO MATCH COLOR OF ADJACENT SURFACES
6. PROVIDE FLASHING FOR ALL ITEMS PENETRATING EXTERIOR WALL CONSTRUCTION
7. EXTEND SUBMERSE SHEATHING TO HEADSET INSIDE OR OUTSIDE WALL CORNER TO OBTAIN CONTINUOUS FLASH WALL
8. INSTALL ALL NEW GLAZING WITH A CERTIFYING LABEL ATTACHED, SHOWING U-VALUE
9. PROVIDE TO THE OWNER A "CERTIFICATION OF COMPLIANCE" SIGNED BY THE GENERAL CONTRACTOR STATING THE MATERIALS WORKMANSHIP COMPLY WITH THE PLANS AND SPECIFICATIONS AFFECTING TITLE 24 ENERGY DESIGN REQUIREMENTS
10. PROVIDE SAFETY GLAZING REQUIRED BY THE CALIFORNIA BUILDING CODE
11. PROVIDE GLASS THICKNESS REQUIRED BY THE CALIFORNIA BUILDING CODE

ELEVATION PLAN KEY NOTES

1. ILLUMINATED BRAND SIGN, UNDER SEPARATE PERMIT
2. G.C. TO PROVIDE POWER PROVISION & BACKING/BLOCKING AS REQUIRED
3. ALUMINUM STOREFRONT SYSTEM AND DOORS WITH 1" LOW "E" INSULATED FLIGHT GLASS/TEMPERED GLASS. PROVIDE BALL RECEPTOR WITH KEEPS. GC TO PROVIDE SHOP DRAWINGS FOR APPROVAL
4. COLOR: DARK BRONZE ANODIZED
U-VALUE: 0.36
SHGC: 0.23 [SOURCING 67 (2) AZIRAH CLEAR OR EQUAL]
5. PATIO TRELLIS: SEE STRUCTURAL PLANS
6. 42" H A.F.F. FLOOR MOUNTED CUSTOM METAL PATIO FENCE. VENDOR/APP TO SUBMIT SHOP DRAWINGS FOR G.C. APPROVAL
7. PREFAB CANTILEVERED ALUMINUM AWNING/CANOPY
G-OUTLET, EXTENDED DECK CANOPY BY AMERICAN PRODUCTS, INC. (API). PROVIDE COMPLETE SYSTEM PER MFR'S RECOMMENDATION
8. ROOF OVERFLOW DRAIN DOWNSPUT NOZZLE (POLISHED BRONZE)
SEE DETAIL 7/1A-120
9. PLASTER CEMENT (3 COATS) OVER METAL LATH OVER 2 LAYERS OF BUILDING PAPER (GRADE 0) OVER PLYWOOD SHEATHING
10. ROOF TILES - CHARCOAL BLEND
11. ELECTRICAL SWITCHGEAR/CABINET
12. LED WALL PACK, SEE A-104
13. DECORATIVE EXTERIOR LIGHT - SURFACE MOUNTED, SEE A-104
14. CORNER/TURN
15. INSTALL INTERIOR/DOOR SIGN OF ACCESSIBILITY, SEE DETAIL 7/10-107
16. INSTALL BUILDING ADDRESS NUMBER. MUST BE IN A COLOR CONTRASTING WITH THE COLOR OF THE BACKGROUND. ONLY ADDRESS NUMBERS ASSIGNED AND APPROVED BY BOX/ADDRESS MAY BE DISPLAYED
17. METAL WALL PANEL, 20" W x 4'-0"
18. DRINK-THERM WINDOW, CLOSET/DOOR: SS-10365
19. BRICK/STONE VENEER INSTALLED OVER HORIZAL RED PAPER BACKED METAL LATH. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND WARRANTY REQUIREMENTS
20. CONCRETE CURB - PAINT TO MATCH STOREFRONT DARK BRONZE
21. EXTERIOR METAL DOOR
22. NOT USED
23. 4" MIN. FOUR-IN-PLACE BOLLARD IN YELLOW PAINT
24. PROVIDE KNOX RAPID ENTRY SYSTEM LOCK BOX @ 6'-0" A.F.F. PER CFC SECTION 508 (INSTALL PER MANUFACTURER'S REQUIREMENTS) SEE DETAIL 7/1A-120. CALL THE FIRE MARSHAL'S OFFICE: (951)865-5337
25. CLOSET/DOOR WINDOW SEE DETAIL 5/A-421
26. FABRIC AWNING
27. CORBELS
28. RAFTERS

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STAMP

PROJECT NAME/ADDRESS:

Ono Hawaiian BBQ
GREENSPOT VILLAGE
MARKETPLACE
2786A GREENSPOT RD.
HIGHLAND CA 92346
(949) 531-1111

REVISION/TREAS DATE

DATE DESCRIPTION

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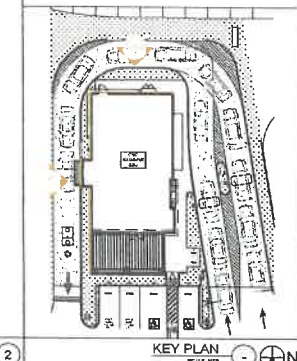
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DATE DESCRIPTION



KEY PLAN
8'-0" x 10'-0"

ELEVATION - EAST
8'-0" x 10'-0"

A-201



SOUTHWEST VIEW (2)



NORTHWEST VIEW 1



NORTHEAST VIEW 4



SOUTHEAST VIEW 3

Ono Hawaiian BBQ®
EST. 1962

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DISCUSSION



STAMP

PROJECT NAME/ADDRESS:

OroKowale BBQ
GREENSPOT VILLAGE
MARKETPLACE
27864 GREENSPOT RD.
HIGHLAND CA, 92346
(PAD 3)

REVISION / ISSUE DATE

REPORT / ISSUE DATE		
NO	DATE	DESCRIPTION
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99	2008-01-01	...
100	2008-01-01	...

JOB NUMBER

ARCH PROJECT #: 22-123
STUDY: GNC-085

DRAWN BY	CHECKED BY
JB	JF

SET CONTENT

COLORED RENDERINGS

SHEET NO.

A-700



GWA
ARCHITECTURE

9000 Corporate Center Drive
Suite 970
Midway Park, CA 91044
Tel: (714) 264-6636

[illegible]

One Hundred BBQ
GREENSPOT VILLAGE
MARKETPLACE
27864 GREENSPOT RD.
HIGHLAND CA, 92346
(PAD 3)

[illegible]

ARCH PROJECT #: 22-133
STORE: OND-046

DESIGNED BY	CHECKED BY
DATE	DATE

Project Budget	
Item	Amount
Materials	\$1,200
Labor	\$800
Overhead	\$400
Total	\$2,400

BUILDING SECTIONS

SHEET NO.

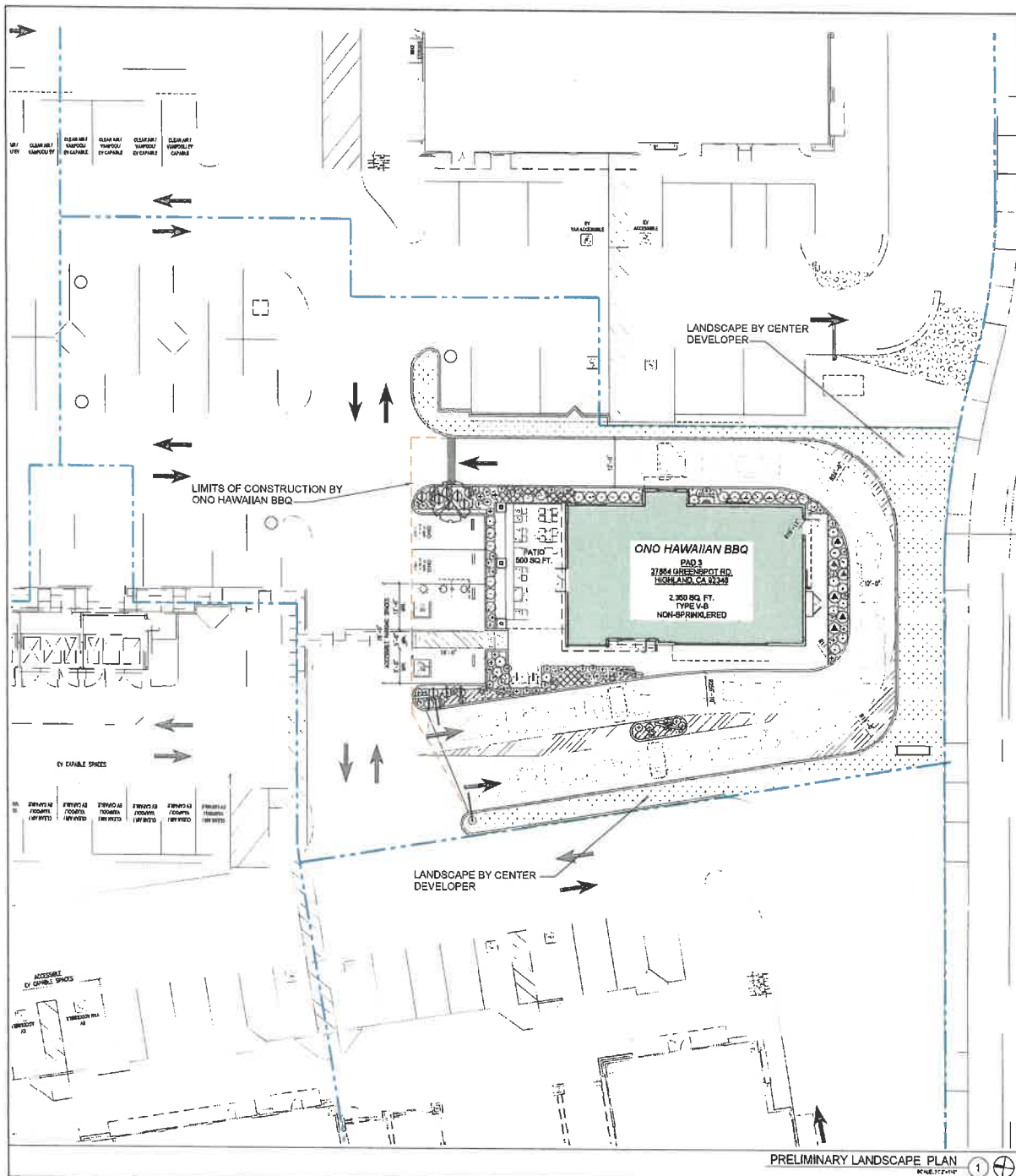
KEY PLAN

SECTION 2

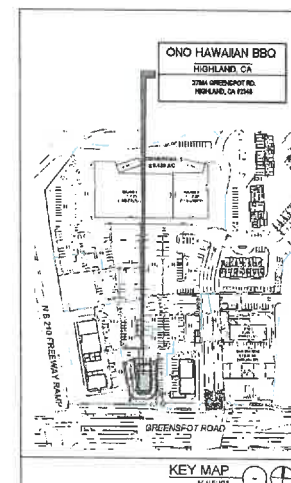
KEY PLAN



Exhibit D: Landscape Plan



LANDSCAPE PLAN PREPARED BY:
GENE HIRAO
18 HONOLULU
HONOLULU, HI 96813
TEL: (808) 261-1111
GHW@GHW.COM



NOT TO SCALE. NO PRELIMINARY AND FINAL DESIGN ARE PROVIDED FOR CONSTRUCTION. THESE ARE FOR INFORMATION ONLY. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.



PROJECT INFORMATION:
Ono Hawaiian BBQ
GREENSPOT VILLAGE
MARKETPLACE
3784 GREENSPOT RD.
HIGHLAND, CA 92346
(PAD 3)

REVISION / ISSUE DATE	DATE	DESCRIPTION
1		

JOB NUMBER
ARCH PROJECT #: 20-133
STORED: ONO-085

DRAWN BY **CHECKED BY**
JH JP

PRELIMINARY LANDSCAPE PLAN
SHEET NO. **PL**

Ono Hawaiian BBQ
EST. 1984

Exhibit E: Grading Plan

CITY OF HIGHLAND CONCEPTUAL GRADING & UTILITY PLAN ONO HAWAIIAN BBQ



OWNER/APPLICANT
TOM RICHMOND
TREN PARTNERS JV, LLC
4 CORPORATE PLAZA, SUITE 210
NEWPORT BEACH, CA 92660
(949) 631-6920 OFFICE

CIVIL ENGINEER
DRC ENGINEERS, INC.
100 S. OLD SPRINGS RD, SUITE 210
ANAHEIM HILLS, CA 92808
CONTACT: REBE VANDER
(714) 885-6860 X3337

SOIL ENGINEER
SOILS SOUTHWEST, INC.
887 MA LATA, SUITE H
CULTON, CA 93224
CONTACT: MARY CUPITA, RCE (#3178)
(909) 379-0474
REPORT DATE: MAY 20, 2019
REPORT NO.: 19010-F/IMP
LIQUIDATION NOT LIKELY

PROJECT DESCRIPTION
PROPOSED ONO HAWAIIAN BBQ
RESTAURANT, PARKING STALLS
AND ASSOCIATED LANDSCAPING

ASSESSORS' PARCEL NUMBER
1208-331-10-0-000

TOPOGRAPHY
CONTOURS AND ELEVATIONS PROVIDED FROM
PHOTOGRAMMETRIC METHODS IN CONFORMANCE
WITH THE U.S. MAP ACCURACY STANDARD AND
SUPPLIED BY INLAND AERIAL SURVEYS, INC.,
7117 ARNOLD AVE, SUITE A, RIVERSIDE,
CALIFORNIA 92503, PHONE: (951) 857-4252
DATED: 2-12-20

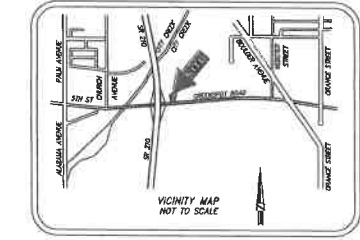
ZONING
PD - PLANNED DEVELOPMENT,
OS - OPEN SPACE
D - TRAFFIC PATTERN ZONE - LOW RISK LEVEL

FLOOD ZONE
THE LAND SHOWN ON THIS SURVEY LIES WITHIN
FLOOD ZONE 1" (SHADED) & FLOOD ZONE 2" (Hatched)
BEING DESCRIBED AS "AREAS OF 0.2% ANNUAL
CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE
WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR
WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE,
AND PROTECTED BY LEVEES FROM 1% ANNUAL
CHANCE FLOOD." ALSO DESCRIBED AS "NO BASE
FLOOD ELEVATIONS DETERMINED" PER FLOOD
INSURANCE RATE MAP (FIRM) - COMMUNITY PANEL
NUMBER 080718C02N, DATED AUGUST 28, 2008.

BASIS OF BEARINGS
THE BEARINGS SHOWN HEREON ARE BASED ON THE
CENTRULINE OF FIFTH STREET AS SHOWN OF RECORD OF
SURVEY 04-308, FILED IN BOOK 133, PAGE 37, ON
RECORD OF SURVEY, BEING NORTH 85°50'10".

ABBREVIATIONS
BLDG = BUILDING
CL = CLEAROUT
EX = EXISTING
FL = FLOW LINE
FS = FINISHED SURFACE
FW = FIVE WATER
G = GROUND
GP = GRADE BREAK
H = HIGH POINT
HP = HIGH POINT
M = MOUND
M1 = MOUND
M2 = MOUND
M3 = MOUND
M4 = MOUND
M5 = MOUND
M6 = MOUND
M7 = MOUND
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M99 = MOUND
M100 = MOUND

SYMBOL LEGEND:
--- (1230) --- EXISTING CONTOUR
--- 1230 --- PROPOSED CONTOUR
--- VERTICAL RETAINING WALL
--- 60/4 --- GRADE BREAK/ROCK LINE
--- PROPERTY LINE
--- RIGHT-OF-WAY LINE
--- ADA PATH OF TRAVEL



EARTHWORK QUANTITIES
OUT: 260 CY FILL: 430 CY
TOTAL: 170 CY EXPORT

PROJECT AREA
NET AREA: 0.37 AC
GROSS AREA: 0.27 AC
DISTURBED AREA: 0.27 AC

NOTE: NET IMPORT MATERIAL TO BE DAINED
FROM THE OVERALL DEVELOPMENT OF
GREENSPOT (DEVELOP)

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN HIGHLAND IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A:
THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF HIGHLAND, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SECTION 4; THENCE EAST TO A POINT 1455 FEET WEST OF THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER OF SECTION 4; THENCE SOUTH TO THE NORTH LINE OF THE COUNTY ROAD EAST THIRD STREET; THENCE SOUTHWESTERLY ALONG SAID NORTH LINE OF THE COUNTY ROAD TO ITS INTERSECTION WITH THE WEST LINE OF SAID SOUTHWEST QUARTER OF SECTION 4; THENCE NORTH TO THE POINT OF BEGINNING.

EXCEPT THEREFROM THOSE PORTIONS DESCRIBED IN DEEDS TO THE STATE OF CALIFORNIA RECORDED DECEMBER 20, 2008 AS INSTRUMENT NO. 2008-080200, DECEMBER 20, 2008 AS INSTRUMENT NO. 2008-080201, AND NOVEMBER 12, 2013, AS INSTRUMENT NO. 2013-043433, ALL OF OFFICIAL RECORDS.

ALSO EXCEPTING THAT PORTION CONVEYED TO THE CITY OF HIGHLAND, A MUNICIPAL CORPORATION BY GRANT DEED RECORDED FEBRUARY 26, 2020 AS INSTRUMENT NO. 2020-007293 OF OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

THAT PORTION OF THOSE PARCELS OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN, SAID PARCELS CONVEYED TO THE SAN BERNARDINO FLOOD CONTROL DISTRICT BY DOCUMENT RECORDED MAY 6, 1942 IN BOOK 1530, PAGE 352 AND BY DOCUMENT RECORDED MAY 15, 1959 IN BOOK 4824, PAGE 444, BOTH OF OFFICIAL RECORDS OF SAN BERNARDINO COUNTY, SAID PORTION BEING ALL OF SAID PARCELS DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE NORTHERLY LINE OF GREENSPOT ROAD (FORMERLY 5TH STREET), HAVING A HALF WIDTH OF 50.00 FEET, WITH THE WESTERLY LINE OF THE EASTERLY 1/2 OF 200 FEET OF SAID SOUTHWEST QUARTER;

THENCE NORTH 80°24'30" EAST, 495.84 FEET ALONG SAID WESTERLY LINE TO THE MOST SOUTHERLY CORNER OF SAID PARCEL OF LINE DESCRIBED IN DOCUMENT RECORDED IN BOOK 4824, PAGE 444, OFFICIAL RECORDS;

THENCE NORTH 37°20'27" EAST, 19.53 FEET ALONG THE SOUTHEASTERLY LINE OF SAID PARCEL;

THENCE LEAVING SAID SOUTHEASTERLY LINE, SOUTH 85°04'30" WEST, A DISTANCE OF 247.38 FEET;

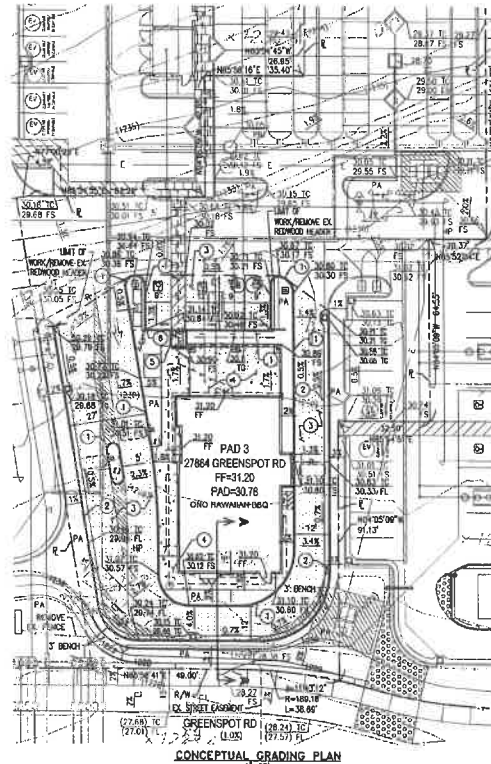
THENCE NORTH 04°10'34" WEST, A DISTANCE OF 410.84 FEET TO A POINT IN A HIGH-ANGLED CURVE CONCAVE NORTHERLY AND NORTHERLY HAVING A RADIUS OF 720.00 FEET, A RADIAL LINE OF SAID CURVE TO SAID POINT BEARS SOUTH 28°57'05" WEST;

THENCE SOUTHWESTERLY AND WESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 34°14'59", A DISTANCE OF 418.44 FEET TO THE EASTERLY BOUNDARY OF STATE HIGHWAY 30 AS DESCRIBED IN DOCUMENT RECORDED OCTOBER 15, 2008 AS INSTRUMENT NO. 08-045072, OFFICIAL RECORDS OF SAID COUNTY;

THENCE ALONG SAID NORTHERLY LINE, NORTH 51°34'30" EAST, 576.23 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PARCEL DESCRIBED IN DEED TO STATE OF CALIFORNIA, RECORDED NOVEMBER 12, 2013 IN INSTRUMENT #2013-043433, OFFICIAL RECORDS OF THE COUNTY OF SAN BERNARDINO.

UTILITIES:
WATER & SEWER: EAST VALLEY WATER DISTRICT
3111 GREENSPOT RD.
HIGHLAND, CA 92348
(909) 858-8588
GAS: SO CAL GAS COMPANY
1130 N. MT. VERNON AVE., #305
SAN BERNARDINO, CA 92411
(909) 407-6200
TELEPHONE: FRONTIER COMMUNICATIONS
23 W. LUGONIA AVE.
REDLANDS, CA 92374
(909) 293-7428



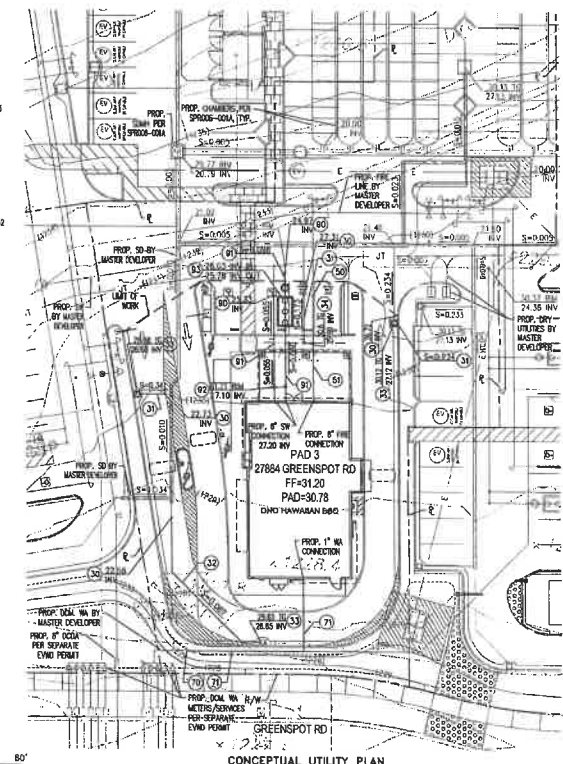
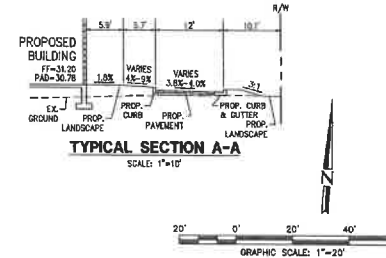
- GRADING CONSTRUCTION NOTES:**
1. CONSTRUCT 6" CURB PER CITY OF HIGHLAND STD. DWG. NO. 201
 2. CONSTRUCT 6" CURB & GUTTER PER CITY OF HIGHLAND STD. DWG. NO. 202
 3. CONSTRUCT 4" AC/INCH PAVEMENT SECTION PER GEOTECH ENGINEER'S RECOMMENDATION
 4. CONSTRUCT 4" PCC SIDEWALK PER CITY OF HIGHLAND STD. DWG. NO. 208
 5. CONSTRUCT ADA RAMP W/ TRUNCATED DOMES PER CITY OF HIGHLAND STD. DWG. NO. 223

- STORM DRAIN CONSTRUCTION NOTES:**
30. CONNECT TO STORM DRAIN IMPROVEMENTS PER SP2008-300A
 31. INSTALL 6" PVC SDR35 STORM DRAIN PIPE
 32. INSTALL 6" PVC SDR35 STORM DRAIN PIPE
 33. CONSTRUCT BROOKS 18"X18" DROP INLET PER DETAIL ON SHEET 33
 34. INSTALL 12" NOS ATRON GRATE INLET WITH NOS 1280 OR APPROVED EQUAL PER DETAIL ON SHEET 32

- PRIVATE FIRE WATER CONSTRUCTION NOTES:**
70. CONNECT TO 6" PVC FIRE WATER SERVICE PER SEPARATE PERMIT NO. 20220403
 71. INSTALL 2" PVC C-900 PIPE CLASS 200

- PRIVATE WATER CONSTRUCTION NOTES:**
70. CONNECT TO 1" WATER SERVICE PER SEPARATE PERMIT NO. 20220447
 71. INSTALL 2" PVC C-900 PIPE CLASS 200

- PRIVATE SEWER CONSTRUCTION NOTES:**
80. CONNECT TO 6" PVC SEWER SERVICE PER SEPARATE PERMIT NO. 20220447
 81. INSTALL 6" PVC SEWER LINE
 82. CONSTRUCT SEWER CLEANOUT PER SPPWC STD. PLAN 234-2
 83. INSTALL 1200 GALLON GREASE INTERCEPTOR PER MODEL NO. WLP1500-EMWD WITH SAMPLE BOX



DIG ALERT CALL BEFORE YOU DIG 811	BENCHMARK THE CONTOURS AND ELEVATIONS SHOWN HEREON ARE BASED ON THE FOLLOWING BENCHMARK: BM NO.: 0001 ELEV.: 1213.30' (CITY OF HIGHLAND BENCHMARK) CHASSIS BOX AT THE EAST END OF THE NORTHEAST CURB RETURN AT 5TH STREET AND CHURCH AVENUE.	SEAL 	PLANS PREPARED BY: Civil Engineering/Land Surveying/Land Planning	150 S. Old Springs Road Suite 210 Anaheim Hills, CA 92805 714-685-6860	CITY SEAL	REVISIONS	CITY OF HIGHLAND	CONCEPTUAL GRADING & UTILITY PLAN												
						<table border="1"> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>APPROVAL</th> <th>DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DESCRIPTION	APPROVAL	DATE					<table border="1"> <tr> <td>RECOMMENDED BY</td> <td>APPROVED BY</td> </tr> <tr> <td>DATE</td> <td>DATE</td> </tr> </table>	RECOMMENDED BY	APPROVED BY	DATE	DATE	<table border="1"> <tr> <td>DRAWN NO.</td> <td>100-XXX</td> </tr> <tr> <td>DATE</td> <td>11/9/23</td> </tr> <tr> <td>SHEET</td> <td>OF 1</td> </tr> </table>
NO.	DESCRIPTION	APPROVAL	DATE																	
RECOMMENDED BY	APPROVED BY																			
DATE	DATE																			
DRAWN NO.	100-XXX																			
DATE	11/9/23																			
SHEET	OF 1																			

Exhibit F: Conditions of Approval

CITY OF HIGHLAND
PLANNING DIVISION CONDITIONS OF APPROVAL

Date: February 6, 2024
Applicant: OHB 2021, LLC
File/Index: Design Review Application (DRA 23-015)
Proposal: Construction of a 2,350 square feet quick service restaurant with drive through and 580 square feet patio dining.
Location: 27864 Greenspot Road. North of Greenspot Road.
Pad 3 of TREH Commercial Development/Greenspot Crossing
Assessor's Parcel Number: 1201-331-09

PLANNING CONDITIONS OF APPROVAL

These conditions of approval represent the Planning Divisions conditions of approval and are meant to be one part of overall conditions of approval that may include, Engineering, Building and Safety, Fire Department, and other agency conditions of approval.

The conditions below are continuing conditions. Failure of the applicant and/or operator to comply with any or all said conditions at any time shall result in the revocation of this permit granted to use the subject property.

1. This Design Review Application shall become null and void:
 - a. Unless all conditions have been complied with and the occupancy or use of the land or structures authorized by this Design Review Application have occurred within thirty-six (36) months from the approval date of this Design Review Application, this Design Review Application shall expire and be null and void without further action by the City of Highland.
 - b. Where circumstances beyond the control of the Applicant cause delays which do not permit compliance within the time limitation established in this Section, the Planning Commission may grant an extension of time for a period of time not to exceed an additional thirty-six (36) months. An application for an extension of time must be set forth in writing, stating the reasons for the extension, and must be filed with the Planning Division a minimum of thirty (30) calendar days prior to the expiration of the Design Review Application. Such application shall be filed together with the City's processing fee, as established by the City Council.
2. This Design Review Application is for the Site Plan, Landscape Plan, Elevations, and Grading Plan pertaining to the construction of a 2,350 square feet quick service restaurant with drive through and 580 square feet patio dining.

- a. The approval of the Design Review Application is applicable to the proposed use, Site Plan, Grading Plan, Landscape Plan, and design features proposed on the restaurant building.
3. The conceptual landscape plan, site plan, vehicular circulation, parking spaces, hours of operation and grading plan that were approved for Design Review Application (DRA 20-012) via Resolution No. 2021-022 shall be applied to Design Review Application (DRA 23-015)
4. All permanent parking areas shall be paved and permanently maintained with asphalt or concrete and designated with clearly painted lines. The number of parking spaces, including disabled parking, shall comply with the requirements of the City's Municipal Code.
5. Materials, textures, colors, and design of all walls shall be compatible with on-site development and adjacent properties as approved by the Planning Commission.
6. Obtain all required building/occupancy permits from the Highland Building and Safety Division.
7. The Applicant is responsible for implementing all conditions of approval to the satisfaction of the Community Development Director, City Engineer, Fire Department, and Police Department. Each condition of approval is separately enforced, and if one of the conditions of approval is found to be invalid by a court of law, all the other conditions shall remain valid and enforceable.
8. Revisions, modifications, and/or deletions to the approved plans shall be submitted to the Planning Division for review and approval. Revisions, modifications and/or deletions may require additional review by the Planning Commission.
9. In compliance with the Highland Municipal Code, the Applicant/Owner shall agree, at his/her sole cost and expense, to defend, indemnify, and hold harmless, the City, its officers, employees, agents, and consultants, from any claim, action, or proceeding brought by a third-party against the City, its officers, agents, and employees, which seeks to attack, set aside, challenge, void, or annul an approval of the City Council, Planning Commission, or other decision-making body, including staff, concerning this project. The City may participate at its own expense in the defense of any such action but such participation shall not relieve the Applicant/Owner of his/her obligations under this condition.
10. All parking spaces shall be provided with nighttime security lighting. Lighting must be shielded and directed to reflect away from neighboring properties. Lighting shall not exceed 0.5 foot candles of illumination beyond the northern, eastern, and western property boundaries and 0 foot candles along the southern property boundary.

11. The Development Impact Fees shall be calculated and paid in accordance with City policy.
12. All rooftop mounted mechanical equipment shall be screened from public view. This can be accomplished by Architectural Treatments of parapets equal in height to the tallest piece of roof-mounted equipment.
13. All ground mounted, as well as wall mounted mechanical, electrical, or gas equipment shall be screened from public view by the use of landscaping and/or architectural treatments compatible with the adjoining Building's architectural design.
14. The subject property shall be developed in accordance with plans and materials approved by the Planning Commission on February 6, 2024 on file with the City of Highland Planning Division, and shall be in compliance with all conditions of approval contained herein.
15. The design and installation of the Signs shall be in accordance with the previously approved Sign Program (ASR 20-013) for the commercial development.
16. The Applicant and Owner of the property shall submit to the Planning Division written evidence of agreement with all conditions of this approval before the approval becomes effective.

January 25, 2024

Attn: Travis Trejo, Assistant Planner
City of Highland
27215 Base Line
Highland, Ca 92346



RE: Preliminary Landscape Plan Review:
DRA 23-015
Ono Hawaiian BBQ

Dear Travis:

We have reviewed the preliminary landscape plans for the project listed above in comparison to the City's Design Guidelines, Specific Plan, Water Efficient Landscape Ordinance, and recently processed applications of similar occupancy. Accordingly, we recommend the following landscape-specific conditions:

- 1) Three copies of construction landscaping plans shall be submitted and approved by the Planning Department and the City Landscape Architect once the Entitlement process has been completed. A licensed Landscape Architect shall prepare and sign/ certify the plans.
- 2) Per the original conditions of approval for the overall center two trees were included in the northern parking lot finger planters- Applicant shall add a second tree to the plan at the drive through entrance.
- 3) Required trees shall be a minimum of 24" box.
- 4) Shrub planting shall be made up of 75% 5 gallon plants and 25% 1 gallon plants with the exception of ground covers that will be a minimum of 1 gallon size.
- 5) Planting shall offer horizontal and vertical variation in form, texture, and scale and shall include multiple species to prevent against loss of a monoculture of a single species from species specific pest or other cause.
- 6) Landscape islands or planters adjacent to parking stalls shall be a minimum of 5' wide excluding any concrete step out areas.
- 7) All planting and irrigation plans shall confirm to all section 16.40.390 "Water efficient landscape" requirements, Section 14 of the Public Works policies, procedures, and standards, and Chater 7 of the Greenspot specific plan as it applies to Landscaping.
- 8) Landscaping and planting areas shall be used to screen and buffer edge areas and parking areas from public view. All parking areas shall be screened by earth mounding (30") and or screening

- shrubs to screen the parked cars from public view of users of the establishment and public rights-of-way.
- 9) Coordinate the landscape plan layout with the project's Water Quality Management Plan to ensure that the landscape layout aligns with the required Best Management Practices (BMP) for the facilities, Current landscape plan does not address any facilities if required.
 - 10) Include total landscape area in square feet and a percentage of overall site for verification with meeting City minimums.
 - 11) A weather-based smart irrigation controller shall be installed that measures evapo-transpiration. A rain shut off device shall be installed free of overhead obstruction and connected with the irrigation controller in addition to a master valve, flow sensor and separate landscape water meter are required in addition to the above for all projects.
 - 12) All plants shall be hydro-zoned to low to medium water use according to WUCOLS IV in Region 4, Inland Valley as a general guide.
 - 13) A copy of the soil fertility recommendations and soil management plan specified using organic fertilizers and soil amendments shall be included on the first submittal of the landscape construction plans unless extensive grading is anticipated. In that case the landscape contractor shall provide the soil fertility recommendations and soil management plan prior to the pre-job meeting on site.
 - 14) Applicant shall provide a mow curb or other form of separation at property boundaries to clearly identify where maintenance responsibilities end.
 - 15) The City Landscape Architect shall meet with the job site superintendent and the landscape contractor for a pre-job meeting. Copies of required landscape submittals shall be presented for approval including soil test results per the soil management plan. Overall inspection schedule shall be reviewed, and all procedures shall be reviewed. No landscaping shall occur prior to the meeting.
 - 16) Prior to the request for final inspection the Applicant shall have completed the installation of all landscape items, passed all construction sequence inspections in addition to having a completed 3rd party water audit with report, as built documents, controller charts submitted and approved prior by the City Landscape Architect. Failure to do so will result in delays for final inspection and or sign off.
 - 17) No light fixture, electric transformer, fire detector check, fire hydrant, or other utilities shall be designed for any location in a planting area, which would make it necessary to eliminate a tree or masses of shrubs. All overhead light fixtures and utilities shall be identified on the grading and site plans. Utilities shall be screened appropriately with landscaping. Any trees that are determined to be in conflict through the design development process shall be relocated to keep the same quantities shown on the approved entitlement plan, this shall include adjusting, adding, and revising or creating additional planting areas to support the total required number.

- 18) Root barriers shall be installed for all trees planted within 5 feet of hardscape, paving, or walls/ structures. All trees requiring root barriers shall extend 10' from the center of the trunk in either direction and be a minimum of 24" deep.

We look forward to discussing these items with you in further detail. Please feel free to contact us at (951) 369-0700 with any questions.

Respectfully,



Dan Burkhardt ASLA
Landscape Architect CA #6092 /
ISA Certified Arborist WE-11637A, for



Scott Rice ASLA, LEED AP, CASp
City Landscape Architect
Landscape Architect CA #5111

Consultants to the City of Highland via Community Works Design Group

**Attachment 1: Resolution No. 2024-_____ for
Design Review Application (DRA 23-015)**

Building and Safety Division Conditions of Approval

Date: January 15, 2024
Project: Multi-lane drive-thru restaurant 2,350 sqft with 580 sqft patio dining
Applicant: OHB 2021, LLC
Site Location: 27864 Greenspot Rd. Pad 3
Project Numbers: DRA: 23-015
APN(s): 1201-331-01

1. Please provide the following number of construction plans and documents listed below for the first review of the proposed project. The initial plan review time will take two weeks on most projects. The applicant will receive an application number at the time plans are submitted for Building & Safety's plan review. This number is needed to obtain information regarding your project.

- (3) Architectural Plans
- (3) Project Condition of Approval from all departments:
To be included in Architectural plan set at plan submittal.
- (3) Structural Plans
- (3) Plot/Site Plans
- (3) Electrical Plans
- (3) Electrical Load Calculations
- (3) Exiting Plans
- (3) Plumbing Plans/Isometrics
- (3) Mechanical Plans
- (3) HVAC Duct Layout Plans
- (3) Precise Grading Plans
- *Grading, Photometric, or Landscape Plans: Please mark "FOR REFERENCE ONLY"*
- (3) Site Disabled Access Plan
- (3) Temporary Construction Fence Plan
- (2) Roof and Floor Truss Plans
- (2) Title 24 Energy Calculations
- (2) Soils Report
- (2) Structural Calculations
- (1) Fire Flow Test – At submittal with hydrant location dimensioned on the site plan.

Provide before permit issuance.

- (1) San Bernardino County Health Department (plan approval/permit issuance Clearance)
- (1) San Bernardino municipal water department - environmental control section (plan approval/permit issuance Clearance)

2. All structures shall be designed in accordance with the current version of the California Building Codes at the time of submittal (Currently the 2022 codes), including the California Green Building Standards Code. Design all structures to Risk Category II at exposure "C" (ASCE7-22), and Energy Climate Zone 10.
3. All onsite utilities are to be underground. As approved by the Planning Division, utility cabinets and transformers are exempt.
4. All construction projects shall comply with the NPDES Stormwater Best Management Program. Prior to building permit issuance submit a copy of the Water Quality Management Program Report. (WQMP)
5. All deferred plan items & required deputy inspections are to be identified on the plans cover sheet.
6. Site development and grading shall be designed to provide access to all entrances and exterior ground floor exits and access to normal paths of travel. The accessible route(s) of travel shall be the most practical direct route from each site arrival point.
7. All dead and removed trees and foliage is to be properly removed from the site.
8. The City enforces the State of California provisions of the California Building Code disabled access requirements. The Federal Americans with Disabilities Act (ADA) standards may differ in some cases from the California State requirements; therefore, it is the building owner's responsibility to be aware of those differences and comply accordingly.
9. All construction materials, which are not used, shall be recycled pursuant to the requirements set forth by Ordinance No. 269. Receipts from the recycle company responsible for picking up the materials shall be kept in the construction office. After the construction is complete and before final occupancy, the trash receipts shall be forwarded to the City Public Services division.
 - a. Prior to Permit issuance – The permit holder shall register a project Construction & Demolition Debris Program application for self-haul or contract services through the City's Franchise hauler.
10. The building is to be connected to the public sewer system, when provided.
 - a. When the public system is not available, an onsite septic system is to be installed. Please provide Building Staff with a will-not/sewer not available letter from EVWD and an approved septic system design from the Santa Ana Regional Water Quality Control Board (please contact Susan Beeson at (951) 782-4902). An approved design with percolation test will be required to be submitted to Building & Safety for separate review and permitting prior to issuance of a building Permit.

11. Prior to building permit issuance - submit copy of the San Bernardino municipal water department (SBMWD) - environmental control section approval to the Building & Safety staff. Discharges into the sewer collection system and POTW could potentially introduce hazardous or undesired matter into the sewage infrastructure.
 - a. For additional information, please contact a member of the EC Section staff at (909) 453-6250. Thank you for your cooperation.
12. Prior to the issuance of Building Permits, site-grading certifications, compaction reports, and survey report shall be submitted to Building and Safety or to Public Works, as applicable.
13. Prior to the issuance of Building Permits, on site water service shall be installed and approved by the responsible agency. On site fire hydrants shall be approved by the Fire Department. No flammable materials will be allowed on the site until the fire hydrants are established and approved. No flammable construction materials shall be placed on the site without approvals by the Fire Department. All street and access roadways around the project shall be paved for emergency response vehicles before flammable materials are placed on the project. Fire flow tests shall be obtained by East Valley Water District.
14. Prior to the issuance of Building Permits, construction projects requiring fire permits must apply and submit fire plans prior to the issuance of the building permit, including fire sprinkler submittals.
15. Prior to the issuance of Building Permits, provide a receipt from the appropriate Unified School District stating that all school fees have been paid.
(Redlands Unified School Districts)
16. Construction projects, requiring temporary electrical power, shall obtain an electrical permit from Building and Safety. No temporary electrical power will be granted to a project unless the following item is in place and approved by Building and Safety and the Planning Division.
 - a. Installation of a construction trailer through the "Temporary Occupancy Permit", alternatively, a security fenced area where the electrical power will be located. Installation of construction/sales trailers must be located on private property. No trailers can be located in the street unless a permit from the Engineering Department is obtained.
17. A security fence with screening shall protect all construction sites. The fencing and screening shall be maintained at all times to protect pedestrians. All development projects shall submit a construction fencing plan with the construction design plans. Construction projects that have phased occupancy shall be completely separated by

a construction fence that is screened and show the adjusted fence locations at each phase.

18. On site toilet facilities shall be provided for construction workers and such facilities shall be maintained in a sanitary condition. Construction toilet facilities of the non-sewer type shall conform to ANSI ZA.3 and on site per NPDES stormwater requirements.
19. Construction activities shall not commence prior to 7:00 a.m. and shall terminate no later than 7:00 p.m. Monday through Saturday with no construction activities preformed during city or Federal Holidays. (Ordinance 420 HMC) unless restricted further by environmental review mitigation.
20. Building and Safety inspection requests must be made by 4:00 pm. on the previous City working day to receive a next business day inspection. Please contact (909) 864-6861, Ext 228.
21. The Developer/Owner is responsible for the coordination of the final occupancy. The Developer/Owner shall request clearances from each department and/or applicable agency at least two weeks prior to requesting a final building inspection from Building and Safety. Each agency shall sign the back of the Building and Safety Job Card, or provide agency approved signed documentation, and provide a copy of the signatures to Building and Safety at the time the final inspection is requested.
22. Prior to final inspection, provide Building & Safety with a flash disk of the approved plans and documents.
23. Building and Safety does not release all meters until final approvals are obtained from all agencies and departments. Commercial and industrial projects, see Policy 295.
24. The Developer/Owner is responsible for the coordination of releasing any Deferral of Development Impact Fees or Bonds after such fees have been paid. The Developer/Owner should be aware, once the deferral notice is sent to the San Bernardino County Recorder's Office; the release process takes two to three weeks. This process will delay final Certificates of Occupancy.



CITY OF HIGHLAND
27215 Base Line, Highland, CA 92346
Community Development Department
Planning Division

Phone: (909) 864-8732
Fax: (909) 862-3180

AGENCY COMMENT SHEET

Contact: Travis Trejo

Request for Comments: November 27, 2023

Comments Due: December 12, 2023

The following application has been filed with the Planning Division. Please review the attached information and return this sheet with your comments and/or conditions.

PROJECT: Design Review Application (DRA 23-015)
APPLICANT: OHB 2021, LLC
DESCRIPTION: Construction of a 2,350 sq ft quick service restaurant with double lane drive thru and 580 sq ft patio dining
LOCATION: 27864 Greenspot Rd. North of Greenspot Rd. Pad 3 of TREH Commercial Development
APN: 1201-331-01

THE FOLLOWING COMMENTS AND/OR CONDITIONS APPLY TO THE ABOVE REFERENCED PROJECT (Comments may be attached):

Plan indicates Major 1 + 2 + pad 3
Do NOT HAVE ^{CO} ~~SP~~ TACH ENCLOSURES, build
ENCLOSURES TO STANDARD.


SIGNATURE

Public Services
DEPARTMENT

12/15/23
DATE



CITY OF HIGHLAND
27215 Base Line, Highland, CA 92346
Community Development Department
Planning Division

Phone: (909) 864-8732
Fax: (909) 862-3180

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THE FOLLOWING COMMENTS AND/OR CONDITIONS APPLY TO THE ABOVE REFERENCED PROJECT (Comments may be attached):

Please see attached conditions.

Fire flow required at BTS submittal.

[Signature]
SIGNATURE

Fire Prevention
DEPARTMENT

12/28/23
DATE



City of Highland, **FIRE PREVENTION DIVISION**, Conditions of Approval.

DATE : 12/28/2023

Page 1 of 6

APPLICANT : OHB 2021, LLC

ADDRESS : 27864 Greenspot Road

SITE LOCATION: 1201-331-01

FILE / INDEX No.: DRA 23-015

A tiered level of mitigation options has been developed and listed below are the systems and/or modifications required for your project. Compliance of the following items are a condition of **FINAL OCCUPANCY APPROVAL**. These conditions are required as acceptable solutions to the adverse fire conditions impacting firefighting and emergency operations accompanying the site/area. They will either assist in detection and extinguishment of the fire and/or facilitate the anticipated emergency operations.

This project is protected by the City of Highland Fire Department / Cal-Fire / California Department of Forestry and Fire Protection. Prior to any construction occurring on any parcel, the applicant shall contact the city of highland fire marshal office for verification of current fire protection development requirements. All new construction shall comply with the currently adopted California Fire Code and all applicable statutes, appendices, codes, ordinances, standards and policies of the City of Highland Fire Department/ Fire Prevention Division / Cal-Fire / California Department of Forestry and Fire Protection.

Fire Department Review of all projects is required.

ALL CONSTRUCTION (New and renovations to existing) SHALL COMPLY WITH THE CALIFORNIA FIRE CODE Along with amendments as adopted within the Highland Municipal Code (Ord. #411).

Note: All weather access roads (CFC) and fire hydrant/water system installations shall be in place, inspected and approved, **PRIOR** to combustible material being brought on site.

Note: The City of Highland has 2 areas within the '**FIRE SAFETY OVERLAY DISTRICT**' designated as **FR-1** and **FR-2**. Both areas may border or overlap areas identified by the State/CalFire as '**High Fire Severity Zone**' or '**Very High Fire Severity Zone**'. See **HMC** for construction requirements.

GENERAL.

1. **HF3:** A fuel break of one hundred (100) feet (brush and weed clearance) is required prior to construction. The clearance shall be maintained on a year-round basis. **CFC & HMC**
2. **HF31:** Approved fire hydrant pavement markers (blue dots) shall be installed at every hydrant.
3. **HF51:** The main electrical panel and all sub-panel(s) shall be labeled on inside cover for all circuits. **CEC**
4. **HF52:** Water heater (fuel fired), shall be properly vented to exterior of structure. Water heater shall be seismic strapped to wall and be located 18" above a garage floor. **CBC**
5. **HF55:** Commercial exit requirements:
 - A. Required exit doors shall be maintained in an operable condition at all times
 - B. Required exit doors shall swing outward and away in the direction of exit travel.
 - C. Obstructions shall not be placed in the required width of an exit. Exits shall not be blocked or locked shut or obstructed in any manner during business hours.
 - D. Exit paths shall be illuminated when structure is occupied.
 - E. Exit path illumination shall be supplied from two (2) sources of power when occupant load is one hundred (100) persons or more.
 - F. When exit way/exit pathway and/or exit doorway is not easily identified, additional exit signs shall be installed.
6. Exit signs shall be internally or externally illuminated by two lamps or shall be of the self-luminous type. **CFC; CBC**
7. **HF65:** Additional plans for access, fire safety systems, fire lanes and signage, gates, storage, or other special conditions may be requested for review, conditioning and approval by the fire marshal.

ACCESS:

8. **HF7:** Fire department **access** roads shall meet the fire dept. minimum unobstructed width of twenty (20) feet. (twenty-six (26) feet within FR-1&2 zones). **This standard shall not lessen other agency requirements.** Access roads shall be paved (asphalt/concrete) and in place **prior** to delivery of combustible building materials on site. Roads shall be designed and constructed to meet adopted city standards. **CFC**

9. **HF8:** All access roads, public, private streets and residential driveways shall maintain a minimum vertical clearance of thirteen (13) feet-six (6) inches. **CFC**
10. **HF10:** Driveways exceeding 150 feet shall have a fire department approved turn-around at the terminus. **CFC / APPENDIX D**
11. **HF12:** Fire department access roadway(s); public/private street(s) and driveways shall not exceed 12% grade. **CBC / APPENDIX D, HMC**
12. **HF13:** Fire department access roadway(s); shall extend to within one hundred fifty (150) feet of and shall give reasonable access to all portions of the exterior walls of the first story of any building.
An access road, approved by the fire dept., shall be provided to within fifty (50) feet of all structures when the natural grade between access road and structure is in excess of 30%.
Where an approved access road cannot be provided, a fire protection system shall be required and approved by the fire department. **CFC**
13. **HF15:** "Phased" projects may be required to provide a minimum of two (2) remote points of approved access during construction. A secondary access, for fire and other emergency equipment and for routes of escape, which will safely handle evacuations. **CFC - APPENDIX D**
14. **HF19:** Manually operated gates across fire department access roadways, public and/or private streets and driveways, shall be equipped with approved emergency key-operated "**KNOX**" padlock or box containing key to open the private lock. For automatic gates, a "**KNOX**" emergency access switch, shall be installed, at location determined by fire department, and shall over-ride all command functions and open gate automatically upon activation. All automatic gates shall have a manual over-ride for use during loss of electric power. "**KNOX BOX**" request form is available from the fire marshal or may be ordered directly from www.knoxbox.com (specify City of Highland, CA) **CFC – Appendix D Note: The city of Highland also requires an electronic "H" key system (Ord. #320) for multi-family, gated communities or secured storage facilities. HMC**
15. **HF24:** "NO PARKING – FIRE LANE" signs shall be posted at locations designated by fire marshal. Fire lane curbs shall be painted red, with white letters stating, "NO PARKING – FIRE LANE" on top, not face. **CFC - APPENDIX D**
16. **HF54:** commercial and industrial structures-occupancies and gated complexes shall have a "**KNOX BOX**" system installed on the exterior of the building(s) or complex. location of device to be determined by the fire department. The box shall contain keys necessary to gain access and may contain pre-plans and MSDS information as required by the fire department. New and existing multi-tenant commercial buildings shall provide a 'KNOX' box large enough to contain keys to

access each individual tenant space. Installation location(s) to be determined by the fire marshal. The box shall contain clearly marked keys to each tenant space or other areas as determined by the fire marshal. **CFC**

17. **HF66:** Aerial fire apparatus access roads. **Where required:** buildings or facilities **exceeding 30-feet** in height above the lowest level of fire dept. Vehicle access shall be provided access roads capable of accommodating aerial apparatus. **Width:** aerial apparatus access roads shall provide a minimum unobstructed width of **26-feet** in the immediate vicinity of any building exceeding 30-feet in height. **Proximity to buildings:** aerial apparatus access roads shall be located a minimum of 15-feet to a maximum of 30-feet from the building, and shall be positioned parallel to one entire side of the structure, as approved by the fire code official. **CFC APPENDIX D**

WATER:

18. **HF25:** Minimum required fire flow, as determined by i.s.o. formula, is as follows:
COMMERCIAL; GPM = 3000; at 20 psi residual; for 3 hour duration.
System shall be looped with minimum eight (8) inch mains; six (6) inch laterals, six (6) inch risers; six (6) inch dia. Hydrants with two 2 ½" outlet(s) and one 4" outlet.
CFC APPENDIX B AND C

Note: Hydrants shall meet EVWD standards.

19. **HF29:** Fire hydrant spacing shall be:
Commercial retail: 300 FEET
CFC / APPENDIX B AND C.

Note: Existing fire hydrants (off-site) can be included if they meet spacing requirements. Hydrants shall not be located at the 'bulb' end of cul-de-sacs.

20. **HF26:** Two sets of water delivery system plans, designed to meet the required fire flow for this project and/or development, shall be submitted to the fire department for review and approval. **CFC**
21. **HF27:** Applicant-developer shall provide a letter from the water company serving the project-development, verifying financial arrangements have been made and bonded for the required water improvements. **CFC**
22. **HF28:** Fire hydrants shall be installed, inspected and operational as per approved water system delivery plans **prior** to any framing, construction or delivery of combustible materials to project site. **CFC / CFC**
23. **HF30:** Private, on site fire hydrant(s) – yard hydrant(s)- capable of supplying required fire flow shall be installed at location(s) identified by the fire department. System shall be looped with minimum eight (8) inch mains; six (6) inch laterals, six

(6) inch risers; six (6) inch dia. hydrants with one 2 ½" outlet and one 4" outlet.
CFC / APPENDIX B AND C

24. **HF32:** A temporary water storage and delivery system for use during grading and foundation work (no combustible material), meeting fire dept. Fire flow requirements shall be installed prior to framing construction or delivery of combustible materials to project site. **CFC; NFPA – 1142**

ADDRESSING – IDENTIFICATION:

25. **HF21:** **Commercial and multi-family residential** address numbers shall be displayed on all **new and existing** structures in such a manner as to be plainly visible and legible from the access roadway or street. Numerals shall be of a contrasting color to the building and electrically illuminated.

Minimum size of the numerals shall be **8" height, 3/4" stroke**, or as approved by the fire marshal.

Industrial occupancies shall have address numbers of 12" height, 1" stroke and shall be electrically illuminated so as to be visible and legible from access roadway or street.

Note: Depending on height and setback of a building, larger numerals may be required and at additional locations on the building, as determined by a case-by-case review.

HMC

26. **HF22:** Commercial-retail structures with rear access shall display address numbers on rear entry doorways, **4" in height, 1/2" stroke**, on contrasting background. **CFC**

FIRE PROTECTION & ALARM SYSTEMS:

27. **HF39:** An automatic fixed fire extinguishing system (**UL-300**) shall be installed in the hood and duct system of commercial cooking equipment. **Three (3) sets** of shop plans with material cut sheets and calculations shall be submitted to fire department for review and approval prior to installation. **CFC**

28. **HF41:** A minimum of one 2A-10BC fire extinguisher shall be installed for each 3,000 sq.ft. of floor area. Travel distance to any one fire extinguisher shall not exceed 75 feet. Additional fire extinguishers, size and class to be determined by fire department, may be required. Fire extinguishers shall be serviced bi-annually and shall have a current State Fire Marshall service tag attached. Fire extinguishers are to be serviced every two years and inspected & tagged every year. **CFC; NFPA**

29. **HF42:** A 40BC (K-Type) fire extinguisher shall be installed within 30 feet of commercial food heat-processing equipment. Fire extinguishers shall be serviced

annually and shall have a current SFM service tag attached. Fire extinguishers are to be serviced every two years and inspected & tagged every year.

CFC; T-19

30. **HF60:** California Fire Code, **FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION**, shall apply to this project. it is the responsibility of the project manager to meet with the fire marshal to discuss requirements specific to this project.
31. **HF61: TENANT IMPROVEMENT.** Review the 'tenant improvement information' handout. If any of the items listed apply to this project, they must be included in the 'fire department notes' section on the plan.
32. **HF62:** Additional plans for access, fire safety systems, storage or other special condition may be requested for review, conditioning and approval by the fire marshal.
33. **HF63:** Submit to fire marshal's office: **one copy** of building and/or structure plans for fire department review.
34. **HF64:** Spray booths, spray finishing operations shall comply with requirements of California Fire Code
35. **CO2 Detection System** required for per CFC 5307.3.2 for Beverage Dispensing Applications. **CFC**

Craig Sanchez, Fire Marshal
City of Highland Fire Prevention
(909) 864-8732 x 248



CITY OF HIGHLAND
27215 Base Line, Highland, CA 92346
Community Development Department
Planning Division

Phone: (909) 864-8732
Fax: (909) 862-3180

AGENCY COMMENT SHEET

Contact: Travis Trejo

Request for Comments: November 27, 2023

Comments Due: December 12, 2023

The following application has been filed with the Planning Division. Please review the attached information and return this sheet with your comments and/or conditions.

PROJECT: Design Review Application (DRA 23-015)
APPLICANT: OHB 2021, LLC
DESCRIPTION: Construction of a 2,350 sq ft quick service restaurant with double lane drive thru and 580 sq ft patio dining
LOCATION: 27864 Greenspot Rd. North of Greenspot Rd. Pad 3 of TREH Commercial Development
APN: 1201-331-01

THE FOLLOWING COMMENTS AND/OR CONDITIONS APPLY TO THE ABOVE REFERENCED PROJECT (Comments may be attached):

NO COMMENTS

[Signature]
SIGNATURE

ENGINEERING
DEPARTMENT

1/2/2024
DATE

**Attachment 1: Resolution No. 2024-_____ for
Design Review Application (DRA 23-015)**

RESOLUTION NO. 2024-__

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HIGHLAND, CALIFORNIA, APPROVING DESIGN REVIEW APPLICATION (DRA 23-015) FOR THE SITE PLAN, LANDSCAPE PLAN, BUILDING ELEVATIONS, AND CONCEPTUAL GRADING PLAN PERTAINING TO THE CONSTRUCTION OF A 2,350 SQUARE FEET QUICK SERVICE RESTAURANT WITH DRIVE THROUGH AND 580 SQUARE FEET PATIO DINING.

ASSESSOR'S PARCEL NUMBER: 1201-331-09

OWNER / APPLICANT: OHB 2021, LLC DBA Ono Hawaiian BBQ

A. RECITALS

1. On November 16, 2023, the Applicant submitted an application for Design Review Application (DRA 23-015) for the construction of a 2,350 sq ft quick service restaurant with double lane drive thru and 580 sq ft patio dining.
2. The site is located within Planning Area 1 of the Greenspot Village and Marketplace Specific Plan on an approximately 20.37 acre site on the north side of Greenspot Road. The lease area, Pad 3 of Greenspot Crossing, is approximately 25,000 sq ft. Assessor's Parcel Number(s): 1201-331-09
3. On February 6, 2024, the Planning Commission of the City of Highland conducted a public hearing on the subject Application and concluded the hearing on that date.
4. The City Council certified an Environmental Impact Report (EIR) and supplemental EIR for Greenspot Village and Marketplace Specific Plan and adopted a Mitigation and Monitoring Reporting Plan (MMRP) that will be applied to this project. Pursuant to CEQA, project is Exempt from further environmental proceedings of the California Environmental Quality Act (CEQA) Guidelines.
5. All legal prerequisites to the adoption of this Resolution have occurred.

B. RESOLUTION

NOW THEREFORE, it is hereby found, determined and resolved by the Planning Commission of the City of Highland as follows:

1. The Planning Commission finds that all of the facts set forth in the Recitals, Part "A" of this Resolution, are true and correct.

2. The City of Highland Planning Commission after due consideration, inspection, investigation and study made by itself and on its behalf, and after due consideration of all evidence and reports offered at said hearing, including the staff report to the Planning Commission dated February 6, 2024, which is incorporated herein by this reference, does find and determine the following facts:

- a. All necessary public meetings and opportunities for public testimony and comment have been conducted in compliance with State Law and the Municipal Code of the City of Highland.

3. Findings of Fact Design Review Application (DRA 23-015):

- a. That the proposed project is consistent with the general plan or specific plan.

Response: The project is located within and is consistent with the Greenspot Village & Marketplace Specific Plan (SPR 06-001) Planning Area 1. The Specific Plan was developed based on important guiding principles set forth in the Highland General Plan and is in compliance with provisions of the General Plan.

The proposal for this restaurant facility is an appropriate use and described in the Specific Plan as part of the vision for the Greenspot Village and Marketplace. The new restaurant provides the community with a necessary service. The exterior elevations, site circulation, and onsite landscaping are consistent with the specific plan and the project's development plans are consistent with the development policies of the City.

- b. That the proposed use is in accordance with the objectives of this title, and the purposes of the land use district in which the site is located.

Response: The site is located within the Greenspot Village & Marketplace Specific Plan (SPR 06-001) Planning Area 1. The Specific Plan Document established for this site implements its own set of development standards. Per section 5.3 of the Specific Plan, Fast-Food/Drive through restaurants are a permitted use within the Specific Plan zone.

- c. That the proposed use is in compliance with city design and landscape standards and criteria.

Response: The proposed development is for a quick service restaurant with a double lane drive thru and patio dining. The exterior adopts the agrarian style set forth in the Specific Plan by using stucco with stone brick base in neutral colors.

The Conceptual Landscape Plan is compliant with the City's water efficient landscape requirements, per Section 16.40.390 of the Highland Municipal Code. Alongside the landscaping for the pad, the center will also incorporate their master landscape plans to ensure cohesion. A licensed landscape architect prepared the project plans, the plant selection, and the grouping of plants with similar water needs. The plants were selected appropriately based on their adaptability to the conditions of the site; no new turf is proposed; and invasive species were avoided to ensuring that the environmentally sensitive areas in the open space to the south will not be negatively affected.

- d. That the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare or will not be materially injurious to properties or improvements in the vicinity of the site.

Response: The restaurant and drive thru will be in compliance with Municipal, Fire & Building codes. Each public safety division of the City has reviewed the project and provided relevant Conditions of Approval that will be adopted by resolution. All project related public utilities and services will be in place. There is no indication that the project would be detrimental to the public health, safety or welfare, or materially injurious to properties and improvement in the vicinity.

- 4. Based on the Findings of Fact set forth above, the Planning Commission approves Design Review Application (DRA 23-015) proposing the construction of a 2,350 square feet quick service restaurant with drive thru and 580 square feet patio dining on a 20.37 acre parcel at the north side of Greenspot Road.

C. ADOPTION OF RESOLUTION.

The City Clerk shall certify to the adoption of this Resolution and shall cause the same to be published or posted in the manner prescribed by law.

Exhibit 1 includes the Site Plan

Exhibit 2 includes Landscape Plan

Exhibit 3 includes Building Elevations

Exhibit 4 includes Grading Plan

Exhibit 5 includes the Conditions of Approval for DRA 23-015

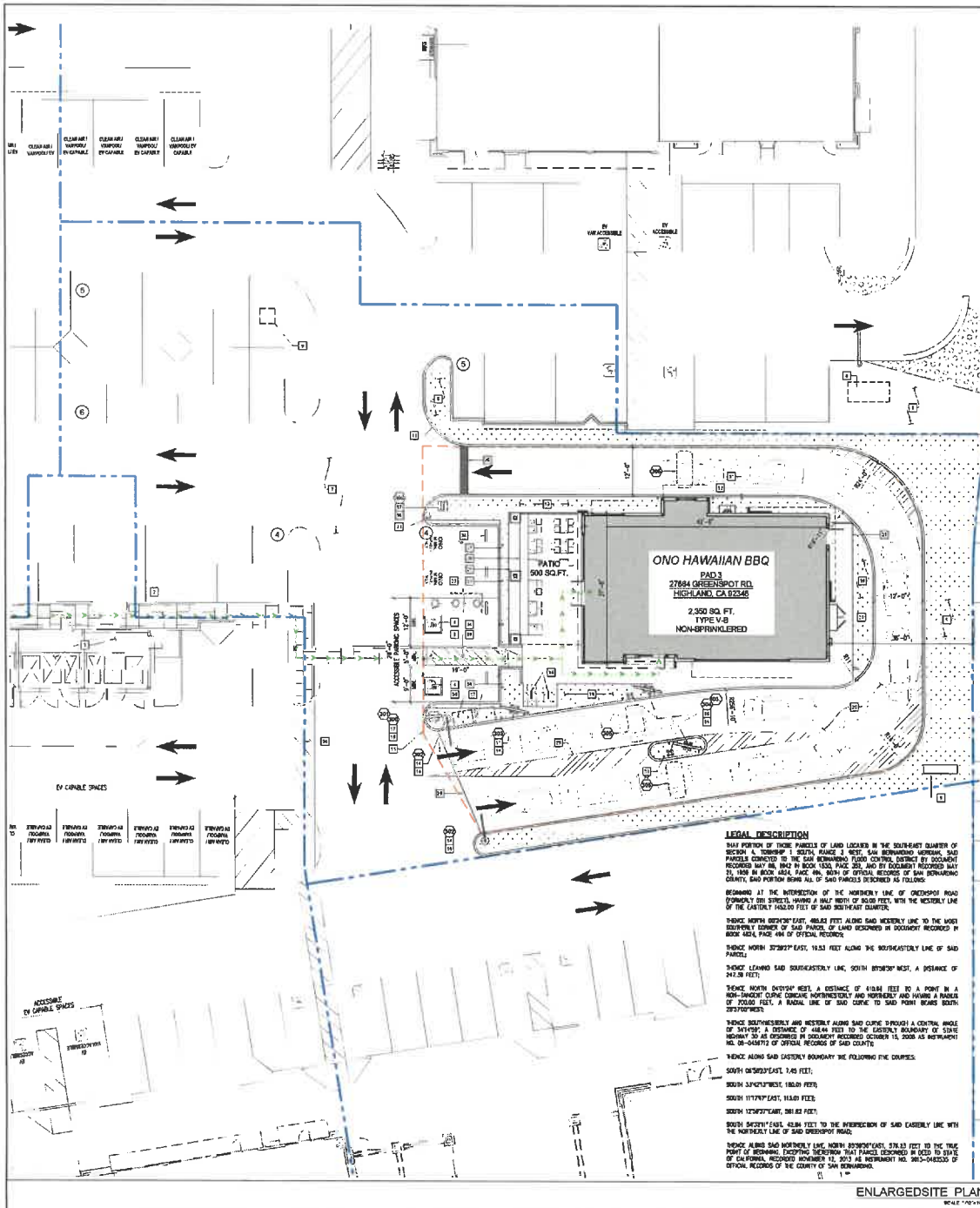
PASSED, APPROVED, and ADOPTED this 6th day of February, 2024.

ATTEST:

Randall Hamerly, Chairman
Planning Commission

Lawrence A. Mainez
Community Development Director

Exhibit 1: Site Plan



SITE PLAN KEY NOTES

- EXISTING CENTRAL TRASH ENCLOSURE LOCATION, NOT A PART
- ACCESSIBLE PATH OF TRAVEL FROM PUBLIC SIDE WALK RUNNING SLOPE, 2% MAX. CROSS SLOPE.
- ACCESSIBLE PATH OF TRAVEL FROM ACCESSIBLE PARKING, 5% MAX. RUNNING SLOPE, 2% MAX. CROSS SLOPE.
- INTERNATIONAL SYMBOL OF ACCESSIBILITY SEE DETAIL 7/2-107
- EXISTING LANDSCAPE/TREES TO REMAIN, NOT A PART
- EXISTING SIDEWALK TO REMAIN, NOT A PART
- EXISTING ASPHALT PAVING TO REMAIN, NOT A PART
- EXISTING TRANSFORMER/Pole 8-12 (NOT A PART)
- EXISTING SIGN, NOT A PART
- NEW WATER METER LOCATION, SEE CIVIL/PLUMBING PLANS
- EXISTING CURB TO REMAIN, NOT A PART
- GAS METER/REGULATOR
- DRIVE-THRU PRE-MENU BOARD - UNDER SEPARATE PERMIT
- DRIVE-THRU CLEARANCE BAR
- DRIVE-THRU MENU BOARD, SPEAKER BOX - UNDER SEPARATE PERMIT
- DRIVE-THRU ELEMENTS FOOTING, SEE DETAIL 4/5-104
- DRIVE-THRU DIRECTIONAL SIGN - UNDER SEPARATE PERMIT
- DETECTABLE WARNING SYSTEM, 3/4" MAX. ALONG VEHICULAR CROSSINGS.
- LANDSCAPE & IRRIGATION BY G.C. - SEE LANDSCAPE PLANS
- REINFORCED VEHICLE-RATED CONCRETE, SEE CIVIL PLANS
- 5'-6" METAL/SCREEN
- 1000 GALLON OVERFLOW INTERCEPTOR W/ SAMPLE BOX (TRAFFIC RATED)
- ELECTRICAL CABINET
- CONCRETE WHEELSTOP
- PATIO STRUCTURE OUTLINE ABOVE
- CONSTRUCTION JOINT
- TWO 15'x14' PARKING ONLY SIGN, BY G.C.
- PAVEMENT STRIPING
- PATIO METAL FENCE
- ON-LEAD LINE
- ACCESSIBLE PARKING TOW-AWAY SIGN, SEE 5/5-107
- ACCESSIBLE ENTRANCE DIRECTIONAL SIGN, SEE 20/5-107
- 4" MIN. FOUR-IN-PLACE BOLLARD IN SAFETY YELLOW COLOR
- INSTALL ACCESSIBLE PARKING SIGN, SEE 3/5-107
- SHORT TERM BIKE RACK, MAGLON SC 1600 SERIES BIKE RACK (BLACK)
- EXISTING 3'x5' PULL BOX (CABLE VERIFY IN FIELD (NOT A PART)
- EXISTING 3'x5' PULL BOX (TOLL, VERIFY IN FIELD (NOT A PART)

PARKING REQUIREMENT

OVERALL SITE PARKING

REQ'D:	PAD 2 (A & B)	37	
	PAD 3 (B & C)	19	*PREVIOUSLY 24
	PAD 4	21	
	PAD 5 (A & B)	48	
PROVIDED:	125 SPACES		*PREVIOUSLY 130
	137 SPACES		

ONO HAWAIIAN BBQ (2,350 SF)

REQ'D: 1/75 SF (INDOOR/OUTDOOR DINING AREAS-GROSS)
715 + 500 = 1,215 SF / 75
= 16.2 = 17 SPACES

PROVIDED: 24 SPACES (TOTAL MINIMUM LEASE LINE)

REGULAR STALLS

PROVIDED: 8 SPACES (8'-0" x 15'-0")

ADA STALLS

REQ'D: 1-25 SPACES = 1

PROVIDED: 2 SPACES

(1) VAN (12'-0" x 15'-0")
(1) STD (9'-0" x 18'-0")

EV CAPABLE SPACES (TABLE 5.105.3.1.1)

REQ'D: 17 (OVERALL SITE)

PROVIDED: 17 SPACES (9'-0" x 15'-0")

EV CAPABLE SPACES WITH EVSE

REQ'D: 4 SPACES (OVERALL SITE)

PROVIDED: 4 SPACES

EVSE (ACCESSIBLE SPACES) (TABLE 11B-1206.3.2.1)

REQ'D: 1-4 SPACES =

1 VAN ACCESSIBLE/2 STANDARD ACCESSIBLE
PROVIDED: 1 VAN ACCESSIBLE/2 STANDARD ACCESSIBLE
(12'-0" x 15'-0")

BIKE RACKS (SHORT TERM)

REQ'D: 2 (MIN.)

PROVIDED: 4

DRIVE-THRU ELEMENTS

ITEM #	REMARKS	POWER	DATA	DATA	DATA	EQUIPMENT
			PROVIDED BY	INSTALLED BY		
300	UNDER SEPARATE PERMIT	YES	NO	NO	NO	DR. DIRECTIONAL SIGN
301	UNDER SEPARATE PERMIT	YES	NO	NO	NO	DR. SIGNAGE
302	UNDER SEPARATE PERMIT	YES	NO	NO	NO	DR. CLEARANCE BAR
303	UNDER SEPARATE PERMIT	YES	NO	NO	NO	DR. PRE-MENU BOARD
304	UNDER SEPARATE PERMIT	YES	NO	NO	NO	DR. MENU BOARD
305	UNDER SEPARATE PERMIT	YES	NO	NO	NO	DR. SPEAKER BOX
306	UNDER SEPARATE PERMIT	YES	NO	NO	NO	DR. SIGNAGE
307	UNDER SEPARATE PERMIT	YES	NO	NO	NO	DR. SIGNAGE

LEGEND: SC = SIGN CONTRACTOR, DC = CONCRETE CONTRACTOR, SW = OWNER

NOTE: NO. 10 METAL FENCING AND REQUIRED CONCRETE OF POWER FOR SITE ELEMENTS SHOWN. CONTRACTOR SHALL SUBMIT TO OWNER FOR REVIEW AND APPROVAL OF ALL EXTERIOR SIGNAGE.

SITE PLAN LEGEND

- ONOLIMITS OF CONSTRUCTION
- PARCEL/LEASE LINE
- ACCESSIBLE PATH OF TRAVEL

REFER TO CIVIL & LANDSCAPE PLANS FOR SITE WORKS

VICINITY MAP

PROJECT INFORMATION

APN: 1001-331-00
ZONING: GREENSPOT SPECIFIC PLAN
LEASE AREA: PARCEL 3 = 125,275 S.F.
CONSTRUCTION AREA: LIMITS = 10,900 S.F.
BUILDING AREA: = 2,350 S.F.
TOTAL NO. OF FLOOR: 1 STORY
ALLOWABLE HEIGHT: 40'-0"
BUILDING HEIGHT: 29'-0"

PROJECT DESCRIPTION: PROPOSED QUICK-SERVE RESTAURANT WITH DOUBLE LANE DRIVE-THROUGH

PROJECT DIRECTORY

PROPERTY OWNER	TENANT / APPLICANT
TRIO PARTNERS, L.L.C. 4 CORPORATE PLAZA, SUITE 210 NORFOLK BEACH, CA 92445 (949) 831-6520	ONO HAWAIIAN BBQ 2100 COPLEY DRIVE, SUITE 320 DANFORTH, CA 91765 CONTACT: KEVIN LAM (909) 564-3368
ARCHITECT: GWA ARCHITECTURE, INC. 1000 CORPORATE CENTER DR. #300 MONTREY PARK, CA 91754 CONTACT: JUDITH BRANES (626) 288-0588	CIVIL ENGINEER: DRC ENGINEERING, INC. 160 S. OLD SPRING RD. SUITE 210 MONTREY PARK, CA 91754 CONTACT: REBE VARGA (714) 885-8880 x337

UTILITIES

WATER & SEWER:
EAST VALLEY WATER DISTRICT
31111 GREENSPOT RD.
HIGHLAND, CA 92345
(909) 886-8998

GAS:
SCL GAS COMPANY
1134 N. M. L. VERNON AVE. #305
SAN BERNARDINO, CA 92411
(800) 427-720

TELEPHONE:
SOUTHERN CALIFORNIA EDISON
9 S. 4TH ST.
RELAND, CA 92373
(865) 295-792

ELECTRIC:
SOUTHERN CALIFORNIA EDISON
298 KANSAS ST.
RELAND, CA 92373
(951) 249-6301

CABLE TV:
THE WARNER CABLE
7337 CENTRAL AVE.
RIVERSIDE, CA 92504
(833) 287-6997

SCHOOL DISTRICT:
RELANDS UNITED SCHOOL DISTRICT
20 N. LUCOMA AVE.
RELAND, CA 92374
(909) 307-5300

KEY MAP

Ono Hawaiian BBQ

2784 GREENSPOT RD.
HIGHLAND, CA 92346
(909) 886-8998

ARCHITECT: GWA ARCHITECTURE

STAMP

PROJECT NAME/ADDRESS: ONO HAWAIIAN BBQ, 2784 GREENSPOT RD., HIGHLAND, CA 92346 (PAD 3)

REVISION / ISSUE DATE

JOB NUMBER: ARCH PROJECT # 24-123, STORE# ONO-085

DRAWN BY: CHECKED BY:

SHEET CONTENT

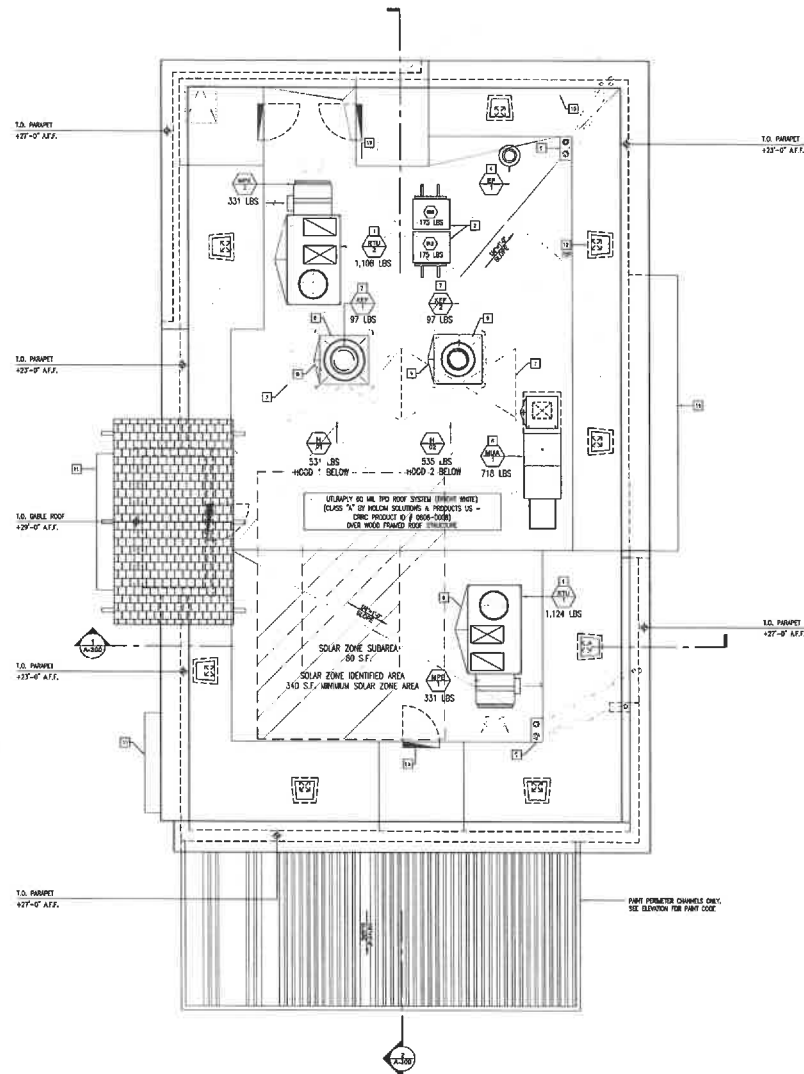
ENLARGED SITE PLAN

SHEET NO. A-000



N	TOTAL NO. OF REQ'D ADA SEATS (INDOOR) = 3	(PATIO) = 2
	TOTAL NO. OF PROVIDED ADA SEATS = 5	

A-100



ROOF PLAN LEGEND

- WALL / STRUCTURE BELOW
- DESIGNATED AREA FOR FUTURE SOLAR EQUIPMENT. 15% OF TOTAL ROOF AREA

GENERAL NOTES

- SEE ALL DRAWINGS FOR ADDITIONAL NOTES AND SPECIFICATIONS.
- GENERAL CONTRACTOR MUST PROVIDE ALL REQUIRED PROTECTION TO ALL SURROUNDING AREAS THROUGHOUT COURSE OF CONSTRUCTION.
- GENERAL CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. GENERAL CONTRACTOR TO INFORM ADR WITH ANY DISCREPANCY ON PLAN VERSUS ACTUAL SITE CONDITION.
- CONTRACTOR SHALL VERIFY THAT ALL ROOF AREAS ARE PROVIDED FOR POSITIVE DRAINAGE TO ROOF DRAINS PRIOR TO SHEATHING ROOF.
- CONTRACTOR SHALL PROVIDE CROCKET WHERE IT IS REQUIRED FOR PROVIDING POSITIVE DRAINAGE AT HIGH SIDE OF CURBED ROOF OPENING, PLATFORMS, ACROSS WALLS, DOWNING, ETC.
- ALL ROOF HEIGHTS ARE REFERENCED FROM FINISH FLOOR ELEVATION 0'-0".
- FOR BUILDING AND PARAPET HEIGHT VERTICAL ELEVATIONS, REFER TO EXTERIOR ELEVATIONS: A-200 & 201.
- PROVIDE ROUND PENETRATIONS THROUGH ROOF. THE USE OF CHANNELS, ANGLES, OR UN-STRUTS THROUGH THE ROOF ALONE OR WITH PITCH PICKETS IS NOT ALLOWED.
- DO NOT PENETRATE ROOFING WITHIN 18" OF VALLEYS/CROCKETS.
- VERIFY ALL REQUIRED ROOF TOP EQUIPMENT CURBS AND SUPPORT DIMENSIONS PRIOR TO FINISHING OF ROOF SUPPORTS, OPENINGS AND CURBS FABRICATION AND INSTALLATION.
- TERMINATE OVERFLOW DRAIN AT EXTERIOR WALL AT 18" ABOVE ADJACENT EXTERIOR FINISH GRADE.
- ROOF DRAIN PIPES AND FITTING ARE TO BE CONCEALED WITHIN BUILDING CONSTRUCTION.
- DO NOT GROUP OR BUNDLE DECK PENETRATIONS, MAINTAIN 6 INCHES CLEAR MINIMUM AROUND PENETRATIONS.
- CONTRACTOR SHALL PROVIDE A COMPLETE SINGLE RLY ROOFING SYSTEM FOR FLAT ROOF AREA INCLUDING, BUT NOT LIMITED TO, FLASHINGS, DOWNS, ETC.
- ALL HVAC UNITS SHALL BE PLACED ON FACTORY ROOF CURBS.

ROOF PLAN KEY NOTES

- ROOF TOP UNITS. SEE MECHANICAL PLANS
- WALK-IN COOLER/FREEZER REMOTE CONDENSER, SEE 17/A-430 & 10/A-430
- TYPE-I HOOD BELOW. SEE A-104 AND MECHANICAL PLANS
- RESTROOM EXHAUST (E7-1)
- ROOF AND OVERFLOW DRAIN SEE DETAIL 1/A-420
- MAKE-UP AIR UNIT. SEE MECHANICAL PLANS
- KITCHEN EXHAUST FAN. SEE MECHANICAL PLANS
- KITCHEN EXHAUST HOOD GREASE CONTAMINANT SYSTEM. SEE 18/A-401
- CROCKET AS REQUIRED
- ROOF ACCESS LADDER. SEE DETAIL 21/A-420
- CANOPY BELOW
- LOWER VENT AS REQUIRED. SEE DETAIL 20/A-420
- ACCESS DOOR AT PARAPET BRIMING. SEE DETAIL 27/A-420

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STAMP

PROJECT NAME/ADDRESS:
Ono Hawaiian BBQ
 GREENSPOT VILLAGE
 MARKETPLACE
 27864 GREENSPOT RD.
 HIGHLAND CA, 92348
 (PHD-3)

REVISION / ISSUE DATE	DESCRIPTION
1	ISSUED FOR PERMIT

JOB NUMBER
 ARCH PROJECT # 25-153
 STUDIO: UNO-045

DRAWN BY: JS CHECKED BY: JP

SHEET CONTENT
 ROOF PLAN

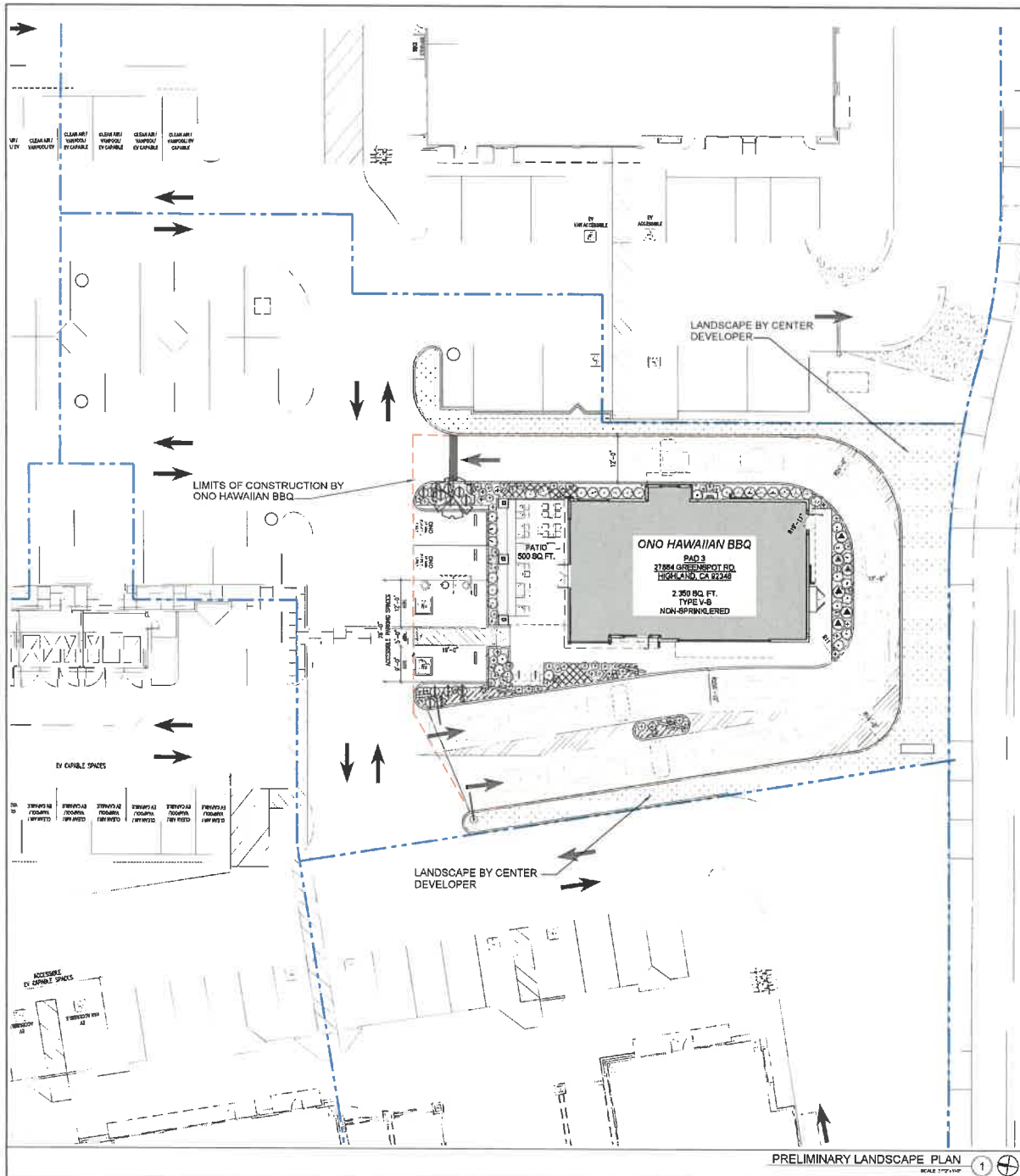
SHEET NO.

A-110

ROOF PLAN
 MADE REVISED 1 N

Ono Hawaiian BBQ
 EST. 2002

Exhibit 2:Landscape Plan



PLANTING LEGEND:

TREES

SYMBOL BOTANICAL NAME/COMMON NAME/SIZE



GLEDITSIA TRIACANTHOS NERMIS 'TRUESHADE'
24" BOX THORNLESS HONEY LOCUST (TO MATCH CENTER PLANTING)

SHRUBS

SYMBOL BOTANICAL NAME/COMMON NAME/SIZE



DIANELLA REVOLUTA 'VARIEGATA'
VARIEGATED FLAX LILY
5 GALLON



RAPHIOLEPSIS INDICA 'PINK DANCER'
PINK DANCER INDIAN HAWTHORN
5 GALLON



ROSA FLORIBUNDA 'ICEBERG'
ICEBERG ROSE
5 GALLON



CALLISTEMON VIMINALIS 'LITTLE JOHN'
LITTLE JOHN WEEPING BOTTLEBRUSH
5 GALLON

GROUND COVER

SYMBOL BOTANICAL NAME/COMMON NAME/SIZE



ACHILLEA MILLEFOLIUM 'ACB20002'
LITTLE MOONSHINE COMMON YARROW
1 GAL. AT 10" O.C. TRIANGULAR SPACING



CAREN TUMULUCULA
FOOTHILL SEDGE
1 GAL. AT 18" O.C. TRIANGULAR SPACING

GENERAL GROUND COVER NOTE:

PROVIDE 3" LAYER OF WOOD MULCH AS
TOP DRESSING FOR ALL NEW PLANTER AREAS
TYPE TO MATCH EXISTING CENTER WOOD MULCH

LANDSCAPE PLAN PREPARED BY:

GENE HIRAO

14 PONDIA

1200 S. 10TH AVE. #111

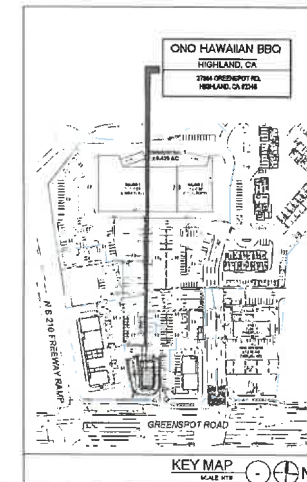
ORLANDO, FL 32801



PRELIMINARY LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

1



Ono Hawaiian BBQ
EST. 1982

NOTES: 1. ALL PLANTINGS AND MATERIALS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT. 2. ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MRS. J. R. HARRIS & SONS, INC. PUBLISHED BOOKS, "THE ART OF PLANTING" AND "THE ART OF PLANTING IN THE LANDSCAPE". 3. ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MRS. J. R. HARRIS & SONS, INC. PUBLISHED BOOKS, "THE ART OF PLANTING" AND "THE ART OF PLANTING IN THE LANDSCAPE". 4. ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MRS. J. R. HARRIS & SONS, INC. PUBLISHED BOOKS, "THE ART OF PLANTING" AND "THE ART OF PLANTING IN THE LANDSCAPE". 5. ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MRS. J. R. HARRIS & SONS, INC. PUBLISHED BOOKS, "THE ART OF PLANTING" AND "THE ART OF PLANTING IN THE LANDSCAPE".

ARCHITECT



STAMP



PROJECT NAME/ADDRESS

Ono Hawaiian BBQ
GREENSPOT VILLAGE
MARKETPLACE
27854 GREENSPOT RD.
HIGHLAND, CA 92346
(P&ID 3)

KEY/BOOK / ISSUE DATE

NO.	DATE	DESCRIPTION
1	01/11/2011	ISSUED FOR PERMIT

JOB NUMBER

ARCH PROJECT # 25-113
STORER: ONO-056

DRAWN BY

CHECKED BY

DATE

SHEET CONTENT

PRELIMINARY LANDSCAPE

PLAN

SHEET NO.

PL

Exhibit 3: Building Elevations

BR-1	EXTERIOR FACADE	MANUFACTURED BRICK SP-1000 COLOR: BROWN FINISH: BROWN REMARKS: BRICK VENEER CONTACT: [REDACTED] LEAD TIME: [REDACTED]
MT-1	EXTERIOR FACADE	MANUFACTURED BRICK SP-1000 COLOR: BROWN FINISH: BROWN REMARKS: BRICK VENEER CONTACT: [REDACTED] LEAD TIME: [REDACTED]
ST-1	EXTERIOR FACADE	MANUFACTURED BRICK SP-1000 COLOR: BROWN FINISH: BROWN REMARKS: BRICK VENEER CONTACT: [REDACTED] LEAD TIME: [REDACTED]
EP-1	INTERIOR FACADE	MANUFACTURED BRICK SP-1000 COLOR: BROWN FINISH: BROWN REMARKS: BRICK VENEER CONTACT: [REDACTED] LEAD TIME: [REDACTED]
EP-2	INTERIOR FACADE	MANUFACTURED BRICK SP-1000 COLOR: BROWN FINISH: BROWN REMARKS: BRICK VENEER CONTACT: [REDACTED] LEAD TIME: [REDACTED]
EP-3	INTERIOR FACADE	MANUFACTURED BRICK SP-1000 COLOR: BROWN FINISH: BROWN REMARKS: BRICK VENEER CONTACT: [REDACTED] LEAD TIME: [REDACTED]
EP-4	INTERIOR FACADE	MANUFACTURED BRICK SP-1000 COLOR: BROWN FINISH: BROWN REMARKS: BRICK VENEER CONTACT: [REDACTED] LEAD TIME: [REDACTED]
EP-5	INTERIOR FACADE	MANUFACTURED BRICK SP-1000 COLOR: BROWN FINISH: BROWN REMARKS: BRICK VENEER CONTACT: [REDACTED] LEAD TIME: [REDACTED]
EP-6	INTERIOR FACADE	MANUFACTURED BRICK SP-1000 COLOR: BROWN FINISH: BROWN REMARKS: BRICK VENEER CONTACT: [REDACTED] LEAD TIME: [REDACTED]
EP-7	INTERIOR FACADE	MANUFACTURED BRICK SP-1000 COLOR: BROWN FINISH: BROWN REMARKS: BRICK VENEER CONTACT: [REDACTED] LEAD TIME: [REDACTED]

T.O. PARAPET
+28'-0" A.F.F.

T.O. PARAPET
+28'-0" A.F.F.

R.O. ROOF
+12'-0" A.F.F.

R.O. ROOF
+12'-0" A.F.F.

R.O. ROOF
+12'-0" A.F.F.

R.O. ROOF
+12'-0" A.F.F.

R.O. ROOF
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+12'-0" A.F.F.

R.O. ROOF
+12'-0" A.F.F.

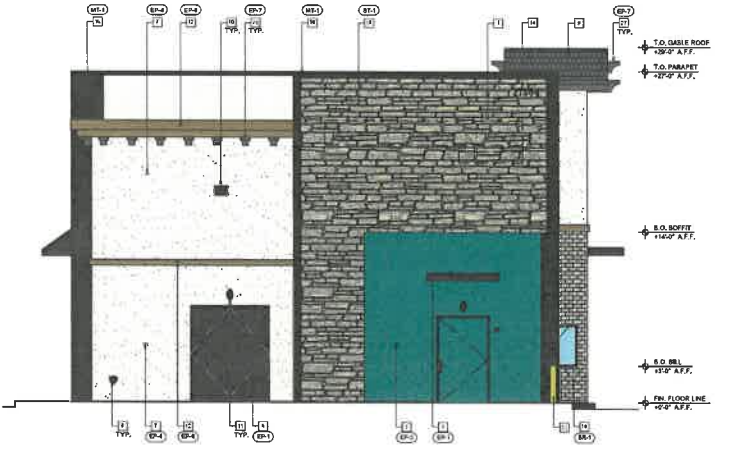
R.O. ROOF
+12'-0" A.F.F.

R.O. ROOF
+12'-0" A.F.F.

R.O. ROOF
+12'-0" A.F.F.

R.O. ROOF
+12'-0" A.F.F.

R.O. ROOF
+12'-0" A.F.F.



ELEVATION - SOUTH



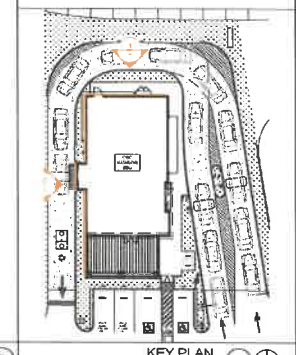
ELEVATION - EAST

GENERAL NOTES

- DOOR SCHEDULE, SEE [REDACTED]
- WINDOW SCHEDULE, SEE [REDACTED]
- VERIFY ON SITE SLAB/DECK HEIGHTS, SLOPES AND ELEVATIONS ON FLOOR PLAN AND SECTIONS.
- PROVIDE METAL PLASTER CONTROL JOINT AS SHOWN ON PLAN.
- PART EXPOSED METAL FLASHING TO MATCH COLOR OF ADJACENT SURFACES.
- PROVIDE FLASHING FOR ALL ITEMS PENETRATING EXTERIOR WALL CONSTRUCTION.
- EXTEND SUBSTRATE SHEATHING TO MAXIMUM INSIDE OR OUTSIDE WALL CORNER TO OBTAIN CONTINUOUS FLUSH WALL.
- INSTALL ALL NEW GLAZING WITH A CERTIFYING LABEL ATTACHED, SHOWING U-VALUE.
- PROVIDE TO THE OWNER A "CERTIFICATION OF COMPLIANCE" SIGNED BY THE GENERAL CONTRACTOR STATING THE MATERIALS WORKMANSHIP COMPLY WITH THE PLANS AND SPECIFICATIONS ATTACHED TITLE 24 ENERGY DESIGN REQUIREMENTS.
- PROVIDE SAFETY GLAZING REQUIRED BY THE CALIFORNIA BUILDING CODE.
- PROVIDE GLASS THICKNESS REQUIRED BY THE CALIFORNIA BUILDING CODE.

ELEVATION PLAN KEY NOTES

- ILLUMINATED BRAND SIGN UNDER SEPARATE PERMIT. C.C. TO PROVIDE POWER PROVISION & BACKING/BLOCKING AS REQUIRED.
- ALUMINUM STOREFRONT SYSTEM AND DOORS WITH 1" LOW "E" INSULATED FLOAT GLASS/TEMPERED GLASS. PROVIDE SILL RECEPTOR WITH WEEDS. GC TO PROVIDE SHOP DRAWINGS FOR APPROVAL.
- COLOR: DARK BRONZE ANODIZED. U-VALUES: 0.34. SHGC: 0.23 (SOLARBAN 67 (2) AZURIA+ CLEAR OR (2)AL).
- PATIO TRELLIS: SEE STRUCTURAL PLANS.
- 42" H A.F.F. FLOOR MOUNTED CUSTOM METAL PATIO FENCE. VENDOR/MFR TO SUBMIT SHOP DRAWINGS FOR GND CORP. APPROVAL.
- PREPARE COUNTERTEOPED ALUMINUM AWNING/CANOPY. G-CUTTER, EXPOSED DECK CANOPY BY MICROBAM PRODUCTS, INC. (API). PROVIDE COMPLETE SYSTEM PER MFR'S RECOMMENDATION.
- ROOF OVERFLOW DRAIN DOWNSPOUT NOZZLE (POLISHED BRONZE) SEE DETAIL 7/A-420.
- PLASTER GROUT (1) COATS OVER METAL LATH OVER 2 LAYERS OF BUILDING PAPER (GRADE 1) OVER PLYWOOD SHEATHING.
- ROOF FLEES - CHARCOAL BLEND.
- ELECTRICAL SWITCHES/CANISTER.
- 100 WALL PANEL, SEE A-104.
- DECORATIVE EXTERIOR LIGHT - SURFACE MOUNTED, SEE A-104.
- CORNER/TURN.
- INSTALL INTERNATIONAL SIGN OF ACCESSIBILITY. SEE DETAIL 7/G-107.
- INSTALL BUILDING ADDRESS NUMBER, MUST BE IN A COLOR CONTRASTING WITH THE COLOR OF THE BACKGROUND. ONLY ADDRESS NUMBERS ASSIGNED AND APPROVED BY BOC/LAURES MAY BE DISPLAYED.
- METAL WALL PANEL, 20" W x 4'-0".
- DRIVE-THRU WINDOW QUICKSERV MODEL: SS-4035E.
- BROWN STONE VENEER INSTALLED OVER MORTAR BED PAPER BACKED METAL LATH. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND WARRANTY REQUIREMENTS.
- CONCRETE CURB - PAINT TO MATCH STOREFRONT DARK BRONZE.
- EXTENSION METAL DOOR.
- MT-1000.
- 4" W 1/4" H 1/4" IN-PLACE ROLLER IN YELLOW PAINT.
- PROVIDE VINYL RAMP ENTRY SYSTEM LOCK BOX @ 5'-0" A.F.F. PER GFC SECTION 506 (INSTALL PER MANUFACTURER'S REQUIREMENTS) SEE DETAIL 5/A-420. CALL THE FIRE MARSHAL'S OFFICE: (951) 928-5137.
- GLASS/SPOT WINDOW SEE DETAIL 5/A-421.
- FABRIC AWNING.
- CORBELS.
- BATTERS.



KEY PLAN

Ono Hawaiian BBQ

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ARCHITECT
GWA
ARCHITECTURE
2788A GREENSPOT RD.
HIGHLAND CA 92346
(951) 928-5137

STAMP

PROJECT NAME/ADDRESS
Ono Hawaiian BBQ
GREENSPOT VILLAGE
MARKETPLACE
2788A GREENSPOT RD.
HIGHLAND CA 92346
(PAD-3)

NO.	DATE	REVISION / ISSUE	DESCRIPTION
1			

JOB NUMBER
ARCH PROJECT #: 22-135
STORY: GND-001

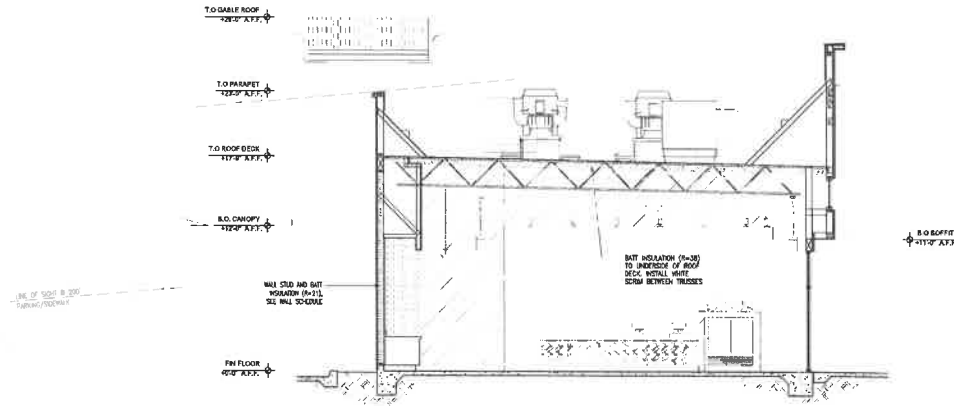
DRAWN BY: JB
CHECKED BY: JB

SHEET CONTENT

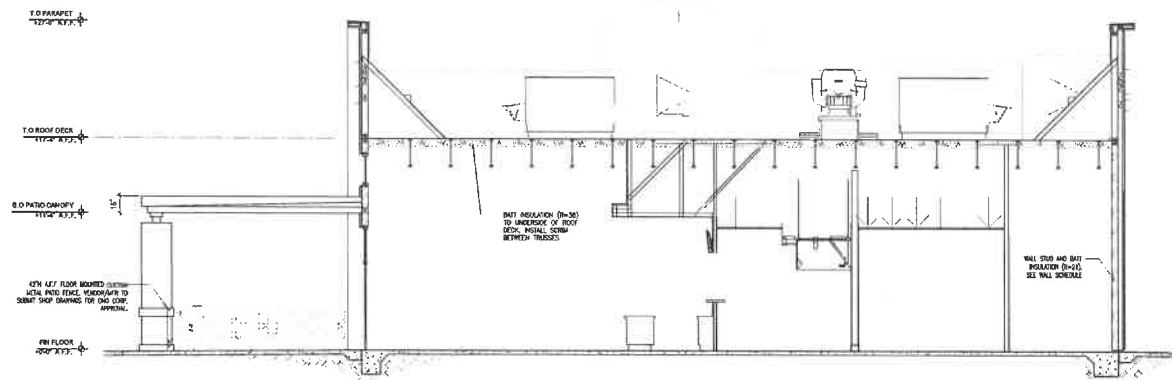
EXTERIOR ELEVATION

SHEET NO.

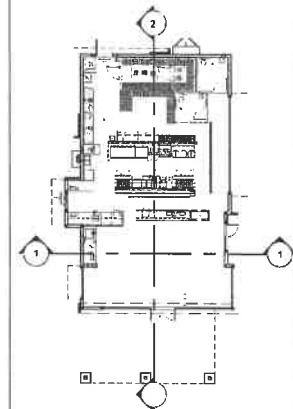
A-201



SECTION 1
SCALE 1/8"=1'-0"



SECTION 2
SCALE 1/8"=1'-0"



KEY PLAN
SCALE NTS

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PROJECT NAME/ADDRESS:
Ono Hawaiian BBQ
GREENSPOT VILLAGE
MARKETPLACE
27854 GREENSPOT RD.
HIGHLAND CA, 92346
(PAD 5)

REVISION / REUSE DATE	DATE	DESCRIPTION
1	10/1/2013	ISSUED FOR PERMIT

JOB NUMBER
ARCH PROJECT #: 20-133
STORY: ONO-006

DRAWN BY: JS
CHECKED BY: JP

SHEET CONTENT
BUILDING SECTIONS

SHEET NO.
A-300

Exhibit 4: Grading Plan

Exhibit 5: Conditions of Approval for DRA 23-015

CITY OF HIGHLAND
PLANNING DIVISION CONDITIONS OF APPROVAL

Date: February 6, 2024
Applicant: OHB 2021, LLC
File/Index: Design Review Application (DRA 23-015)
Proposal: Construction of a 2,350 square feet quick service restaurant with drive through and 580 square feet patio dining.
Location: 27864 Greenspot Road. North of Greenspot Road.
Pad 3 of TREH Commercial Development/Greenspot Crossing
Assessor's Parcel Number: 1201-331-09

PLANNING CONDITIONS OF APPROVAL

These conditions of approval represent the Planning Divisions conditions of approval and are meant to be one part of overall conditions of approval that may include, Engineering, Building and Safety, Fire Department, and other agency conditions of approval.

The conditions below are continuing conditions. Failure of the applicant and/or operator to comply with any or all said conditions at any time shall result in the revocation of this permit granted to use the subject property.

1. This Design Review Application shall become null and void:
 - a. Unless all conditions have been complied with and the occupancy or use of the land or structures authorized by this Design Review Application have occurred within thirty-six (36) months from the approval date of this Design Review Application, this Design Review Application shall expire and be null and void without further action by the City of Highland.
 - b. Where circumstances beyond the control of the Applicant cause delays which do not permit compliance within the time limitation established in this Section, the Planning Commission may grant an extension of time for a period of time not to exceed an additional thirty-six (36) months. An application for an extension of time must be set forth in writing, stating the reasons for the extension, and must be filed with the Planning Division a minimum of thirty (30) calendar days prior to the expiration of the Design Review Application. Such application shall be filed together with the City's processing fee, as established by the City Council.
2. This Design Review Application is for the Site Plan, Landscape Plan, Elevations, and Grading Plan pertaining to the construction of a 2,350 square feet quick service restaurant with drive through and 580 square feet patio dining.

- a. The approval of the Design Review Application is applicable to the proposed use, Site Plan, Grading Plan, Landscape Plan, and design features proposed on the restaurant building.
3. The conceptual landscape plan, site plan, vehicular circulation, parking spaces, hours of operation and grading plan that were approved for Design Review Application (DRA 20-012) via Resolution No. 2021-022 shall be applied to Design Review Application (DRA 23-015)
4. All permanent parking areas shall be paved and permanently maintained with asphalt or concrete and designated with clearly painted lines. The number of parking spaces, including disabled parking, shall comply with the requirements of the City's Municipal Code.
5. Materials, textures, colors, and design of all walls shall be compatible with on-site development and adjacent properties as approved by the Planning Commission.
6. Obtain all required building/occupancy permits from the Highland Building and Safety Division.
7. The Applicant is responsible for implementing all conditions of approval to the satisfaction of the Community Development Director, City Engineer, Fire Department, and Police Department. Each condition of approval is separately enforced, and if one of the conditions of approval is found to be invalid by a court of law, all the other conditions shall remain valid and enforceable.
8. Revisions, modifications, and/or deletions to the approved plans shall be submitted to the Planning Division for review and approval. Revisions, modifications and/or deletions may require additional review by the Planning Commission.
9. In compliance with the Highland Municipal Code, the Applicant/Owner shall agree, at his/her sole cost and expense, to defend, indemnify, and hold harmless, the City, its officers, employees, agents, and consultants, from any claim, action, or proceeding brought by a third-party against the City, its officers, agents, and employees, which seeks to attack, set aside, challenge, void, or annul an approval of the City Council, Planning Commission, or other decision-making body, including staff, concerning this project. The City may participate at its own expense in the defense of any such action but such participation shall not relieve the Applicant/Owner of his/her obligations under this condition.
10. All parking spaces shall be provided with nighttime security lighting. Lighting must be shielded and directed to reflect away from neighboring properties. Lighting shall not exceed 0.5 foot candles of illumination beyond the northern, eastern, and western property boundaries and 0 foot candles along the southern property boundary.

11. The Development Impact Fees shall be calculated and paid in accordance with City policy.
12. All rooftop mounted mechanical equipment shall be screened from public view. This can be accomplished by Architectural Treatments of parapets equal in height to the tallest piece of roof-mounted equipment.
13. All ground mounted, as well as wall mounted mechanical, electrical, or gas equipment shall be screened from public view by the use of landscaping and/or architectural treatments compatible with the adjoining Building's architectural design.
14. The subject property shall be developed in accordance with plans and materials approved by the Planning Commission on February 6, 2024 on file with the City of Highland Planning Division, and shall be in compliance with all conditions of approval contained herein.
15. The design and installation of the Signs shall be in accordance with the previously approved Sign Program (ASR 20-013) for the commercial development.
16. The Applicant and Owner of the property shall submit to the Planning Division written evidence of agreement with all conditions of this approval before the approval becomes effective.

January 25, 2024

Attn: Travis Trejo, Assistant Planner
City of Highland
27215 Base Line
Highland, Ca 92346



RE: Preliminary Landscape Plan Review:
DRA 23-015
Ono Hawaiian BBQ

Dear Travis:

We have reviewed the preliminary landscape plans for the project listed above in comparison to the City's Design Guidelines, Specific Plan, Water Efficient Landscape Ordinance, and recently processed applications of similar occupancy. Accordingly, we recommend the following landscape-specific conditions:

- 1) Three copies of construction landscaping plans shall be submitted and approved by the Planning Department and the City Landscape Architect once the Entitlement process has been completed. A licensed Landscape Architect shall prepare and sign/ certify the plans.
- 2) Per the original conditions of approval for the overall center two trees were included in the northern parking lot finger planters- Applicant shall add a second tree to the plan at the drive through entrance.
- 3) Required trees shall be a minimum of 24" box.
- 4) Shrub planting shall be made up of 75% 5 gallon plants and 25% 1 gallon plants with the exception of ground covers that will be a minimum of 1 gallon size.
- 5) Planting shall offer horizontal and vertical variation in form, texture, and scale and shall include multiple species to prevent against loss of a monoculture of a single species from species specific pest or other cause.
- 6) Landscape islands or planters adjacent to parking stalls shall be a minimum of 5' wide excluding any concrete step out areas.
- 7) All planting and irrigation plans shall confirm to all section 16.40.390 "Water efficient landscape" requirements, Section 14 of the Public Works policies, procedures, and standards, and Chater 7 of the Greenspot specific plan as it applies to Landscaping.
- 8) Landscaping and planting areas shall be used to screen and buffer edge areas and parking areas from public view. All parking areas shall be screened by earth mounding (30") and or screening

- shrubs to screen the parked cars from public view of users of the establishment and public rights-of-way.
- 9) Coordinate the landscape plan layout with the project's Water Quality Management Plan to ensure that the landscape layout aligns with the required Best Management Practices (BMP) for the facilities, Current landscape plan does not address any facilities if required.
 - 10) Include total landscape area in square feet and a percentage of overall site for verification with meeting City minimums.
 - 11) A weather-based smart irrigation controller shall be installed that measures evapo-transpiration. A rain shut off device shall be installed free of overhead obstruction and connected with the irrigation controller in addition to a master valve, flow sensor and separate landscape water meter are required in addition to the above for all projects.
 - 12) All plants shall be hydro-zoned to low to medium water use according to WUCOLS IV in Region 4, Inland Valley as a general guide.
 - 13) A copy of the soil fertility recommendations and soil management plan specified using organic fertilizers and soil amendments shall be included on the first submittal of the landscape construction plans unless extensive grading is anticipated. In that case the landscape contractor shall provide the soil fertility recommendations and soil management plan prior to the pre-job meeting on site.
 - 14) Applicant shall provide a mow curb or other form of separation at property boundaries to clearly identify where maintenance responsibilities end.
 - 15) The City Landscape Architect shall meet with the job site superintendent and the landscape contractor for a pre-job meeting. Copies of required landscape submittals shall be presented for approval including soil test results per the soil management plan. Overall inspection schedule shall be reviewed, and all procedures shall be reviewed. No landscaping shall occur prior to the meeting.
 - 16) Prior to the request for final inspection the Applicant shall have completed the installation of all landscape items, passed all construction sequence inspections in addition to having a completed 3rd party water audit with report, as built documents, controller charts submitted and approved prior by the City Landscape Architect. Failure to do so will result in delays for final inspection and or sign off.
 - 17) No light fixture, electric transformer, fire detector check, fire hydrant, or other utilities shall be designed for any location in a planting area, which would make it necessary to eliminate a tree or masses of shrubs. All overhead light fixtures and utilities shall be identified on the grading and site plans. Utilities shall be screened appropriately with landscaping. Any trees that are determined to be in conflict through the design development process shall be relocated to keep the same quantities shown on the approved entitlement plan, this shall include adjusting, adding, and revising or creating additional planting areas to support the total required number.

- 18) Root barriers shall be installed for all trees planted within 5 feet of hardscape, paving, or walls/structures. All trees requiring root barriers shall extend 10' from the center of the trunk in either direction and be a minimum of 24" deep.

We look forward to discussing these items with you in further detail. Please feel free to contact us at (951) 369-0700 with any questions.

Respectfully,



Dan Burkhart ASLA
Landscape Architect CA #6092 /
ISA Certified Arborist WE-11637A, for



Scott Rice ASLA, LEED AP, CASp
City Landscape Architect
Landscape Architect CA #5111

Consultants to the City of Highland via Community Works Design Group

Building and Safety Division Conditions of Approval

Date: January 15, 2024
Project: Multi-lane drive-thru restaurant 2,350 sqft with 580 sqft patio dining
Applicant: OHB 2021, LLC
Site Location: 27864 Greenspot Rd. Pad 3
Project Numbers: DRA: 23-015
APN(s): 1201-331-01

1. Please provide the following number of construction plans and documents listed below for the first review of the proposed project. The initial plan review time will take two weeks on most projects. The applicant will receive an application number at the time plans are submitted for Building & Safety's plan review. This number is needed to obtain information regarding your project.

- (3) Architectural Plans
- (3) Project Condition of Approval from all departments:
To be included in Architectural plan set at plan submittal.
- (3) Structural Plans
- (3) Plot/Site Plans
- (3) Electrical Plans
- (3) Electrical Load Calculations
- (3) Exiting Plans
- (3) Plumbing Plans/Isometrics
- (3) Mechanical Plans
- (3) HVAC Duct Layout Plans
- (3) Precise Grading Plans
- *Grading, Photometric, or Landscape Plans: Please mark "FOR REFERENCE ONLY"*
- (3) Site Disabled Access Plan
- (3) Temporary Construction Fence Plan
- (2) Roof and Floor Truss Plans
- (2) Title 24 Energy Calculations
- (2) Soils Report
- (2) Structural Calculations
- (1) Fire Flow Test – At submittal with hydrant location dimensioned on the site plan.

Provide before permit issuance.

- (1) San Bernardino County Health Department (plan approval/permit issuance Clearance)
- (1) San Bernardino municipal water department - environmental control section (plan approval/permit issuance Clearance)

2. All structures shall be designed in accordance with the current version of the California Building Codes at the time of submittal (Currently the 2022 codes), including the California Green Building Standards Code. Design all structures to Risk Category II at exposure "C" (ASCE7-22), and Energy Climate Zone 10.
3. All onsite utilities are to be underground. As approved by the Planning Division, utility cabinets and transformers are exempt.
4. All construction projects shall comply with the NPDES Stormwater Best Management Program. Prior to building permit issuance submit a copy of the Water Quality Management Program Report. (WQMP)
5. All deferred plan items & required deputy inspections are to be identified on the plans cover sheet.
6. Site development and grading shall be designed to provide access to all entrances and exterior ground floor exits and access to normal paths of travel. The accessible route(s) of travel shall be the most practical direct route from each site arrival point.
7. All dead and removed trees and foliage is to be properly removed from the site.
8. The City enforces the State of California provisions of the California Building Code disabled access requirements. The Federal Americans with Disabilities Act (ADA) standards may differ in some cases from the California State requirements; therefore, it is the building owner's responsibility to be aware of those differences and comply accordingly.
9. All construction materials, which are not used, shall be recycled pursuant to the requirements set forth by Ordinance No. 269. Receipts from the recycle company responsible for picking up the materials shall be kept in the construction office. After the construction is complete and before final occupancy, the trash receipts shall be forwarded to the City Public Services division.
 - a. Prior to Permit issuance – The permit holder shall register a project Construction & Demolition Debris Program application for self-haul or contract services through the City's Franchise hauler.
10. The building is to be connected to the public sewer system, when provided.
 - a. When the public system is not available, an onsite septic system is to be installed. Please provide Building Staff with a will-not/sewer not available letter from EVWD and an approved septic system design from the Santa Ana Regional Water Quality Control Board (please contact Susan Beeson at (951) 782-4902). An approved design with percolation test will be required to be submitted to Building & Safety for separate review and permitting prior to issuance of a building Permit.

11. Prior to building permit issuance - submit copy of the San Bernardino municipal water department (SBMWD) - environmental control section approval to the Building & Safety staff. Discharges into the sewer collection system and POTW could potentially introduce hazardous or undesired matter into the sewage infrastructure.
 - a. For additional information, please contact a member of the EC Section staff at (909) 453-6250. Thank you for your cooperation.
12. Prior to the issuance of Building Permits, site-grading certifications, compaction reports, and survey report shall be submitted to Building and Safety or to Public Works, as applicable.
13. Prior to the issuance of Building Permits, on site water service shall be installed and approved by the responsible agency. On site fire hydrants shall be approved by the Fire Department. No flammable materials will be allowed on the site until the fire hydrants are established and approved. No flammable construction materials shall be placed on the site without approvals by the Fire Department. All street and access roadways around the project shall be paved for emergency response vehicles before flammable materials are placed on the project. Fire flow tests shall be obtained by East Valley Water District.
14. Prior to the issuance of Building Permits, construction projects requiring fire permits must apply and submit fire plans prior to the issuance of the building permit, including fire sprinkler submittals.
15. Prior to the issuance of Building Permits, provide a receipt from the appropriate Unified School District stating that all school fees have been paid.
(Redlands Unified School Districts)
16. Construction projects, requiring temporary electrical power, shall obtain an electrical permit from Building and Safety. No temporary electrical power will be granted to a project unless the following item is in place and approved by Building and Safety and the Planning Division.
 - a. Installation of a construction trailer through the "Temporary Occupancy Permit", alternatively, a security fenced area where the electrical power will be located. Installation of construction/sales trailers must be located on private property. No trailers can be located in the street unless a permit from the Engineering Department is obtained.
17. A security fence with screening shall protect all construction sites. The fencing and screening shall be maintained at all times to protect pedestrians. All development projects shall submit a construction fencing plan with the construction design plans. Construction projects that have phased occupancy shall be completely separated by

a construction fence that is screened and show the adjusted fence locations at each phase.

18. On site toilet facilities shall be provided for construction workers and such facilities shall be maintained in a sanitary condition. Construction toilet facilities of the non-sewer type shall conform to ANSI ZA.3 and on site per NPDES stormwater requirements.
19. Construction activities shall not commence prior to 7:00 a.m. and shall terminate no later than 7:00 p.m. Monday through Saturday with no construction activities preformed during city or Federal Holidays. (Ordinance 420 HMC) unless restricted further by environmental review mitigation.
20. Building and Safety inspection requests must be made by 4:00 pm. on the previous City working day to receive a next business day inspection. Please contact (909) 864-6861, Ext 228.
21. The Developer/Owner is responsible for the coordination of the final occupancy. The Developer/Owner shall request clearances from each department and/or applicable agency at least two weeks prior to requesting a final building inspection from Building and Safety. Each agency shall sign the back of the Building and Safety Job Card, or provide agency approved signed documentation, and provide a copy of the signatures to Building and Safety at the time the final inspection is requested.
22. Prior to final inspection, provide Building & Safety with a flash disk of the approved plans and documents.
23. Building and Safety does not release all meters until final approvals are obtained from all agencies and departments. Commercial and industrial projects, see Policy 295.
24. The Developer/Owner is responsible for the coordination of releasing any Deferral of Development Impact Fees or Bonds after such fees have been paid. The Developer/Owner should be aware, once the deferral notice is sent to the San Bernardino County Recorder's Office; the release process takes two to three weeks. This process will delay final Certificates of Occupancy.



CITY OF HIGHLAND
27215 Base Line, Highland, CA 92346
Community Development Department
Planning Division

Phone: (909) 864-8732
Fax: (909) 862-3180

AGENCY COMMENT SHEET

Contact: Travis Trejo
Request for Comments: November 27, 2023
Comments Due: December 12, 2023

The following application has been filed with the Planning Division. Please review the attached information and return this sheet with your comments and/or conditions.

PROJECT: Design Review Application (DRA 23-015)
APPLICANT: OHB 2021, LLC
DESCRIPTION: Construction of a 2,350 sq ft quick service restaurant with double lane drive thru and 580 sq ft patio dining
LOCATION: 27864 Greenspot Rd. North of Greenspot Rd. Pad 3 of TREH Commercial Development
APN: 1201-331-01

THE FOLLOWING COMMENTS AND/OR CONDITIONS APPLY TO THE ABOVE REFERENCED PROJECT (Comments may be attached):

Plan indicates Major 1 + 2 + pad 3
Do not have ^{or} trash enclosures, build
enclosures to standard.

SIGNATURE

DEPARTMENT

DATE



CITY OF HIGHLAND
27215 Base Line, Highland, CA 92346
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APN: 1201-331-01

THE FOLLOWING COMMENTS AND/OR CONDITIONS APPLY TO THE ABOVE REFERENCED PROJECT (Comments may be attached):

Please see attached conditions.

Fire flow required at BTS submittal.


SIGNATURE

Fire Prevention
DEPARTMENT

12/28/23
DATE



City of Highland, **FIRE PREVENTION DIVISION**, Conditions of Approval.

DATE : 12/28/2023

Page 1 of 6

APPLICANT : OHB 2021, LLC

ADDRESS : 27864 Greenspot Road

SITE LOCATION: 1201-331-01

FILE / INDEX No.: DRA 23-015

A tiered level of mitigation options has been developed and listed below are the systems and/or modifications required for your project. Compliance of the following items are a condition of **FINAL OCCUPANCY APPROVAL**. These conditions are required as acceptable solutions to the adverse fire conditions impacting firefighting and emergency operations accompanying the site/area. They will either assist in detection and extinguishment of the fire and/or facilitate the anticipated emergency operations.

This project is protected by the City of Highland Fire Department / Cal-Fire / California Department of Forestry and Fire Protection. Prior to any construction occurring on any parcel, the applicant shall contact the city of highland fire marshal office for verification of current fire protection development requirements. All new construction shall comply with the currently adopted California Fire Code and all applicable statutes, appendices, codes, ordinances, standards and policies of the City of Highland Fire Department/ Fire Prevention Division / Cal-Fire / California Department of Forestry and Fire Protection.

Fire Department Review of all projects is required.

ALL CONSTRUCTION (New and renovations to existing) **SHALL COMPLY WITH THE CALIFORNIA FIRE CODE** Along with amendments as adopted within the Highland Municipal Code (Ord. #411).

Note: All weather access roads (CFC) and fire hydrant/water system installations shall be in place, inspected and approved, **PRIOR** to combustible material being brought on site.

Note: The City of Highland has 2 areas within the '**FIRE SAFETY OVERLAY DISTRICT**' designated as **FR-1** and **FR-2**. Both areas may border or overlap areas identified by the State/CalFire as '**High Fire Severity Zone**' or '**Very High Fire Severity Zone**'. See **HMC** for construction requirements.

GENERAL.

1. **HF3:** A fuel break of one hundred (100) feet (brush and weed clearance) is required prior to construction. The clearance shall be maintained on a year-round basis. **CFC & HMC**
2. **HF31:** Approved fire hydrant pavement markers (blue dots) shall be installed at every hydrant.
3. **HF51:** The main electrical panel and all sub-panel(s) shall be labeled on inside cover for all circuits. **CEC**
4. **HF52:** Water heater (fuel fired), shall be properly vented to exterior of structure. Water heater shall be seismic strapped to wall and be located 18" above a garage floor. **CBC**
5. **HF55:** Commercial exit requirements:
 - A. Required exit doors shall be maintained in an operable condition at all times
 - B. Required exit doors shall swing outward and away in the direction of exit travel.
 - C. Obstructions shall not be placed in the required width of an exit. Exits shall not be blocked or locked shut or obstructed in any manner during business hours.
 - D. Exit paths shall be illuminated when structure is occupied.
 - E. Exit path illumination shall be supplied from two (2) sources of power when occupant load is one hundred (100) persons or more.
 - F. When exit way/exit pathway and/or exit doorway is not easily identified, additional exit signs shall be installed.
6. Exit signs shall be internally or externally illuminated by two lamps or shall be of the self-luminous type. **CFC; CBC**
7. **HF65:** Additional plans for access, fire safety systems, fire lanes and signage, gates, storage, or other special conditions may be requested for review, conditioning and approval by the fire marshal.

ACCESS:

8. **HF7:** Fire department **access** roads shall meet the fire dept. minimum unobstructed width of twenty (20) feet. (twenty-six (26) feet within FR-1&2 zones). **This standard shall not lessen other agency requirements.** Access roads shall be paved (asphalt/concrete) and in place **prior** to delivery of combustible building materials on site. Roads shall be designed and constructed to meet adopted city standards. **CFC**

9. **HF8:** All access roads, public, private streets and residential driveways shall maintain a minimum vertical clearance of thirteen (13) feet-six (6) inches. **CFC**
10. **HF10:** Driveways exceeding 150 feet shall have a fire department approved turn-around at the terminus. **CFC / APPENDIX D**
11. **HF12:** Fire department access roadway(s); public/private street(s) and driveways shall not exceed 12% grade. **CBC / APPENDIX D, HMC**
12. **HF13:** Fire department access roadway(s); shall extend to within one hundred fifty (150) feet of and shall give reasonable access to all portions of the exterior walls of the first story of any building.
An access road, approved by the fire dept., shall be provided to within fifty (50) feet of all structures when the natural grade between access road and structure is in excess of 30%.
Where an approved access road cannot be provided, a fire protection system shall be required and approved by the fire department. **CFC**
13. **HF15:** "Phased" projects may be required to provide a minimum of two (2) remote points of approved access during construction. A secondary access, for fire and other emergency equipment and for routes of escape, which will safely handle evacuations. **CFC - APPENDIX D**
14. **HF19:** **Manually** operated gates across fire department access roadways, public and/or private streets and driveways, shall be equipped with approved emergency key-operated "**KNOX**" padlock or box containing key to open the private lock. For **automatic** gates, a "**KNOX**" emergency access switch, shall be installed, at location determined by fire department, and shall over-ride all command functions and open gate automatically upon activation. All automatic gates shall have a manual over-ride for use during loss of electric power. "**KNOX BOX**" request form is available from the fire marshal or may be ordered directly from www.knoxbox.com (specify City of Highland, CA) **CFC – Appendix D Note: The city of Highland also requires an electronic "H" key system (Ord. #320) for multi-family, gated communities or secured storage facilities. HMC**
15. **HF24:** "NO PARKING – FIRE LANE" signs shall be posted at locations designated by fire marshal. Fire lane curbs shall be painted red, with white letters stating, "NO PARKING – FIRE LANE" on top, not face. **CFC - APPENDIX D**
16. **HF54:** commercial and industrial structures-occupancies and gated complexes shall have a "**KNOX BOX**" system installed on the exterior of the building(s) or complex. location of device to be determined by the fire department. The box shall contain keys necessary to gain access and may contain pre-plans and MSDS information as required by the fire department. New and existing multi-tenant commercial buildings shall provide a 'KNOX' box large enough to contain keys to

access each individual tenant space. Installation location(s) to be determined by the fire marshal. The box shall contain clearly marked keys to each tenant space or other areas as determined by the fire marshal. **CFC**

17. **HF66:** Aerial fire apparatus access roads. **Where required:** buildings or facilities **exceeding 30-feet** in height above the lowest level of fire dept. Vehicle access shall be provided access roads capable of accommodating aerial apparatus. **Width:** aerial apparatus access roads shall provide a minimum unobstructed width of **26-feet** in the immediate vicinity of any building exceeding 30-feet in height. **Proximity to buildings:** aerial apparatus access roads shall be located a minimum of 15-feet to a maximum of 30-feet from the building, and shall be positioned parallel to one entire side of the structure, as approved by the fire code official. **CFC APPENDIX D**

WATER:

18. **HF25:** Minimum required fire flow, as determined by i.s.o. formula, is as follows:
COMMERCIAL; GPM = 3000; at 20 psi residual; for 3 hour duration.

System shall be looped with minimum eight (8) inch mains; six (6) inch laterals, six (6) inch risers; six (6) inch dia. Hydrants with two 2 ½" outlet(s) and one 4" outlet.
CFC APPENDIX B AND C

Note: Hydrants shall meet EVWD standards.

19. **HF29:** Fire hydrant spacing shall be:
Commercial retail: 300 FEET
CFC / APPENDIX B AND C.

Note: Existing fire hydrants (off-site) can be included if they meet spacing requirements. Hydrants shall not be located at the 'bulb' end of cul-de-sacs.

20. **HF26:** Two sets of water delivery system plans, designed to meet the required fire flow for this project and/or development, shall be submitted to the fire department for review and approval. **CFC**
21. **HF27:** Applicant-developer shall provide a letter from the water company serving the project-development, verifying financial arrangements have been made and bonded for the required water improvements. **CFC**
22. **HF28:** Fire hydrants shall be installed, inspected and operational as per approved water system delivery plans **prior** to any framing, construction or delivery of combustible materials to project site. **CFC / CFC**
23. **HF30:** Private, on site fire hydrant(s) – yard hydrant(s)- capable of supplying required fire flow shall be installed at location(s) identified by the fire department. System shall be looped with minimum eight (8) inch mains; six (6) inch laterals, six

(6) inch risers; six (6) inch dia. hydrants with one 2 ½" outlet and one 4" outlet.
CFC / APPENDIX B AND C

24. **HF32:** A temporary water storage and delivery system for use during grading and foundation work (no combustible material), meeting fire dept. Fire flow requirements shall be installed prior to framing construction or delivery of combustible materials to project site. **CFC; NFPA – 1142**

ADDRESSING – IDENTIFICATION:

25. **HF21:** **Commercial and multi-family residential** address numbers shall be displayed on all **new and existing** structures in such a manner as to be plainly visible and legible from the access roadway or street. Numerals shall be of a contrasting color to the building and electrically illuminated.

Minimum size of the numerals shall be **8" height, 3/4" stroke**, or as approved by the fire marshal.

Industrial occupancies shall have address numbers of 12" height, 1" stroke and shall be electrically illuminated so as to be visible and legible from access roadway or street.

Note: Depending on height and setback of a building, larger numerals may be required and at additional locations on the building, as determined by a case-by-case review.

HMC

26. **HF22:** Commercial-retail structures with rear access shall display address numbers on rear entry doorways, **4" in height, 1/2" stroke**, on contrasting background. **CFC**

FIRE PROTECTION & ALARM SYSTEMS:

27. **HF39:** An automatic fixed fire extinguishing system (**UL-300**) shall be installed in the hood and duct system of commercial cooking equipment. Three **(3)** sets of shop plans with material cut sheets and calculations shall be submitted to fire department for review and approval prior to installation. **CFC**

28. **HF41:** A minimum of one 2A-10BC fire extinguisher shall be installed for each 3,000 sq.ft. of floor area. Travel distance to any one fire extinguisher shall not exceed 75 feet. Additional fire extinguishers, size and class to be determined by fire department, may be required. Fire extinguishers shall be serviced bi-annually and shall have a current State Fire Marshall service tag attached. Fire extinguishers are to be serviced every two years and inspected & tagged every year. **CFC; NFPA**

29. **HF42:** A 40BC (K-Type) fire extinguisher shall be installed within 30 feet of commercial food heat-processing equipment. Fire extinguishers shall be serviced

annually and shall have a current SFM service tag attached. Fire extinguishers are to be serviced every two years and inspected & tagged every year.

CFC; T-19

30. **HF60:** California Fire Code, **FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION**, shall apply to this project. It is the responsibility of the project manager to meet with the fire marshal to discuss requirements specific to this project.
31. **HF61: TENANT IMPROVEMENT.** Review the 'tenant improvement information' handout. If any of the items listed apply to this project, they must be included in the 'fire department notes' section on the plan.
32. **HF62:** Additional plans for access, fire safety systems, storage or other special condition may be requested for review, conditioning and approval by the fire marshal.
33. **HF63:** Submit to fire marshal's office: **one copy** of building and/or structure plans for fire department review.
34. **HF64:** Spray booths, spray finishing operations shall comply with requirements of California Fire Code
35. **CO2 Detection System** required for per CFC 5307.3.2 for Beverage Dispensing Applications. **CFC**

Craig Sanchez, Fire Marshal
City of Highland Fire Prevention
(909) 864-8732 x 248



CITY OF HIGHLAND
27215 Base Line, Highland, CA 92346
Community Development Department
Planning Division

Phone: (909) 864-8732
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AGENCY COMMENT SHEET

Contact: Travis Trejo
Request for Comments: November 27, 2023
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LOCATION: 27864 Greenspot Rd. North of Greenspot Rd. Pad 3 of TREH Commercial Development
APN: 1201-331-01

THE FOLLOWING COMMENTS AND/OR CONDITIONS APPLY TO THE ABOVE REFERENCED PROJECT (Comments may be attached):

NO COMMENTS


SIGNATURE

ENGINEERING
DEPARTMENT

1/2/2024
DATE



STAFF REPORT

TO THE APPEALS BOARD

DATE: February 06, 2024

FROM: Lawrence Mainez, Community Development Director

PREPARED BY: Gary Chambers, Code Compliance Officer *G.C.*

SUBJECT: A Public Hearing to declare the existence of a Public Nuisance in accordance with Title 8, Chapter 8.32, of the Highland Municipal Code, and authorize the abatement thereof, at the Property generally located at 9th St. & Sterling Ave., San Bernardino, CA 92410, Tax Assessor's Parcel Number 1192-071-05.

PROPERTY OWNER: Hanhsing Li

RECOMMENDATION: Staff recommends the Appeals Board conduct the required Public Hearing and adopt Appeals Board Resolution No 2024 - ____, declaring the existence of a public nuisance on the Property generally located at 9th St. & Sterling Ave., San Bernardino, CA 92410 and order the abatement thereof.

FISCAL IMPACT: The full cost to the city regarding the abatement of the Public Nuisance is currently unknown. Staff has accounted for its time in its attempt to abate the nuisance conditions on the Property. Staff will present the Property Owner(s) of record with the cost of the City's efforts to abate the violations at the time all violations are remedied. If the Property Owner(s) elect not to pay for the City's cost to abate the violations, a Public Hearing will be held to assess the property for the cost of the abatement process.

PUBLIC NOTICE: Pursuant to Chapter 8.32, Public Hearing Notices were mailed via First Class Mail, and Certified Mail, Return Receipt Requested, to the Property Owner(s) on January 17th, 2024. (Attached hereto as Exhibit "1" attachment "E" and incorporated herein by reference). In addition, on January 17th, 2024, staff posted the Public Hearing Notice at the subject property and the Agenda was posted at three designated locations in accordance with City policy, and a copy of said Agenda was placed on the City's Website (see Affidavit of Posting / Mailing and attached hereto as Exhibit "1" attachment "F" and incorporated herein by reference).

Approved _____	Motion _____	Second _____	Agenda Item No. <u>4</u>
Denied _____	Ayes _____		File No. _____
	Noes _____		
Continue _____	Abstain _____		
	Absent _____		
<i>Cecilia Bronte</i> Recording Secretary		<i>Lawrence Mainez</i> Community Development Director	

BACKGROUND:

Sep. 28, 2023

On September 28, 2023, this case was initiated due to the unpermitted addition of ground cover and the unpermitted construction of two drive approaches damaging the public right-of-way/sidewalk on the property generally located at 9th St. & Sterling Ave., San Bernardino, CA 92410, APN: 1192-071-05. Further research revealed that the property owner, Mr. Li, had been in contact with the city regarding the unpermitted grading activity and the construction of the drive approaches without an encroachment permit, damaging city property, since at least August 08, 2023. Mr. Li has been an owner of the property since at least April 05, 2005, and the sole owner of the property since August 13, 2021.

Oct. 02, 2023

Code Compliance Officer Gary Chambers arrived at the subject property and observed the parking or storage of tractor-trailers without city approval or permits. Code compliance officer Gary Chambers also observed the unpermitted addition of ground cover, approximately 70,000 SF, and the unpermitted construction of two drive approaches encroaching into the public right-of-way/sidewalk damaging city property. A **Notice of Violation** was issued and mailed to the property owner's address of record.

Oct. 17, 2023

Matt Bennett, Assistant Public Works Director, sent an email correspondence to Mr. Li informing Mr. Li that his tenant asked for permission to reconstruct the damaged drive approaches that were constructed without permits and removed the City's sidewalk. Mr. Li was reminded that he was informed back in August that the sidewalk must be restored along the frontage where it was removed. Mr. Li was also informed that if he presented a development plan, offered a sidewalk easement, and intended to reconstruct new drive approaches to serve a Planning approved project, then Engineering could review his encroachment permit application and plans prior to any construction.

**Appeals Board Meeting of
February 06, 2024**

Oct. 18, 2023

Code Compliance Officer Gary Chambers arrived at the subject property and observed the parking or storage of tractor-trailers without city approval or permits. Code compliance officer Gary Chambers also observed the unpermitted addition of ground cover, approximately 70,000 SF, and the unpermitted construction of two drive approaches encroaching into the public right-of-way/sidewalk damaging city property. **Administrative Citation #15470, \$100**, was issued and mailed to the property owner's address of record. A copy of the citation was also emailed to the property owner.

Nov. 03, 2023

Code Compliance Officer Gary Chambers arrived at the subject property and observed the parking or storage of tractor-trailers without city approval or permits. Code compliance officer Gary Chambers also observed the unpermitted addition of ground cover, approximately 70,000 SF, and the unpermitted construction of two drive approaches encroaching into the public right-of-way/sidewalk damaging city property. **Administrative Citation #15483, \$200**, was issued and mailed to the property owner's address of record. A copy of the citation was also emailed to the property owner.

Nov. 20, 2023

Code Compliance Officer Gary Chambers arrived at the subject property and observed the unpermitted addition of ground cover, approximately 70,000 SF, and the unpermitted construction of two drive approaches encroaching into the public right-of-way/sidewalk damaging city property. All tractor-trailers had been removed from the property. A **Pending Notice of Non-Compliance/Public Nuisance Hearing** was mailed to the property owner(s) address of record. A copy of the Notice was emailed to the property owner.

Jan. 12, 2024

Code Compliance Officer Gary Chambers arrived at the subject property and observed the unpermitted addition of ground cover, approximately 70,000 SF, and the unpermitted construction of two drive approaches encroaching into the public right-of-way/sidewalk damaging city property. A decision was made to refer the case to the Planning Commission/Appeals Board for a Declaration of Public Nuisance due to no response from the property owner.

**Appeals Board Meeting of
February 06, 2024**

Jan. 17, 2024

Code Compliance Officer Gary Chambers arrived at the subject property and observed no change in the condition of the property. Code compliance officer Gary Chambers observed the unpermitted addition of ground cover, approximately 70,000 SF, and the unpermitted construction of two drive approaches encroaching into the public right-of-way/sidewalk damaging city property. A **Public Hearing Notice** was posted at the property informing the property owner that a Public Nuisance Hearing had been scheduled for February 06, 2024, at 6 pm, or soon thereafter. A copy of the Public Hearing Notice was also mailed to the property owner's address of record by certified mail, return receipt requested. A copy of the notice was emailed to the property owner.

CONCLUSION: As evidenced by all inspections conducted and the exhibits incorporated herein by reference, the property, identified as APN: 1192-071-05 (generally located at 9th St. & Sterling Ave., San Bernardino, CA 92410) has been permitted to exist in violation of the following sections of the Highland Municipal & Development Codes, and therefore constitutes a Public Nuisance. Specifically, the property is in violation of the following provisions of the Municipal & Development Code:

- I. Highland Municipal Code Section 8.32.020(C) (A public nuisance is created by any building, structure, or property that is in violation of any provision of the Highland Municipal Code, including the Highland Development Code, or the statutes of the state of California)
- II. Highland Municipal Code Section 15.04.010 (Adoption of the California Building Code).
- III. Highland Municipal Code Section 16.20.030 (Commercial use regulations); There is no use specifically listed for the parking or storage of semi-trucks or tractor-trailers in Commercial Districts (Table 16.20.030.A). Furthermore, the City of Highland's Land Use and Development Code Title 16 is a permissive code, which means if a use is not specifically listed within in the applicable use tables it should be considered a 'not permitted' use. The land use of trucking services and terminals (i.e. tractor-trailers) is only allowed in the Business Park (BP) Zoning District if ancillary to a permanent warehousing or other related business on the property, subject to the approval of a conditional use permit (Table 16.24.030.A (B)(2), Wholesale and Warehousing Uses). The unimproved subject property being used for the unpermitted parking and storage of trucking services and terminals (i.e. tractor-trailers) not related to and/or ancillary to an on-site warehousing or similar type use constitutes a public nuisance).

**Appeals Board Meeting of
February 06, 2024**

- IV. Highland Municipal Code Section 16.40.150(B)(6) (Contractors shall secure an encroachment permit prior to commencement of any work done in connection with subdivisions or other residential, commercial, or industrial development projects within public right-of-way).

The property owner(s) is requested to remove the unpermitted drive approaches and restore the city sidewalk to full height curb and gutter, provide a grading, drainage, and water quality analysis report to determine the impact of the unpermitted addition of ground cover and, based on the determination of the analysis, obtain any applicable permits or remove. The property owner(s) is also requested to obtain land use approvals or any other applicable permits prior to the establishment of any future uses on the property by no later than **sixty (60) days** from the issuance of an order of the Appeals Board in accordance with Chapter 8.32 of title 8 of the Highland Municipal Code.

**Appeals Board Meeting of
February 06, 2024**

Exhibit "1" Appeals Board Declaration of Public Nuisance Resolution 2024_____, inclusive of the following attachments:

- A.** Notice of Violation Letter dated October 02, 2023
- B.** Administrative Citation, #15470, issued October 18, 2023
- C.** Administrative Citation, #15483, issued November 03, 2023
- D.** Pending Notice of Non-Compliance/Public Nuisance Hearing dated November 20, 2023
- E.** Notice of Public Hearing & Public Posting Copy dated January 17, 2024
- F.** Notice of Public hearing (Affidavit of Mailing) dated January 17, 2024

Exhibit "2" Aerial/Site Location Map

Exhibit "3" Image of sidewalk frontage dated October 2022

Exhibit "4" Case Photograph dated July 08, 2023

Exhibit "5" Case Photograph dated August 5, 2023

Exhibit "6" Case photographs dated October 02, 2023

Exhibit "7" Case photographs dated October 18, 2023

Exhibit "8" Case photographs dated November 03, 2023

Exhibit "9" Case photographs dated November 20, 2023

Exhibit "10" Case photographs dated January 12, 2024

Exhibit "11" Case photographs dated January 17, 2024

EXHIBIT “1”

Appeals Board Declaration of Public Nuisance Resolution
No. 2024____, Inclusive of the following Attachments

RESOLUTION NO. 2024-

A RESOLUTION OF THE PLANNING COMMISSION/APPEALS BOARD OF THE CITY OF HIGHLAND, CALIFORNIA, DECLARING THAT A PUBLIC NUISANCE EXISTS ON THE PROPERTY IDENTIFIED AS APN: 1192-071-05, GENERALLY LOCATED AT 9th ST. & STERLING AVE., SAN BERNARDINO, CA 92410, AND ORDERING THE OWNER(S) OF THE PROPERTY TO ABATE THE NUISANCE CONTAINED THEREON.

(CODE CASE #10694)

A. RECITALS

1. On September 28, 2023, this case was initiated due to the unpermitted addition of ground cover and the unpermitted construction of two drive approaches damaging the public right-of-way/sidewalk on the property identified as San Bernardino County APN: 1192-071-05 ("the Property"). An inspection of the property revealed the parking or storage of tractor-trailers, the addition of ground cover, and the construction of two drive approaches, which damaged the public right-of-way/sidewalk, without city approval or permits.
2. The City of Highland has since inspected the Property numerous times and discovered that the Property has been maintained and permitted to exist in violation of multiple sections of the Highland Municipal Code, and therefore constitutes a public nuisance.
3. Notice of Violation was mailed/posted on;
10/02/2023 (Attachment A)
4. Administrative Citations, were issued/mailed on;
10/18/2023 (Attachment B)
11/03/2023 (Attachment C)
5. Pursuant to Chapter 8.32 of the Highland Municipal Code, a Notice of Public Hearing was mailed via First Class Mail, and Certified Mail, Return Receipt Requested, to the property owner(s) on January 17, 2024. A copy of the notice was also posted at the Property (Attachment E).

B. RESOLUTION

NOW THEREFORE, it is hereby found, determined, and resolved by the Planning Commission/Appeals Board of the City of Highland as follows:

1. All of the facts set forth in the Recitals of this Resolution are true and correct and are hereby incorporated into this Resolution by this reference.
2. Staff timely notified the owner of the Property that the Planning Commission/Appeals Board would be holding a Public Hearing on February 06, 2024; that Notice is attached hereto as Attachment F. The Appeals Board held a Public Hearing on that Hearing Date, at which time, all written and oral evidence and testimony from the owner(s) of the Property, the Public, and Staff were considered.
3. All necessary hearings and opportunities for testimony, and comment have been conducted in compliance with the Municipal Code of the City of Highland.
4. The Public Nuisance Hearing has independently considered all relevant information of both the public, and Staff testimony, written and oral, including the Staff Report and its exhibits which are incorporated herein by this reference.

Order Finding and Ordering Abatement of Public Nuisance

5. Based upon substantial evidence in the record, the Planning Commission/Appeals Board hereby declares that a public nuisance, as defined by Highland Municipal Code 8.32.020, has been allowed to exist on the Property generally located at 9th St. & Sterling Ave., San Bernardino, California 92410, since at least September 28, 2023.
6. Specifically, based upon the evidence and testimony presented to the Planning Commission/Appeals Board during the above-referenced Hearing, the Planning Commission/Appeals Board finds as follows;
 - a. Highland Municipal Code Section 8.32.020 (C) (A public nuisance is created by any building, structure, or property that is in violation of any provision of the Highland Municipal Code, including the Highland Development Code, or the statutes of the state of California).
 - b. Highland Municipal Code Section 15.04.010 (Adoption of the California Building Code).

- c. Highland Municipal Code Section 16.20.030 (Commercial use regulations); There is no use specifically listed for the parking or storage of semi-trucks or tractor-trailers in Commercial Districts (Table 16.20.030.A). Furthermore, the City of Highland's Land Use and Development Code Title 16 is a permissive code, which means if a use is not specifically listed within in the applicable use tables it should be considered a 'not permitted' use. The land use of trucking services and terminals (i.e. tractor-trailers) is only allowed in the Business Park (BP) Zoning District if ancillary to a permanent warehousing or other related business on the property, subject to the approval of a conditional use permit (Table 16.24.030.A (B)(2), Wholesale and Warehousing Uses). The unimproved subject property being used for the unpermitted parking and storage of trucking services and terminals (i.e. tractor-trailers) not related to and/or ancillary to an on-site warehousing or similar type use constitutes a public nuisance).
 - d. Highland Municipal Code Section 16.40.150(B)(6) (Contractors shall secure an encroachment permit prior to commencement of any work done in connection with subdivisions or other residential, commercial, or industrial development projects within public right-of-way).
7. The Planning Commission/Appeals Board of the City of Highland hereby finds that the aforementioned Violations constitute a public nuisance, and hereby orders the Property Owner(s) to abate the aforementioned Violations, **within sixty (60) days**. The Planning Commission/Appeals Board of the City of Highland hereby sets forth the actions necessary to abate the public nuisance from the Properties as follows:
- a. Remove the unpermitted drive approaches and restore the city sidewalk to full height curb and gutter.
 - b. Provide a grading, drainage, and water quality analysis report to determine the impact of the unpermitted addition of ground cover and, based on the determination of the analysis, obtain any applicable permits or remove.
 - c. Obtain land use approvals or any other applicable permits prior to the establishment of any future uses on the property.
8. The administrative and incidental costs and expenses incurred in abating the nuisance, which are proved in accordance with provision of Highland Municipal Code Section 8.32.180, shall be assessed against the Property and shall result in a lien until paid.

9. Pursuant to Highland Municipal Code Section 8.32.110, the Planning Commission/Appeals Board of the City of Highland authorizes the abatement of the public nuisance by the city as follows:
 - (a) If the owner, agent of the owner, lessee, occupant, or person in possession of the Property who are served with a notice of the final decision of the Planning Commission/Appeals Board finding and ordering the abatement of a public nuisance, shall fail to take the required action **within sixty (60) days** as specified above, the City shall commence with the lawful procedures to have the Property abated.
 - (b) The costs and expenses of demolition, removal, and abatement by the City, including any additional administrative and legal and incidental expenses, pursuant to Highland Municipal Code Section 8.32.110, shall also be assessed and result in a lien upon the Property until paid.
10. Any owner, occupant, or other party who has a legal or equitable interest in the Property may appeal the final order of the Planning Commission/Appeals Board finding and ordering the abatement of a public nuisance pursuant to Highland Municipal Code Section 8.32.210. The appeal must be in writing and must be filed with the City Council no later than 10 days from the date of service of this Planning Commission/Appeals Board Resolution finding and ordering the abatement of a public nuisance. After 10 days from the date of service of the Planning Commission/Appeals Board resolution finding and ordering the abatement of the public nuisance, the order is deemed final and may no longer be appealed.
11. A property owner also has a right to appeal the order ordering liability incidental and administrative expenses incurred and ordering the abatement of a public nuisance

PASSED, APPROVED AND ADOPTED this 6th day of February 2024.

Randall Hamerly,
Planning Commission/Appeals Board Chairman

ATTEST:

Lawrence A. Mainez,
Community Development Director

ATTACHMENT "A"

Notice of Violation Letter dated October 02, 2023



City of Highland
Community Development Department
Notice of Violation
Public Nuisance Violations

To: LI, HANHSING

Date: 10/02/2023

Property Located at: 1192-071-05 9TH ST, HIGHLAND, CA 92346

YOUR PROPERTY IS IN VIOLATION OF THE CITY OF HIGHLAND MUNICIPAL CODE

- | | |
|---|---|
| <p>☐ Title 16, Chapter 52, Section, 16.52.060 B.4.b.i
Parking on unimproved/landscaped areas is prohibited</p> <p>☐ Title 16, Chapter 52, Section, 16.52.060 B.4.a.iii
Any vehicle parked in plain view, must be currently registered to operation a street or road way.</p> <p>☐ Title 8, Chapter 32, Section, 8.32.020 B.3
Trash containers shall generally be placed out of direct public view.</p> <p>☐ 8.32.020 Declaration of public nuisance
A public nuisance is created by every building or structure which:</p> <ul style="list-style-type: none">☐ Dilapidation, dangerous or at risk of collapse from neglect☐ Is a breeding place for rodents, vermin, or vagrants☐ Is boarded up, abandoned, destroyed and is allowed to remain in a state of partial construction☐ Allows access through doors, windows, into vacant structure | <p>☐ Title 6, Chapter 6.04, Section, 6.04.020C/SBCC 32.0209
Every Resident in the City who owns, who has an interest, harbors feeds, takes care of, charge or custody of shall be required to obtain a city Dog license at 4 months of age</p> <p>☐ Title 16, Chapter 44, Section, 16.44.040.D.1.a
All lots smaller than 20,000 square feet-each residential parcel shall not exceed (4) four adult dogs or four (4) adult cats, or a combination totaling not more than four adult animals.</p> <p>☐ Title 15, Chapter 15.52.040, Section, 15.52.040
Residential rental without a business license.</p> <p>☒ Other : Land use regulations</p> <p>☐ Violation of condition of site approval or conditional use permit</p> <p>☐ Has overgrown weeds, trash accumulation, has noxious smell</p> <p>☐ Is unsafe, has graffiti, is left unpainted</p> <p>☐ Attractive nuisance to children</p> |
|---|---|

CA13 Firecode - 505.1

- ☐ **Premises Identification** - 4" minimum address numbers. Numbers shall be placed on front of the building, said numbers shall be on contrasting background.
- ☐ **CA13 Electrical Code 590.3 B** - Temporary Installations (Holiday Lights)

Title 10, Chapter 10.20, Section 10.20.040

☐ **Public nuisances - Vehicle Abatement**

The accumulation and storage of dismantled, wrecked, inoperative, junked, abandoned vehicles or parts thereof, on private or public property is found to create a condition tending to reduce the value of private or public property, to promote blight and deterioration, invite plundering, to create fire hazards, to constitute an attractive nuisance, creating a hazard to the health and safety of minors, to create a harborage for rodents and insects and to be injurious to the health, safety and general welfare of the public.

Please correct conditions by taking the following actions:

**** 1st Notice ** HMC 8.32.020(C)** - A public nuisance is created by any building, structure, or property that is in violation of any provision of the Highland Municipal Code, including the Highland Development Code, or the statutes of the state of California. **HMC 8.32.020(H)** - The parking of a vehicle on any unpaved parcel of real property or portion thereof, except as specifically permitted by city ordinance or on a public street and/or shoulder within the public right-of-way, shall constitute a public nuisance. An unpaved parcel of land shall be defined as a surface of dirt, loose gravel, landscaped area and/or other unimproved surface; **HMC 16.20.030** - Commercial use regulations; **Corrective Actions:** Remove all parking/storage of tractor-trailers, heavy equipment, vehicles, or storage of any kind from the property. Obtain land use approvals or any other applicable permits prior to the establishment of any future uses on the property. Repair all damaged right of way improvements, including, but not limited to, drive approaches, C&G, and sidewalk. Address all issues caused by the massing and grading of the asphalt grindings with the City's Engineering Department. To avoid citations, please comply by 10/18/2023. Thank you for your prompt attention and cooperation in resolving this matter.

You have 15 days to complete the abatement of this violation. A reinspection of this property is scheduled for 10/18/2023

Failure to correct the existing condition will result in further action. You may be charged for any corrective action taken by the City if you fail to correct the violation.

No person shall violate any provision, or fail to comply with any of the requirements to the Municipal Code, unless a different penalty is prescribed for violation of the Municipal Code, every act prohibited is declared unlawful, and every failure to perform an act made mandatory by the Municipal Code is punishable as a misdemeanor. The City Attorney may specify an accusatory pleading that the offense shall be an infraction. Each person shall be deemed guilty of a separate offense for each, and every day during any provision of the Municipal Code committed, continued, or permitted by such person, and shall be punishable accordingly. City administrative costs may be assessed to the property for noncompliance.

The City of Highland appreciates your cooperation. If you have any questions, contact a Code Compliance officer, at Phone: (909) 864-8732 Ext. 220 Fax (909) 862-3180

Accepted By: "MAILED"
Thank You,
City of Highland, 27215 Base Line, Highland, CA 92346

Gary Chambers
Code Compliance Officer

ATTACHMENT “B”

Administrative Citation, #15470, issued October 18, 2023



CITY OF HIGHLAND
FINANCE DEPARTMENT
27215 BASE LINE
HIGHLAND, CA 92346
(909) 864-6861

CITATION NO. 15470

ADMINISTRATIVE CITATION

Date: 10-18-2023 Time: 9:08am (Violation Observed)

☐ WARNING

☒ 1st Citation - \$ 100.00 ☐ 2nd Citation - \$ _____

☐ 3rd Subsequent - \$ _____

The payment listed above is due by 11-12-2023. See reverse side for payment and appeal instructions.

Corrections indicated below are required by 11-02-2023. If you fail to make the indicated corrections by this date, the next level citation may be issued or the City may take other enforcement action or actions.

PERSON CITED: LAST FIRST MIDDLE

DL #: Li, Hanhsing DOB: N/A

MAILING ADDRESS:

29310 Richardson Ct., Highland, CA 92346

VIOLATION ADDRESS:

APN: 1192-071-053 9th St., Highland

MUNI. / STATE CODE
SECTION VIOLATED

VIOLATION DESCRIPTION

HMC
8.32.020 (c) Violation of Highland
Municipal & Development Codes

HMC
16.020.030 Commercial use regulations

HMC
15.04.010 Adoption of California Building Code

CORRECTIONS REQUIRED: Remove all tractor-trailers

heavy equipment, or vehicles of any kind
from the property. Obtain any applicable
permits to repair damaged city drive
approaches/property and to address
unpermitted grading.

Signature of Issuing Officer

10-18-2023
Issued Date

Printed Name of Issuing Officer

"Mailed"
Acknowledgement of Receipt (Signature)

**READ REVERSE SIDE
FOR IMPORTANT INFORMATION**

WHITE COPY: FINANCE

ATTACHMENT “C”

Administrative Citation, #15483, issued November 03, 2023



CITY OF HIGHLAND
FINANCE DEPARTMENT
27215 BASE LINE
HIGHLAND, CA 92346
(909) 864-6861

CITATION NO. **15483**

ADMINISTRATIVE CITATION

Date: **11-03-2023** Time: **10:25 am** (Violation Observed)

☐ WARNING

☐ 1st Citation - \$ ☒ 2nd Citation - \$ **200.00**

☐ 3rd Subsequent - \$

The payment listed above is due by **11-28-2023** See reverse side for payment and appeal instructions.

Corrections indicated below are required by **11-18-2023**. If you fail to make the indicated corrections by this date, the next level citation may be issued or the City may take other enforcement action or actions.

PERSON CITED: LAST FIRST MIDDLE

Li, Hanhsing

DL #: **N/A** DOB: **N/A**

MAILING ADDRESS:

29310 Richardson Ct., Highland, CA 92346

VIOLATION ADDRESS:

APR: 1122-071-05; 9th St., Highland, CA

MUNI. / STATE CODE

SECTION VIOLATED

HMC Violation of any provision of

8.22.020 (c) The Highland Municipal or Development Codes.

HMC Adoption of the California Building

15.04.010 Commercial use regulations.

HMC

16.20.030

CORRECTIONS REQUIRED:

Remove all tractor-trailers, heavy equipment, or vehicles of any kind from the property. Obtain any applicable permits to repair city drive approaches/property and to address unpermitted grading.

Signature of Issuing Officer **11-03-2023**

Printed Name of Issuing Officer **Eany Chambers**

Acknowledgement of Receipt (Signature) **"Mailed"**

**READ REVERSE SIDE
FOR IMPORTANT INFORMATION**

ATTACHMENT “D”

Pending Notice of Non-Compliance/Public Nuisance Hearing
dated November 20, 2023



November 20, 2023
Hanhsing Li
29310 Richardson Ct.
Highland, CA 92346

RE: Pending Notice of Non-Compliance/Public Nuisance Hearing {Parcel #1192-071-05} 9th St., Highland, CA

Dear Mr. Li

The City of Highland has exhausted all efforts to bring the property into compliance with the City of Highland Municipal & Development Code's, specifically, Unpermitted Construction, encroachment into and damage of the public right-of-way/sidewalk and unpermitted grading. A Public Nuisance Hearing will be scheduled to declare the subject property a public nuisance. You should expect to receive an official Public Nuisance Hearing Notice soon.

If you wish to avoid having the property declared a public nuisance, remove the unpermitted drive approaches, and restore the city sidewalk to full height curb and gutter. Provide a grading, drainage, and water quality analysis report to determine the impact of the unpermitted addition of ground cover (asphalt grindings) to the property. Based on the determination of the analysis, obtain any applicable permits, or remove.

Sincerely,

Gary Chambers

Code Compliance Officer, City of Highland, California

Phone: (909) 864-6861 ext. 220

CC: Lawrence Mainez, Community Development Director



ATTACHMENT “E”

Notice of Public Hearing & Public Posting Copy dated
January 17, 2024



CITY OF HIGHLAND NOTICE OF PUBLIC HEARING

27215 Baseline, Highland, CA 92346
Telephone (909) 864-6861 FAX: (909) 862-3180

NOTICE OF PUBLIC HEARING BEFORE THE CITY OF HIGHLAND APPEALS BOARD (BOARD)

Date: January 17, 2024

A PUBLIC HEARING HAS BEEN SCHEDULED BEFORE THE HIGHLAND APPEALS BOARD TO CONSIDER DECLARING THE FOLLOWING DESCRIBED PROPERTY A PUBLIC NUISANCE DUE TO THE UNPERMITTED CONSTRUCTION OF DRIVE APPROACHES AND THE UNPERMITTED ADDITION OF GROUND COVER (APPROXIMATELY 70,000 SF).

File Number: APPEALS BOARD PUBLIC NUISANCE HEARING
CASE #10694

SUBJECT: A Public Hearing to declare the existence of a Public Nuisance in accordance with Chapter 8.32.060 of the Highland Municipal Code on the following Assessor's Parcel Number: 1192-071-05.

PROPERTY OWNER(S): Hanhsing Li

VIOLATION ADDRESS/APN: 1192-071-05, generally located at 9th St. & Sterling Ave., San Bernardino, CA 92410 (within the corporate boundaries of the City of Highland)

HEARING LOCATION: Highland City Hall Council Chambers
27215 Base Line
Highland, CA 92346

DATE AND TIME OF HEARING: Tuesday February 06, 2024, at 6:00 PM
(Or soon thereafter)



CITY OF HIGHLAND NOTICE OF PUBLIC HEARING

**27215 Baseline, Highland, CA 92346
Telephone (909) 864-6861 FAX: (909) 862-3180**

CITY OF HIGHLAND NOTICE OF PUBLIC HEARING BEFORE THE CITY OF HIGHLAND APPEALS BOARD (BOARD)

This notice is to inform you of a hearing to be held before the City of Highland Appeals Board to determine whether certain conditions and/or uses are existing on the property identified as APN #1192-071-05, generally located at 9th St. and Sterling Ave., San Bernardino, CA 92410 (referred to hereafter as ("The Property")) continue to constitute public nuisance pursuant to the Highland Municipal Code & Ordinances of the City of Highland at the following place, date, and time.

TIME AND DATE OF HEARING: Tuesday, February 06, 2024, at 6:00PM

**LOCATION OF HEARING: City Hall Council Chambers 27215 Baseline
Highland, CA 92346**

You may bring any witnesses, pictures, photographs, reports, or any other exhibits to this hearing which you feel will establish or prove the Property is not a public nuisance. You may be represented by an attorney. You will have an opportunity to examine all evidence and witnesses testifying against you.

If the Appeals Board determines at the end of the hearing, that this Property is in fact a public nuisance, you will be ordered to abate the public nuisance or the condition thereof and your property will be assessed the City's administrative and incidental costs incurred up to that stage in the abatement process. This assessment will result in a lien upon your property until paid. Thereupon, if you fail to obey the Appeals Board's order to abate this nuisance, the City may do so for you, in accordance with applicable statutes [HMC Section 8.28.010 (A)(B)]. The costs and expense of abating the nuisance including the City's incidental and administrative expenses, may be recovered in an appropriate civil action, and will result in a lien upon the Property until it is paid. (HMC Section 8.28.020).

VIA CERTIFIED MAIL
RETURN SERVICE REQUESTED A
FIRST CLASS MAIL

The conditions of the Property constituting a public nuisance are as follows: The unpermitted construction of drive approaches encroaching into the public right-of-way and the unpermitted addition of ground cover (approximately 70,000 SF).

You may voluntarily abate the nuisance yourself by doing the following things:

Remove the unpermitted drive approaches and restore the city sidewalk to full height curb and gutter. Provide a grading, drainage, and water quality analysis report and, based on the determination of the report, obtain any applicable permits or remove.

If you choose to voluntarily abate this nuisance prior to this hearing, you may notify the Community Development Director at least three (3) days prior to the date of hearing set above, for a prehearing inspection.



Lawrence A. Mainez

Community Development Director

Cc: Code Enforcement File

ATTACHMENT “F”

Notice of Public Hearing, Affidavit of Mailing, dated
January 17, 2024

AFFIDAVIT OF MAILING

STATE OF CALIFORNIA)
COUNTY OF SAN BERNARDINO)

I am employed in the County of San Bernardino, State of California. I am over the age of 18 and not a party to the within action. My business address is City of Highland, 27215 Base Line, Highland, CA 92346.

On January 17, 2024, I caused to be served a copy of the attached Public Hearing Notice, Case #10694, Certified Mail, Return Receipt Requested, to the following parties: Hanhsing Li. Said service was made by placing a true copy thereof enclosed in a sealed envelope with postage thereon fully prepaid, in the United States Mail, at Highland, California, and addressed to the Parties as more fully detailed below.

Hanhsing Li
29310 Richardson Ct.
Highland, CA 92346

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct, and this Declaration was executed at Highland, CA, on January 17, 2024.

Dated: _____

01 / 17 / 24



Nicole Subia, Administrative Assistant III
City of Highland

EXHIBIT “2”

Aerial/Site Location Map



APN: 1192-071-05 (9th St. & Sterling Ave.)



EXHIBIT “3”

Image of sidewalk frontage dated October 2022





EXHIBIT “4”

Case photograph dated July 08, 2023



EXHIBIT “5”

Case photograph dated August 05, 2023



EXHIBIT “6”

Case photographs dated October 02, 2023



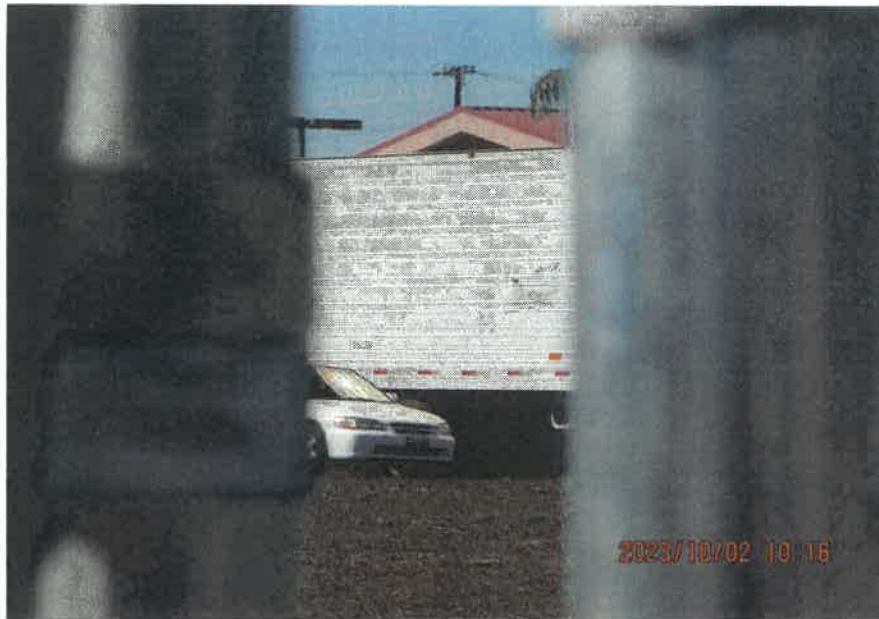








EXHIBIT “7”

Case photographs dated October 18, 2023





EXHIBIT “8”

Case photographs dated November 03, 2023





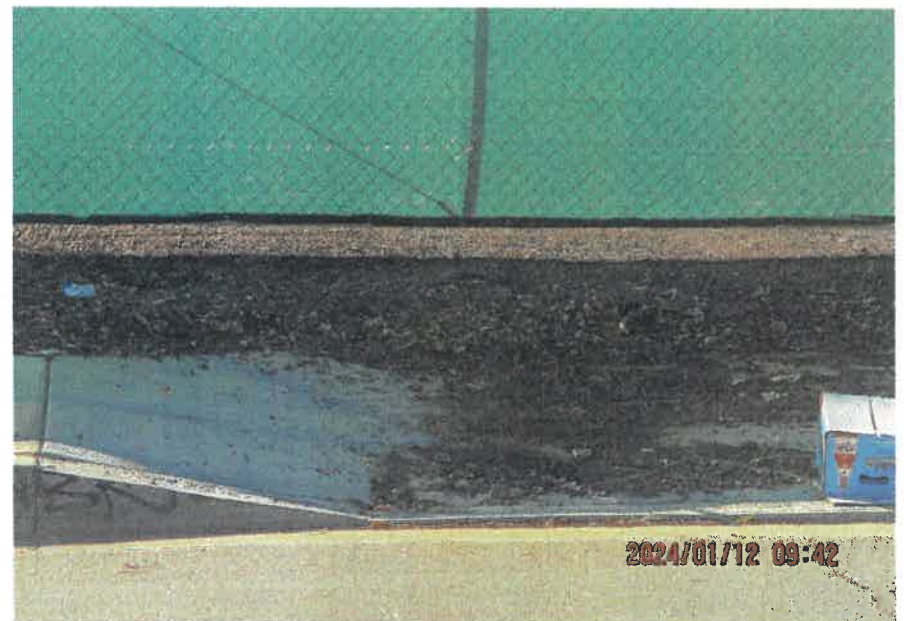
EXHIBIT “9”

Case photographs dated November 20, 2023

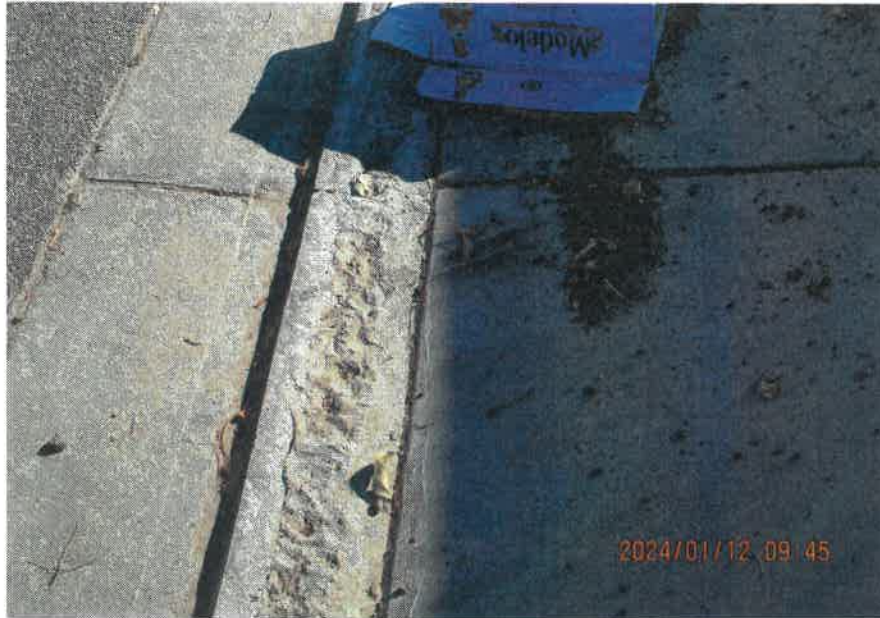


EXHIBIT “10”

Case photographs dated January 12, 2024







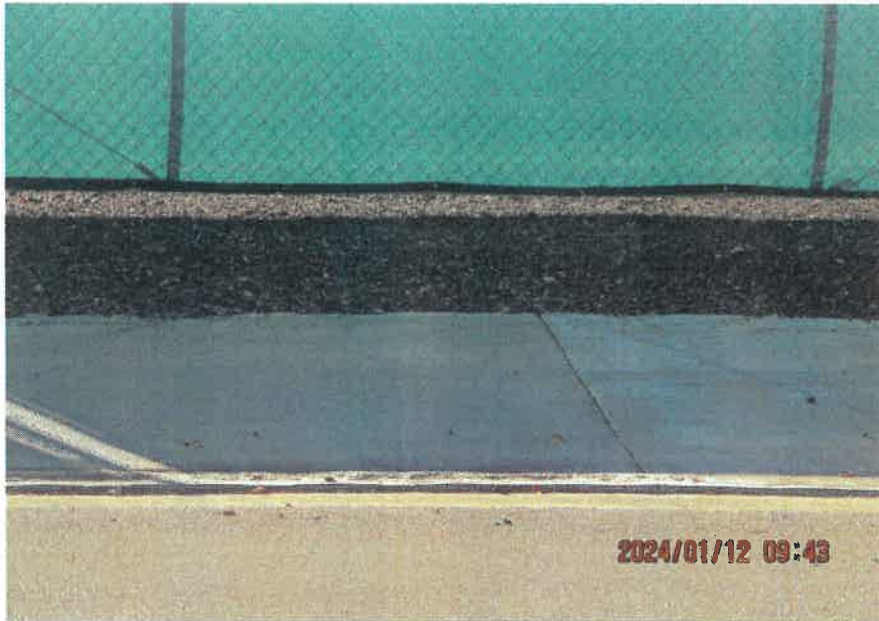








EXHIBIT “11”

Case photographs dated January 17, 2024

