

CITY OF HIGHLAND REGULAR MEETING OF THE PLANNING COMMISSION AGENDA

MEMBERS

Randall Hamerly, Chair
Chandra Thomas, Vice Chair
Craig Graves, Commissioner
Jarrod Miller, Commissioner
Vacant, Commissioner

REGULAR MEETING

June 4, 2024
6:00 p.m.
City Hall
Donahue Council Chambers
27215 Base Line
Highland, California

STAFF

Lawrence A. Mainez, Community Development Director
Kim Stater, Assistant Community Development Director
Angela Tafolla, Associate Planner
Travis Trejo, Assistant Planner
Tiffany Martinez, Assistant Planner
Camille Duarte, Administrative Assistant III
Matt Bennett, Assistant Public Works Director
Matt Wirz, Building Official
Scott Rice, City Landscape Architect

MISSION STATEMENT

Highland is dedicated to the betterment of the individual, the family, the neighborhood and the community. The City Council and the staff of Highland are dedicated to providing the quality of public facilities and services that its citizens are willing to fund and will do so as efficiently as possible.

Visit the City's Website at: www.cityofhighland.org

CITY OF HIGHLAND • 27215 BASE LINE • HIGHLAND, CALIFORNIA 92346 • (909) 864-6861 ☎ • (909) 862-3180 聒

In compliance with the Americans with Disabilities Act (ADA), if you need special assistance, please contact the City Clerk's office at (909) 864-6861, ext. 226, at least 72 hours prior to the meeting for any requests for reasonable accommodation to include interpreters.

Pursuant to Government Code Section 54957.5, any disclosable public records related to an open session item on a regular meeting agenda and distributed by the City of Highland to all or a majority of the Planning Commission, less than 72 hours prior to that meeting, are available for public inspection at Highland City Hall, 27215 Base Line, Highland, CA 92346, during normal business hours.

Submission of Public Comments: For those wishing to make public comments by email, please submit your comments by email to be read aloud at the meeting. Email comments must be submitted by 5:00 p.m. on June 4, 2024 to publiccomment@cityofhighland.org. If you are submitting a public comment pertaining to an item on the June 4, 2024 agenda, please identify the agenda item number in the subject line.

For those wishing to make public comments regarding a public hearing item please identify the agenda item in the subject line. Comments can be submitted any time prior to the meeting, as well as during the meeting up until the close of the public hearing on the corresponding item to be considered part of the record. Please email your comments at publiccomment@cityofhighland.org.

Members of the public will be permitted to make public comments in person.

**PLANNING COMMISSION
REGULAR MEETING AGENDA
June 4, 2024 - 6:00 P.M.**

CALL TO ORDER

PLEDGE OF ALLEGIANCE

COMMUNITY INPUT (ITEMS NOT ON THE AGENDA)

To address the Planning Commission, please complete a speaker form located at the entrance and give it to the Administrative Assistant prior to the beginning of the meeting. Your name will be called when it is your turn to speak. Individual speakers are limited to three minutes each. Comments received via email by June 4, 2024, 5:00 p.m., will be read into the record, provided that the reading shall not exceed three (3) minutes.

PUBLIC HEARING

1. Accessory Sign Review (ASR 23-005) Application by Harikrishna Gas, LLC to establish a comprehensive sign program for the installation of a corner monument 'City Gateway' identification sign, two (2) primary and two (2) secondary building-mounted business

identification signs, two (2) directional signs, and four (4) free-standing monument gas pricing signs. Additionally, compliance with a Design Review Condition of Approval for the final building colors and materials coordinated with the newly identified fueling station vendor (DRA 21-019). Applicant: Harikrishna Gas LLC. Address: 27408 5th Street

RECOMMENDATION:

Staff recommends the Planning Commission:

1. Adopt Resolution No. 2024-____ to approve Accessory Sign Review (ASR 23-005) to establish a sign program for a fueling station, convenience store, and carwash subject to the Conditions of Approval, and Findings of Fact;
2. Adopt Resolution No. 2024 - _____, approving the project's Building Elevations including colors and materials associated with Design Review Application (DRA 21-019); and
3. Direct Staff to file a Notice of Exemption with the County Clerk of the Board.

ANNOUNCEMENTS

ADJOURN

I, Camille Duarte, Administrative Assistant III of the City of Highland, California, certify that I caused to be posted this agenda on or before the 31st of May 2024 by 5:30 p.m. on our website at www.cityofhighland.org and in the following designated areas:

Highland Branch Library
7863 Central Avenue

Fire Station No. 1
26974 Base Line

City Hall
27215 Base Line

Date: May 31, 2024



Camille Duarte, Administrative Assistant III



STAFF REPORT

TO THE PLANNING COMMISSION

DATE: June 4, 2024

FROM: Lawrence A. Mainez, Community Development Director

REVIEWED BY: Kim Stater, Assistant Community Development Director *KS*

PREPARED BY: Tiffany Martinez, Assistant Planner *TM*

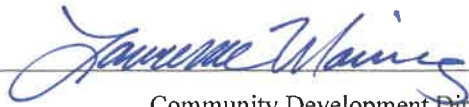
SUBJECT: Accessory Sign Review (ASR 23-005) Application by Harikrishna Gas, LLC to establish a Comprehensive Sign Program for the installation of a corner monument 'City Gateway' identification sign, two (2) primary and two (2) secondary building-mounted business identification signs, two (2) directional signs, and four (4) free-standing monument gas pricing signs. Additionally, compliance with a Design Review Condition of Approval for the final building colors and materials coordinated with the newly identified fueling station vendor (DRA 21-019).

LOCATION: 27408 5th Street, Highland, CA 92346
NEC Palm Ave. & W 5th St
Assessor's Parcel Number: 1201-031-14, 15, 19, 1201-311-02, 03, 04, & 05

(SB 1439 Campaign Contributions and Conflicts of Interest - Government Code Section 84308 is applicable)

OWNER/ APPLICANT: Harikrishna Gas LLC

REPRESENTATIVE: Donco & Sons Inc.

Approved _____	Motion _____	Second _____	Agenda Item No. <u>1</u>
Denied _____	Ayes _____		
Continued _____	Noes _____		File No. _____
Tabled _____	Abstain _____		
	Absent _____		
			
Recording Secretary		Community Development Director	

RECOMMENDATION: Staff recommends the Planning Commission:

1. Adopt Resolution No. 2024-_____ to approve Accessory Sign Review (ASR 23-005) to establish a sign program for a fueling station, convenience store, and carwash subject to the Conditions of Approval, and Findings of Fact;
2. Adopt Resolution No. 2024 - _____, approving the project's Building Elevations including colors and materials associated with Design Review Application (DRA 21-019); and
3. Direct Staff to file a Notice of Exemption with the County Clerk of the Board.

FISCAL IMPACT: The Applicant submitted the required flat fee for processing an Accessory Sign Review and Design Review Application.

ENVIRONMENTAL REVIEW: The establishment of a new sign program & the installation of onsite signage is Categorically Exempt from environmental proceedings pursuant to Section 15311, Class No. 11 (Accessory Structures). The installation of the signs are considered minor structures accessory to an existing commercial facility. An environmental exemption was initially approved for the vehicle fueling station on May 21, 2023, when the land use entitlement was approved.

PUBLIC NOTICE: As required by City Council Resolution, notice of the meeting was posted at the City's three designated posting locations. The notice was posted on the City's website, mailed to property owners within 300 feet of the project site and to parties requesting notice.

PUBLIC COMMENT: Staff as of printing of the Staff Report, received no public comment letters for the proposed project.

DESCRIPTION OF SITE: The project site is located at the northeast corner of Palm Avenue and 5th Street, a signalized intersection defined by the General Plan as a "major highway" (Exhibit A – Area Map). The property is composed of seven (7) parcels approximately 1.83 acres in size. Currently, the property is vacant.

PREVIOUS ACTION: On March 21, 2023, the Planning Commission adopted Resolutions No. 2023-009, -010, -011, -012, -013, recommending the City Council approve General Plan Amendment (GPA 22-001) and Zone Change (ZC 22-001) to change the land use and zoning designation of seven (7) parcels located at the northeast corner of 5th Street and Palm Avenue from to Industrial (I) to Business Park (BP) for the development of a vehicle fueling station, convenience store, and carwash as part of

Conditional Use Permit (CUP 22-008), Design Review Application (DRA 21-019), and Tentative Parcel Map No. 19209 (TPM 22-006).

In the Planning Commission's review of the project design, the Planning Commission brought up items to be addressed during the submittal of revised plans. First, the southern elevation of the convenience store building, which will be exposed to direct sunlight and lacks a brow or awning over the entrance and windows to provide a more welcoming appeal for patrons entering the convenience store. The Planning Commission requested the Applicant provide a revised southern elevation of the building incorporating an awning matching the color scheme of the confirmed fueling tenant as part of the Sign Program application submittal.

Additionally, the Planning Commission expressed concern over the stacking of semi-trucks exiting the site to the south, onto 5th Street. The Planning Commission ultimately requested the Applicant submit an onsite circulation plan depicting passenger vehicle access to the fuel pumps under the main canopy while semi-trucks are stacked at the entrance at Meines Court, under the diesel canopy, and exiting onto 5th Street to the south.

Lastly, the Planning Commission requested the Applicant submit finalized elevations for the two fueling canopies that include corporate symbols and decals on the fuel pumps, a revised convenience store and carwash building color scheme, and a corner statement with wrought iron embellishments and the City logo.

On May 9, 2023, the City of Highland City Council approved General Plan Amendment (GPA 22-001) and Zone Change (ZC 22-001) to change the land use and zoning designation of seven (7) parcels located at the northeast corner of 5th Street and Palm Avenue from to Industrial (I) to Business Park (BP) for the development of a vehicle fueling station, convenience store, and carwash as part of Conditional Use Permit (CUP 22-008), Design Review Application (DRA 21-019), and Tentative Parcel Map No. 19209 (TPM 22-006).

On May 16, 2023, Planning Commission approved a Conditional Use Permit (CUP 23-007) for the approval of a Type 20 ABC License for off-sale Beer and Wine at an approved convenience store and fueling station.

PROJECT REVIEW:

SIGN PROGRAM

The purpose of a Comprehensive Sign Program is to ensure all project related signage is integrated into a design that is cohesive with the onsite buildings and accessory structures. Shell Gasoline will be the fuel merchant.

The Sign Program proposes a corner monument 'City Gateway' identification sign, two (2) primary and two (2) secondary building-mounted business identification signs, two (2) directional signs, and four (4) free-standing monument gas pricing signs.

Proposed Monument Signs – Signs “A” and “B”

The Shell Gas Station/Citrus Food Mart Sign Program proposes site specific guidelines for four (4) monument signs located at Palm Avenue and 5th Street. Identified on the Site Plan of the Sign Program, two (2) Sign “A”s are Shell price monument signs located at each of the two drive accesses. The two (2) monument signs are 7 feet 6 ¼ inches in height and 12 feet 1 inch in width, inclusive of a 2-foot-tall “Castaway” stacked stone base. Sign “B” are two (2) non Shell products diesel gas price monument signs will be located in the center of landscape off of both Palm Avenue and 5th Street. The two (2) monument signs are 5 feet in height and 3 feet 2 inches in width, inclusive of a 1-foot, 10 inch tall “Castaway” stacked stone base. Each of the four (4) proposed monument signs on the site will feature modern LED screens allowing the tenant to monitor fuel pricing electronically.

Proposed Building Mounted Signs – Signs “E” and “F”

The Sign Program also proposes site specific guidelines for building mounted signage for the convenience store and carwash. The Applicant is looking to place two (2) signs on the exterior, southside of the building facing Greenspot Road. The first is the “Citrus Food Mart” sign, spans approximately 11 feet in width and 6 feet in height, along the southern frontage of the building above the convenience store entrance. At just approximately 49 square feet in sign area, the second sign is the “Citrus Food” building mounted sign is comprised of individual illuminated channel letters and accounts for approximately 4% of the building face.

In addition a proposed secondary “Krispy Krunchy Chicken” sign spans approximately 5 feet in width and 4 feet in height, along the southern frontage of the building above and to the left of the convenience store entrance. At just approximately 18 square feet in sign area, the “Krispy Krunchy Chicken” building mounted sign is comprised of a single illuminated logo can sign.

The carwash on the northern side of the of the building purposes one (1) sign. The “Orange Express Wash” sign, spans approximately 14 feet in width and 6 feet in height, along the northern (rear). At approximately 57 square feet in sign area, the “Orange Express Wash” building mounted sign is comprised of individual illuminated channel letters and accounts for approximately 4% of building face. The eastern and western sides of the carwash, will include purposed “Enter” and “Exit” directional signs. The “Enter” sign is approximately 4 feet in width and 10 inches in height along the eastern side above the vehicle entrance of the building. The “Exit” sign is approximately 5.5 feet in width and 10 inches in height along the eastern side of the building. The total square footage for both the “Enter” and “Exit” signs are 5.7 square feet.

Additionally, mounted to the diesel canopy is a digital price sign – Sign “D”. Located on the southern side of the diesel canopy is a sign approximately 11 feet 2 inches in width and 3.5 feet in height, approximately 23.5 square feet in area.

Branding

In addition to the monument and building mounted signs, there is Shell branding on the fuel canopy with six (6) gasoline pumps. The fuel canopy will feature three (3) 4'x4' Shell logos can sign with LED signs along with a curved yellow Aluminum Composite Material ACM panel trim along the upper portions of the canopies. Each of the gasoline pumps will also be finished in Yellow Panels. Colors to match the Shell corporate color scheme.

Corner Gateway Monument Sign

The sign program proposes a corner gateway monument sign with the channel lettering and City of Highland logo on the corner of Palm Avenue and 5th Street. The corner gateway monument sign is approximately 3 feet 9 inches in height and 9

feet 5 inches in width. At just 36 square feet in structure area. The sign will have a stone veneer to match the corner monument sign on the southwest corner.

BUILDING ELEVATIONS

The applicant is seeking approval of the final building colors and materials coordinated with the newly identified fueling station vendor, an action carried over from Design Review Application (DRA 21-019).

The convenience store building and attached carwash is a traditional retail commercial structure, 4,627 square feet and 1,733 square feet, respectively. At twenty-two (22) feet in height, the exterior has a typical stucco finish with brick accent cladding all around the bottom half of building. The primary color of the stucco will be a “Satin Purse” light nude tone, the accent popouts will be a “Ricon Cove” tan tone, while the trim along the rooflines will be a “Weathered Brown” dark brown. The doors and windows will be dual paned glass finished in a black anodized metal trim (Exhibit B – Elevations).

ANALYSIS: Because the project includes a fueling station, convenience store, food service (Krispy Krunchy Chicken) and car wash, it is permitted to apply for a Comprehensive Sign program in which the Sign Regulations act as guidance.

Highland Municipal Code Section 16.56 Sign Regulations states:

- *Monument signs located on a commercial property with a property frontage of 100-299 feet are allowed an overall height of 7 feet from finished grade to the top of the sign face along with a maximum sign area of 54 square feet. (The 5th Street frontage is 275')*

- *Monument signs located on commercial property with a property frontage of 300 or more feet are allowed an overall height of 10 feet from finish to grade under the sign to top of sign face. (The Palm Avenue frontage is 302')*
- *Building mounted signs are allowed one (1) per business, per street frontage, and up to three (3) street frontages. The total aggregate sign area of the building mounted signs, including the area of awning signs or similar signs affixed to the building elevation, shall not exceed 10% of the storefront to which the sign is attached, or 100 square feet, whichever is less. The signs shall also not be mounted above the roof line. Lastly, the sign length shall be no more than 75% of the business frontage.*
- *Subject to the submittal of a comprehensive sign program, the planning commission may approve alternative sign areas and heights depending upon a project's architecture, size, scale, massing, aesthetics and other proposed signs (more than one monument sign per street frontage).*

The proposed Shell Gas Station sign program satisfies the intent of a Comprehensive Sign Program (HMC 16.56.180.C) and its required findings in that it will not adversely affect nearby properties, is consistent with the general plan, achieves the purpose of Chapter 16, and will not constitute the granting of a special privilege.

The sign program identifies site specific guidelines and standards for the building mounted signs, the freestanding monument signs, as well as the corner monument. The installation of the monument signs and building mounted signs will not conflict with the line of sight, other street frontage signs, or contribute to an overabundance of signs along the street and the building. These signs will provide visibility and foot traffic that is required for the operation of a gas station and convenience store. Staff recommends the Planning Commission approve Accessory Sign Review (ASR 23-005), subject to the Conditions of Approval and Findings of Facts.

With respect to the colors and materials presented for the Building Elevations, staff finds them to be appropriate for the building style and prominent gateway location. The elevations of the convenience store and carwash building offer contemporary architectural treatments such as stucco, ledgerstone, and anodized metal that are complimentary to the other two (2) fueling stations located at the other corners of the Palm Avenue and 5th Street intersection. Staff recommends approval of this proposed project, subject to the Conditions of Approval and Findings of Fact.

EXHIBITS:

- A. Area Map
- B. Design Review Application (DRA 21-019) Elevations
- C. Proposed Sign Program

ATTACHMENTS:

1. Planning Commission Resolution No. 2024 - ____ for the Sign Program
2. Planning Commission Resolution No. 2024 - ____ for the Building Elevations

EXHIBIT A
Area Map



EXHIBIT B
Building Elevations



Fuel Stations, C-Store and Carwash for:

Harikrishna Gas Inc

27408 5th Street
Highland, CA 92346

Revision		
Number	Description	Date
1	Plan Correction #1	2/12/2024

BUILDING ANALYSIS		CODE REQUIREMENTS		PROJECT INFORMATION																																															
PROPOSED OCCUPANCY: GROUP M & B CONSTRUCTION TYPE: TYPE V-B BUILDING HEIGHT & STORIES: C-STORE & CARWASH (1 STORY) = 22'-0" GAS & DIESEL CANOPIES (1 STORY) = 18'-6" FIRE SPRINKLERS: YES - NFPA 13 - UNDER SEPARATE SUBMITTAL BUILDING AREA: C-STORE = 4,827 SQ.FT. CARWASH = 1,733 SQ.FT. GAS CANOPY = 4,598 SQ.FT. DIESEL CANOPY = 2,872 SQ.FT. ALLOWABLE FLOOR AREA PER TABLE 505.2 OCCUPANCY "M" - S1 (V-B) = 38,000 SQ.FT. OCCUPANCY "B" - S1 (V-B) = 38,000 SQ.FT. C-STORE: OCCUPANCY "M" = 6,360 SQ.FT. < 36,000 S.F. = OK CARWASH: OCCUPANCY "B" = 1,733 SQ.FT. < 36,000 S.F. = OK GAS CANOPY: OCCUPANCY "B" = 4,598 SQ.FT. < 36,000 S.F. = OK DIESEL CANOPY: OCCUPANCY "B" = 2,872 SQ.FT. < 36,000 S.F. = OK TOTAL AREA = 13,830 SQ.FT. < 36,000 S.F. = OK ALLOWABLE BUILDING HEIGHT TABLE 504.3 "M" & "B" (S) TYPE V-B = 60' C-STORE/CARWASH BUILDING = 22'-0" < 60' = OK GAS & DIESEL BUILDING = 18'-6" < 60' = OK ALLOWABLE NUMBER OF STORIES TABLE 504.4 "M" (S) TYPE V-B = 2 STORIES "B" (S) TYPE V-B = 3 STORIES C-STORE & CANOPY BUILDINGS = 1 STORY = OK REQUIRED SEPARATION OF OCCUPANCY TABLE 508.4 "M" - "B" = NO SEPARATION WITH (S) AUTOMATIC SPRINKLERS		# Comments 1 2022 CALIFORNIA BUILDING CODE 2 2022 CALIFORNIA PLUMBING CODE 3 2022 CALIFORNIA MECHANICAL CODE 4 2022 CALIFORNIA ELECTRICAL CODE 5 2022 CALIFORNIA FIRE CODE 6 2022 CALIFORNIA ENERGY EFFICIENCY CODE 7 2022 CALIFORNIA GREEN BUILDING CODE OCCUPANCY (SEE EGRESS/PATH OF TRAVEL PLAN & FIRE EXTINGUISH LOCATIONS) OCCUPANT LOAD CALCULATIONS <table><tr><th>OCCUPANCY</th><th>OCCUPANCY LOAD FACTOR</th><th>AREA</th><th>LOAD</th></tr><tr><td>MERCANTILE</td><td>60</td><td>2,824</td><td>2.16</td></tr><tr><td>MERCANTILE - STORAGE, STOCK, SHIPPING AREAS</td><td>300</td><td>1,177</td><td>0.25</td></tr><tr><td>BUSINESS</td><td>150</td><td>68</td><td>2.20</td></tr><tr><td>UNUSABLE SPACE (WALLS, COLUMNS, ETC.)</td><td></td><td>1,944</td><td>0.15</td></tr><tr><td>TOTAL SQUARE FOOTAGE</td><td></td><td>6,013</td><td>-</td></tr><tr><td>TOTAL OCCUPANTS</td><td></td><td>63</td><td>-</td></tr><tr><td>REQUIRED EXITS</td><td></td><td>2</td><td>-</td></tr></table> EGRESS WIDTH PER SECTION 1005. ALL COMPLY FRONT ENTRY: 22 X 2 = 4'-0" DOOR = 88" BACK DOOR: 2 X 2 = 4'-0" DOOR = 88" MAX. TRAVEL DISTANCE TO EXIT = 150'-0" WITHOUT SPRINKLERS PER CHAPTER 10: COMPLIED WITH EXIT REQUIREMENTS DUE TO OCCUPANCY PER CHAPTER 10. PROVIDE EITHER PANIC HARDWARE OR UNLOCKED EXIT WITH A READILY VISIBLE DURABLE SIGN POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE DOOR AND STATING A FOLLOWS: "THIS DOOR TO REMAIN UNLOCKED WHEN SPACE IS OCCUPIED." THE SIGN SHALL BE IN LETTERS 1" HIGH ON CONTRASTING BACKGROUND. NEW PORTABLE FIRE EXTINGUISHERS MUST BE 2A-10LB. MIN ONE PER 1500 S.F. WITH SALES RECEIPT. ELECTRICAL ROOM & WITHIN 75' TRAVEL DISTANCE SHALL BE (CLASS C) CO2 TYP. ALL EXISTING PORTABLE FIRE EXTINGUISHERS WILL BE REQUIRED TO HAVE CURRENT INSPECTION TAGS.		OCCUPANCY	OCCUPANCY LOAD FACTOR	AREA	LOAD	MERCANTILE	60	2,824	2.16	MERCANTILE - STORAGE, STOCK, SHIPPING AREAS	300	1,177	0.25	BUSINESS	150	68	2.20	UNUSABLE SPACE (WALLS, COLUMNS, ETC.)		1,944	0.15	TOTAL SQUARE FOOTAGE		6,013	-	TOTAL OCCUPANTS		63	-	REQUIRED EXITS		2	-	OWNER VIRAJ PATEL HARIKRISHNA GAS INC. 8202 BELLA VISTA DRIVE RANCHO CUCAMONGA, CA 91701 PHONE: 909-996-3861... ARCHITECT WSDS DESIGN CONTACT: WADE SHUEY 2501 E. GUASTI RD, #201 ONTARIO, CA 91761 P: 909-252-9765 WADE@WSDSDSIGN.COM STRUCTURAL PAUL ROHRER STRUCTURAL ENGINEERS CONTACT: PAUL ROHRER 17291 IRVINE BLVD. #152 TUSTIN, CA 92780 P: 714-272-8579 EMAIL: PAUL@PRSEINC.COM MECHANICAL, ELECTRICAL & PLUMBING ENERGY DESIGN CONSULTING ENGINEERS PAUL KIM 4275 N. PALM ST. #100 FULLERTON, CA 92835 P: 662-754-8107 PAUL.KIM@CDOL.SYS.COM REFRIGERATION CONSULTANT ENERGY DESIGN CONSULTING ENGINEERS PAUL KIM 4275 N. PALM ST. #100 FULLERTON, CA 92835 P: 662-754-8107... GEOTECHNICAL ENGINEERS EARTH STRATA GEOTECHNICAL SERVICES, INC. 42184 REMINGTON AVE. TEMECULA, CA 92590 P: 951-461-4028 PROJECT No. 213995-108 DATE: 10/19/2021 PROJECT ADDRESS NEC PALM AVE. & W. 5TH STREET HIGHLAND, CA 92346 COUNTY NAME SAN BERNARDINO APN 1201-311-02, 1201-311-03, 1201-311-04, 1201-311-05, 1201-301-14, 1201-301-15, & 1201-301-19 LEGAL DESCRIPTION TRACT 3202 LOT 6 TRACT NO 3202 ROYAL PALMS TRACT NO 1 LOT 6 TOGETHER WITH THE VAC ALLEY TO THE EAST EX ST. OCCUPANCY EXISTING: VACANT LAND PROPOSED: M PROPOSED LAND USE RETAIL / COMMERCIAL CONSTRUCTION TYPE TYPE V-B FIRE SPRINKLERS YES BUILDING AREAS: C-STORE: 4,827 S.F. CAR WASH: 1,733 S.F. 6 MPD CANOPY: 4,598 S.F. HIGH SPEED DIESEL CANOPY: 2,872 S.F. TRASH ENCLOSURE: 241 S.F. BUILDING HEIGHT (MAX HEIGHT: 45'-0") C-STORE: 22'-0" CAR WASH: 22'-0" 6 MPD CANOPY: 18'-6" HIGH SPEED DIESEL CANOPY: 18'-6" SITE COVERAGE: 78,636 S.F. AIRPORT OVERLAY ZONE D - TRAFFIC PATTERN ZONE - LOW RISK LEVEL															
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AREA SCHEDULE LOT COVERAGE <table><tr><th>Name</th><th>Area</th><th>Area Type</th><th>Lot Coverage %</th></tr><tr><td>AC Paving</td><td>40704 SF</td><td>Exterior Area</td><td>51%</td></tr><tr><td>Diesel Canopy</td><td>2872 SF</td><td>Exterior Area</td><td>4%</td></tr><tr><td>Gas Canopy</td><td>4598 SF</td><td>Exterior Area</td><td>6%</td></tr><tr><td>Landscaping</td><td>23352 SF</td><td>Exterior Area</td><td>29%</td></tr><tr><td>Sidewalk</td><td>1521 SF</td><td>Exterior Area</td><td>2%</td></tr><tr><td>Trash Enclosure</td><td>241 SF</td><td>Exterior Area</td><td>0%</td></tr><tr><td>Exterior Area</td><td>73268 SF</td><td></td><td></td></tr><tr><td>C-Store</td><td>4827 SF</td><td>Store Area</td><td>6%</td></tr><tr><td>Car Wash</td><td>1733 SF</td><td>Store Area</td><td>2%</td></tr><tr><td>Store Area</td><td>6360 SF</td><td></td><td></td></tr><tr><td>Grand Total</td><td>79648 SF</td><td></td><td></td></tr></table>		Name	Area	Area Type	Lot Coverage %	AC Paving	40704 SF	Exterior Area	51%	Diesel Canopy	2872 SF	Exterior Area	4%	Gas Canopy	4598 SF	Exterior Area	6%	Landscaping	23352 SF	Exterior Area	29%	Sidewalk	1521 SF	Exterior Area	2%	Trash Enclosure	241 SF	Exterior Area	0%	Exterior Area	73268 SF			C-Store	4827 SF	Store Area	6%	Car Wash	1733 SF	Store Area	2%	Store Area	6360 SF			Grand Total	79648 SF			PROJECT DESCRIPTION 1. THE PROJECT INVOLVES (7) SEVEN PARCELS TOTALING APPROXIMATELY 1.86 NET ACRES. 2. PROPOSED C-STORE WITH AN ATTACHED ROLL OVER CAR WASH. 3. PROPOSED SIX MPD FUELING CANOPY. 4. PROPOSED HIGH SPEED DIESEL CANOPY. 5. PROPOSED 22 PARKING STALLS INCLUDING 2 VACUUM, 1 ADA, AND 2 EVCS. 6. ONSITE IMPROVEMENTS CONSIST OF ON-SITE PARKING, WQMP AREAS, SITE CIRCULATION, LANDSCAPING AND SITE LIGHTING. 7. OFFSITE IMPROVEMENTS CONSIST OF RIGHT OF WAY DEDICATION, NEW UTILITY CONNECTIONS, UPDATED SIGNALIZED INTERSECTION, SIDEWALK / CURB AND GUTTERS, AND DRIVEWAY APPROACHES. 8. PROPOSED ZONE CHANGE TO BUSINESS PARK. 9. PROPOSED ALCOHOL SALES.	
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Fuel Stations, C-Store and
Carwash for:

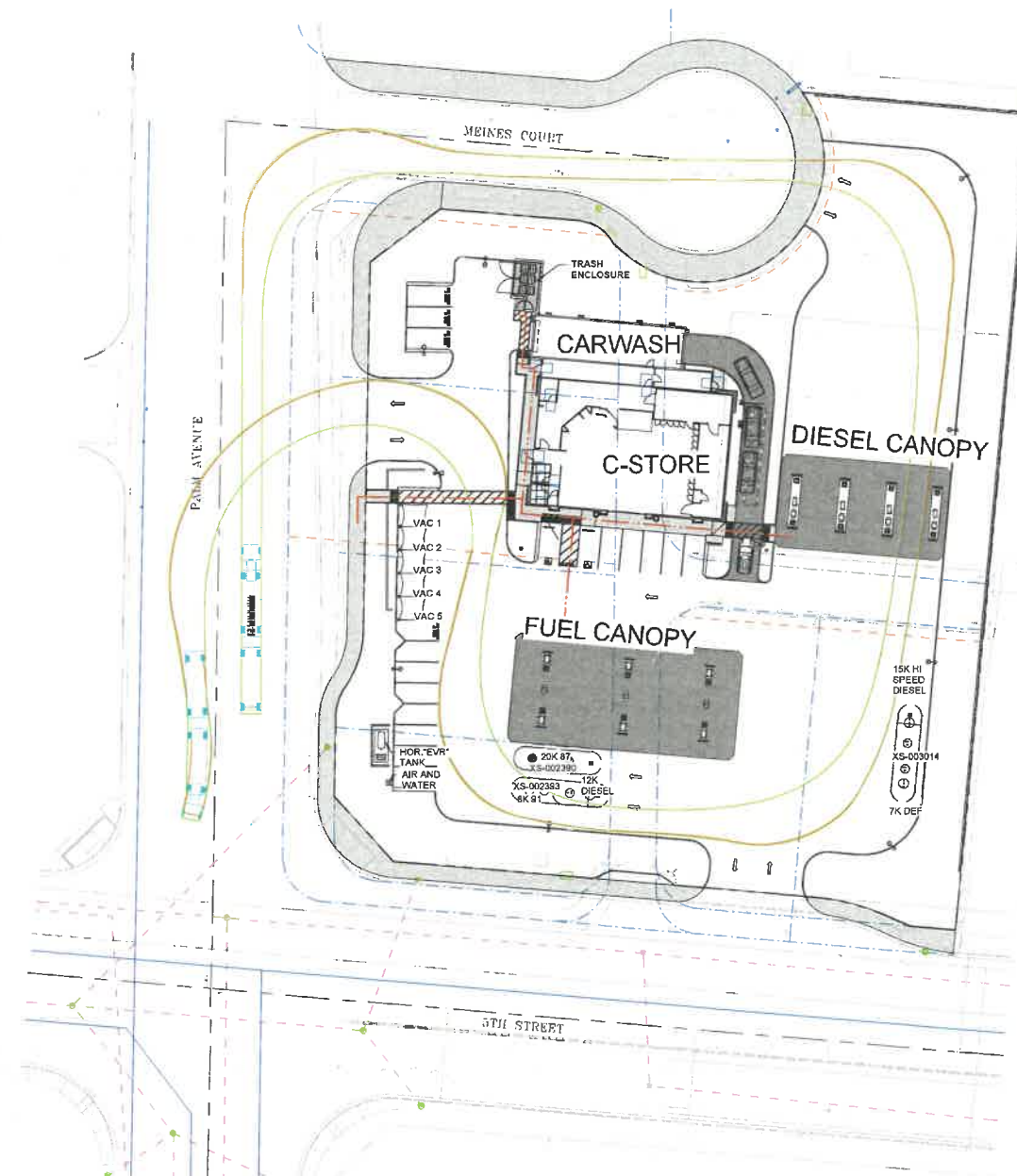
Harikrishna Gas Inc

23-606
11/30/2023

27408 5th Street
Highland, CA 92346

DR100

Cover Sheet



1 Site Plan
1" = 30'-0"

Site Legend
--- ACCESSIBLE EXIT PATH

Parking Analysis

PARKING REQUIRED
C-STORE BUILDING: 4,620 S.F. / 1,000 S.F. x 4 = 19
PARKING REQUIRED: 19 SPACES

PARKING PROVIDED: 12 SPACES
ADA ACCESSIBLE: 1 SPACE
ADA VAN ACCESSIBLE: 1 SPACE
VOLUME: 5 SPACES
EVCS PARKING PROVIDED: 4 SPACES
TOTAL: 23 SPACES

C-STORE 4,620 S.F. (5.5 / 1000) = 25.41
GAS CANOPY 4,598 S.F. (12 PUMPS) = 12.0
DIESEL CANOPY 2,872 S.F. (3 PUMPS) = 3.0

BIKE PARKING TABULATION
PER 2022 CALIFORNIA GREEN STANDARDS CODE SECTION 5.106.4.1 & 5.106.4.2
VEHICULAR PARKING SPACES: REQUIRED = 19 PROVIDED = 23

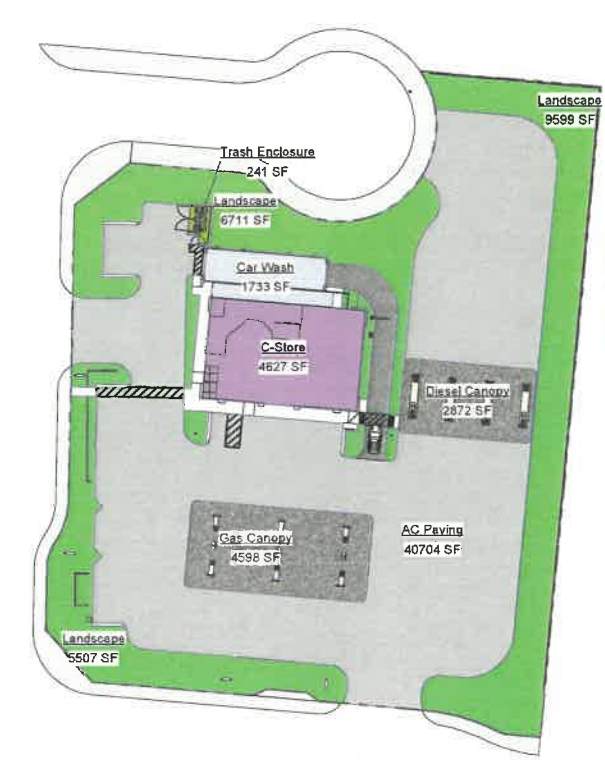
- SHORT-TERM BICYCLE PARKING SHALL BE 5% OF NEW ADDED PARKING. NO NEW ADDED PARKING. MINIMUM OF ONE TWO-BIKE RACK.
- LONG-TERM BICYCLE PARKING SHALL BE 5% OF 10 OR MORE ADDED PARKING. MINIMUM OF ONE.

23 X 5% = 1 SHORT-TERM TWO-BIKE RACK REQUIRED
23 X 5% = 1 SHORT-TERM TWO-BIKE RACK PROVIDED
23 X 5% = 1 LONG-TERM TWO-BIKE RACK REQUIRED
1 LONG-TERM TWO-BIKE RACK PROVIDED

AREA SCHEDULE LOT COVERAGE			
Name	Area	Area Type	Lot Coverage %
AC Paving	40704 SF	Exterior Area	51%
Diesel Canopy	2872 SF	Exterior Area	4%
Gas Canopy	4598 SF	Exterior Area	6%
Landscape	23352 SF	Exterior Area	29%
Sidewalk	1521 SF	Exterior Area	2%
Trash Enclosure	241 SF	Exterior Area	0%
Exterior Area	73268 SF		
C-Store	4627 SF	Store Area	6%
Car Wash	1733 SF	Store Area	2%
Store Area	6360 SF		
Grand total	79848 SF		



Number	Revision	Date
1	Plot Correction #1	2/12/2024
2	Plotting and File #2	4/22/2024



Area Plan

Rentable Area Legend

- AC Paving
- C-Store
- Car Wash
- Diesel Canopy
- Gas Canopy
- Landscape
- Sidewalk
- Trash Enclosure

Fuel Stations, C-Store and Carwash for:

Harikrishna Gas Inc

23-606
11/30/2023
27408 5th Street
Highland, CA 92346



DR101

Site Plan



Revision		
Number	Description	Date



Fuel Stations, C-Store and
Carwash for:

Harikrishna Gas Inc

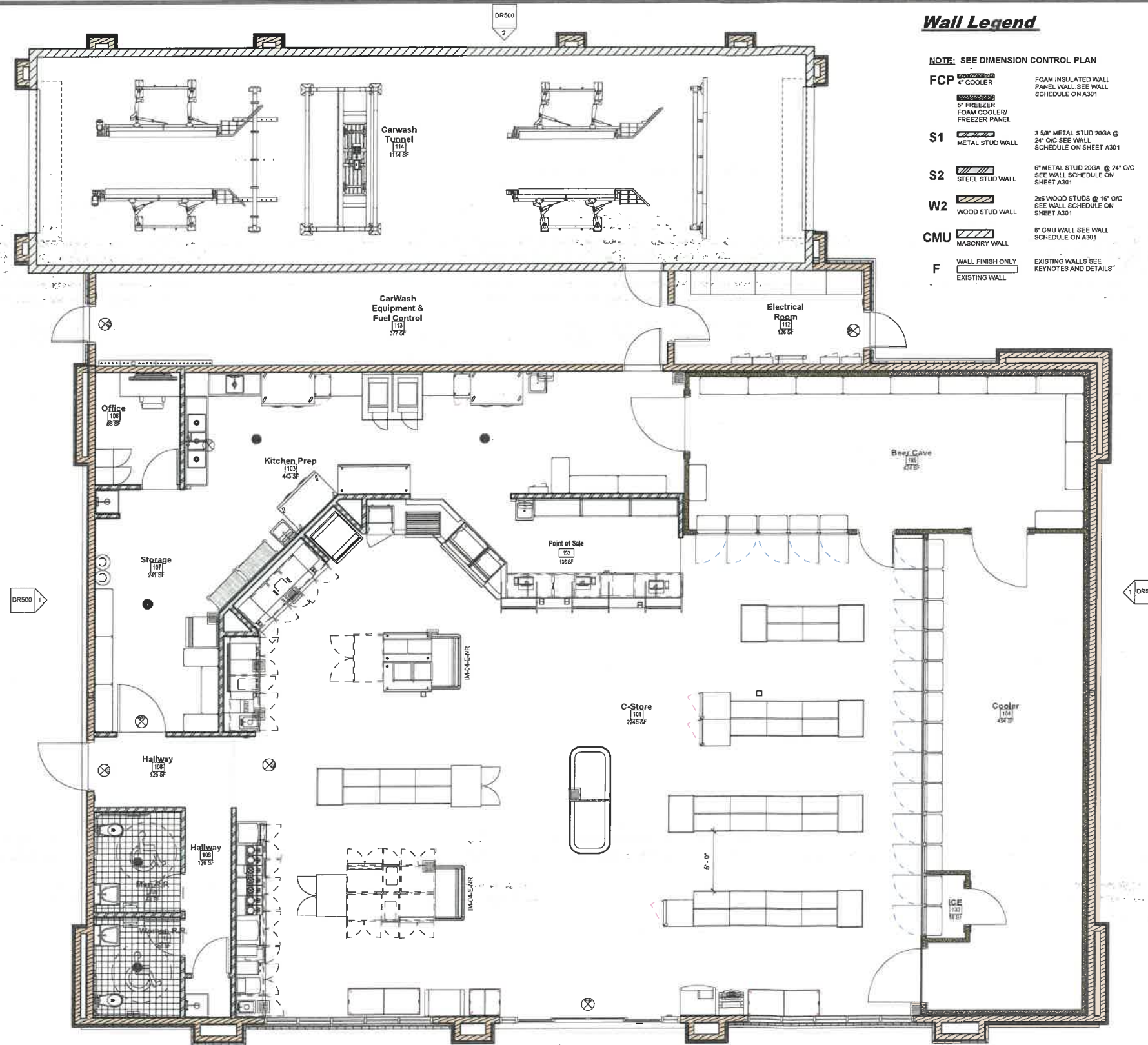
23-606

11/30/2023

27408 5th Street
Highland, CA 92346

DR102

Renderings



1 **First Floor Plan**
1/4" = 1'-0"



**Gas Station, C-Store and
Retail Store For:**

Harikrishna Gas Inc

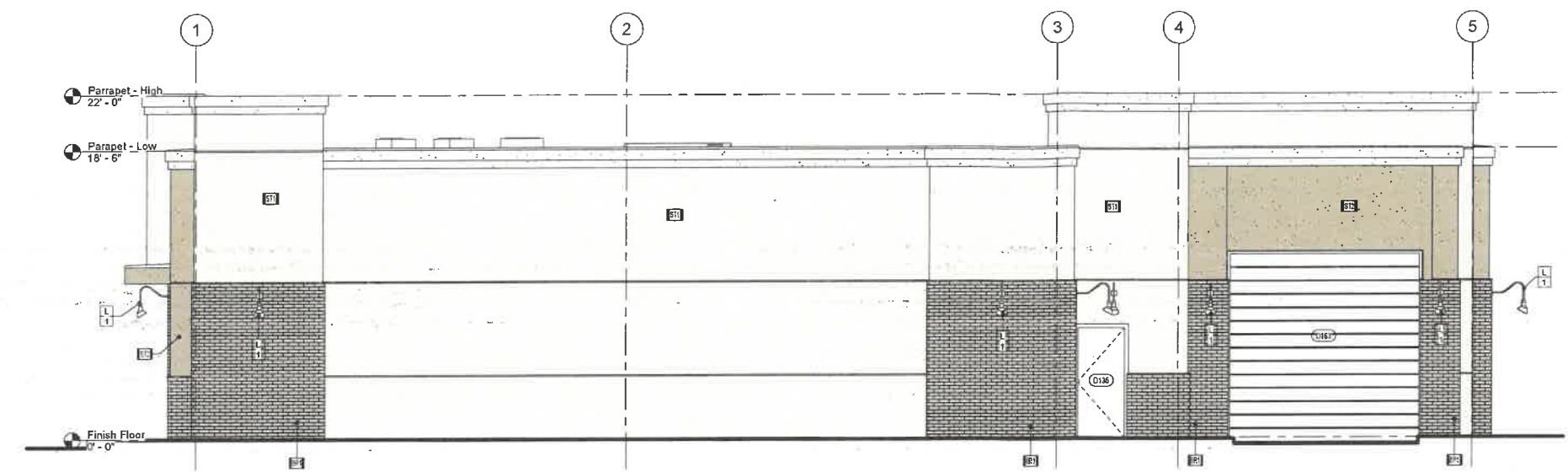
23-606

11/30/2023

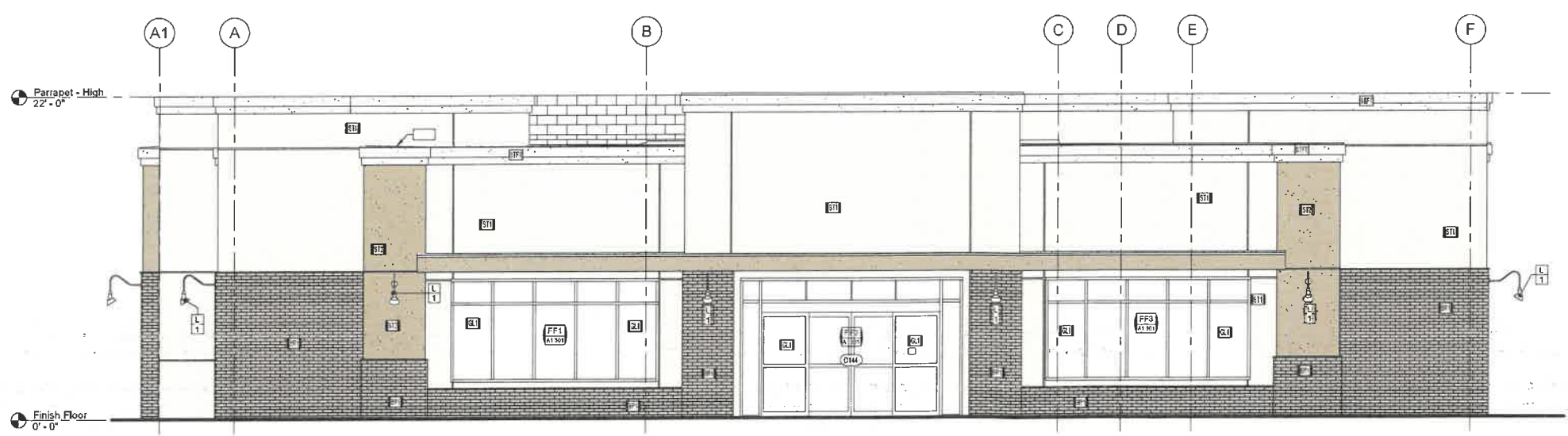
**NEC of Palm Ave & E 5th St,
Highland, CA 92346**

DR200

Floor Plan



1
DR - South Elevation
1/4" = 1'-0"



2
DR - West Elevation
1/4" = 1'-0"

Revision				Date
Number	Description			Date
Material Abbreviation - DR				
Material Mark	Material Description	Material Manufacturer	Material Model	Material Image
BR1	Synthetic Brick Veneer	Eldorado Stone	Roma, Brick-Bracciano	
GB08	5/8" Type "X" Green Gypsum Board	GP or Equival	Green Gypsum Board (Wet or Tile Backing)	
ST1	7/8" Exterior Cement Plaster	La Habra Stucco	Color Match with Dunn Edwards Color DEW505 Seltin Purse	
ST2	7/8" Exterior Cement Plaster	La Habra Stucco	Color Match with Dunn Edwards Colors Ransom Cove DEC757	
STFT	Expanded Polystyrene Insulation Trim Shaped	La Habra Stucco	Color Match with Dunn Edwards Color DEC756 Weathered Brown	

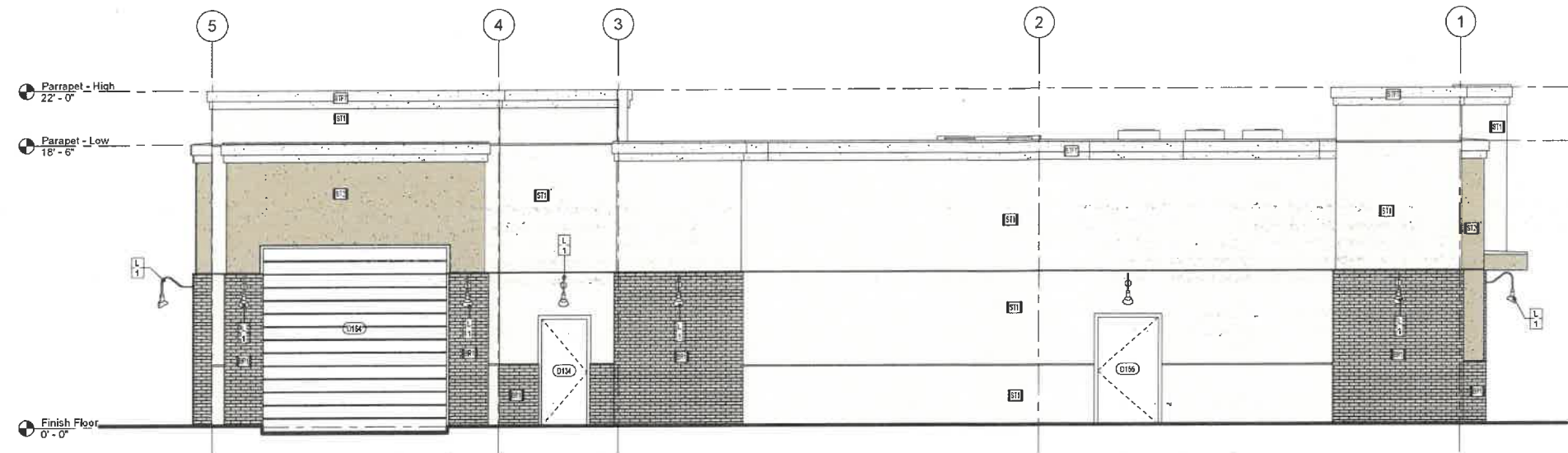
Gas Station, C-Store and
Retail Store For:

Harikrishna Gas Inc

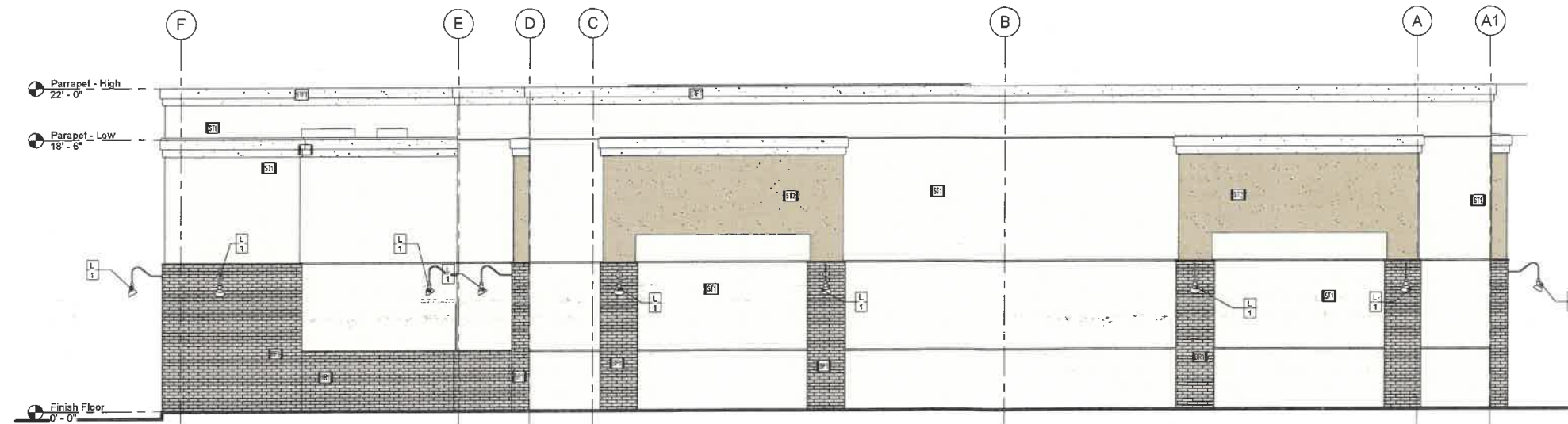
23-606
11/30/2023
**NEC of Palm Ave & E 5th St,
Highland, CA 92346**

DR501

Exterior Elevations



1 DR - North Elevation
 1/4" = 1'-0"



2 DR - East Elevation
 1/4" = 1'-0"

Material Abbreviation - DR				
Material Mark	Material Description	Material Manufacturer	Material Model	Material Image
BR1	Synthetic Brick Veneer	Eldorado Stone	Roma_Brick-Bracciano	
GG8	5/8" Type "X" Green Gypsum Board	GP or Equal	Green Gypsum Board (Wet or Tie Backing)	
ST1	7/8" Exterior Cement Plaster	La Habra Stucco	Color Match with Dunn Edwards Color DEC4005 Satin Pura	
ST2	7/8" Exterior Cement Plaster	La Habra Stucco	Color Match with Dunn Edwards Colors Rincon Cove (DEC757)	
STFT	Expanded Polystyrene Insulation Trim Shaped	La Habra Stucco	Color Match with Dunn Edwards Color DEC756 Weathered Brown	

Gas Station, C-Store and Retail Store For:

Harikrishna Gas Inc

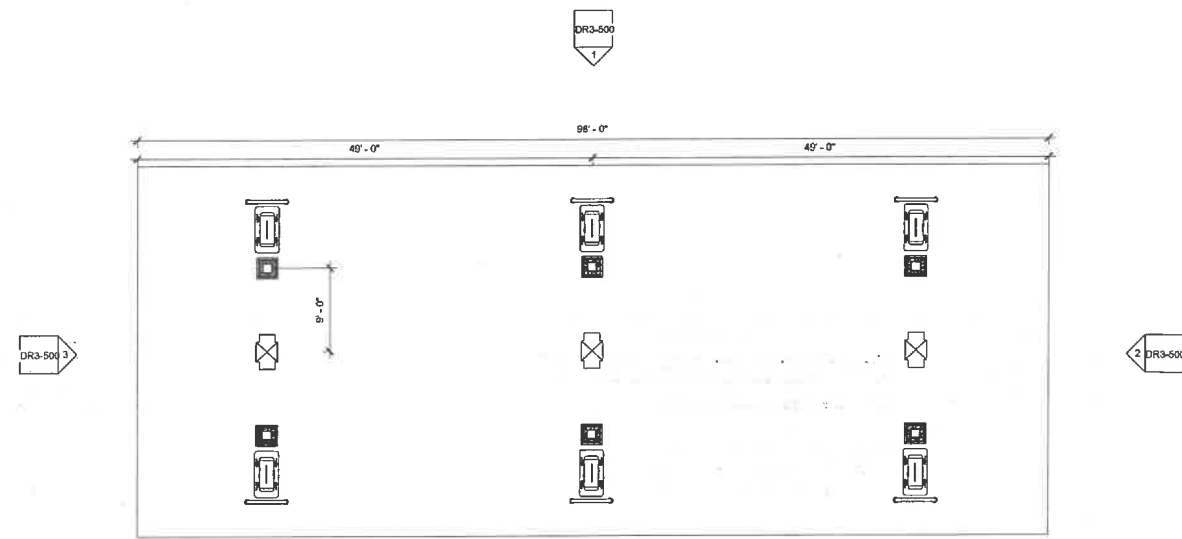
23-606

11/30/2023

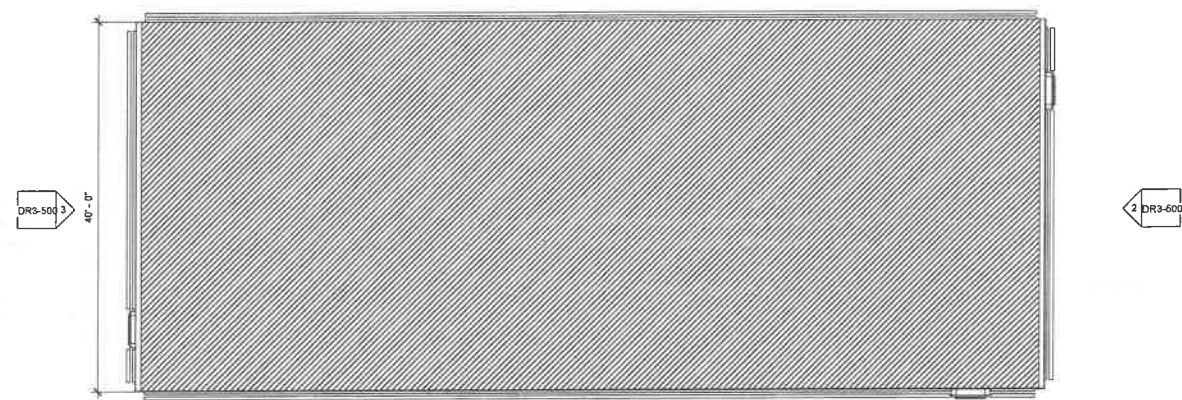
NEC of Palm Ave & E 5th St,
Highland, CA 92346

DR500

Exterior Elevations



1 **DR - FLOOR PLAN**
1/8" = 1'-0"

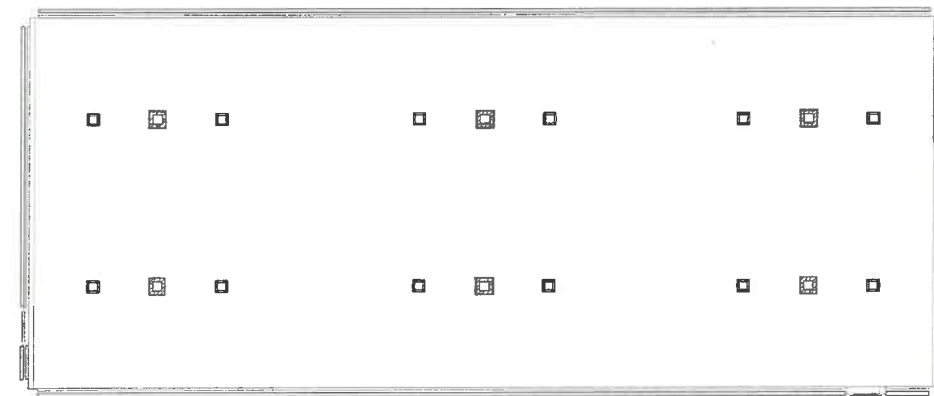


2 **DR - ROOF PLAN**
1/8" = 1'-0"

Keynote Legend	
Key Value	Keynote Text



Revision		
Number	Description	Date



3 **DR - Ceiling Plan**
1/8" = 1'-0"



Gas Station, Fuel Canopy For:

Harikrishna Gas Inc

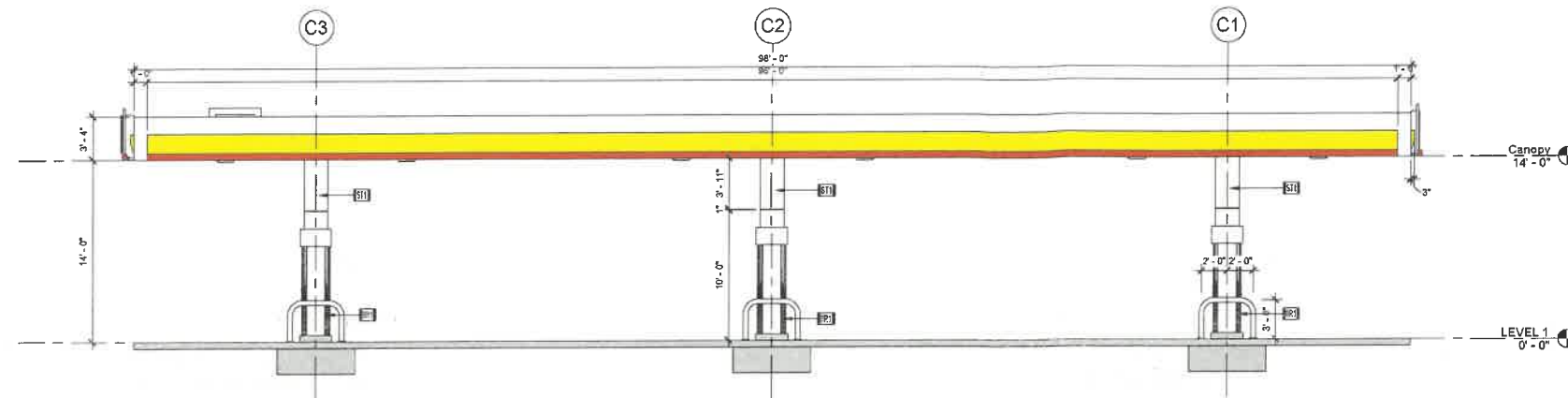
23-606

11/30/2023

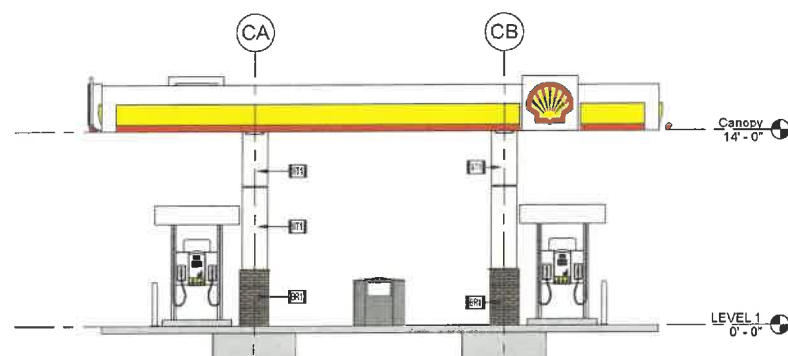
NEC of Palm Ave & E 5th St,
Highland, CA 92346

DR3-200

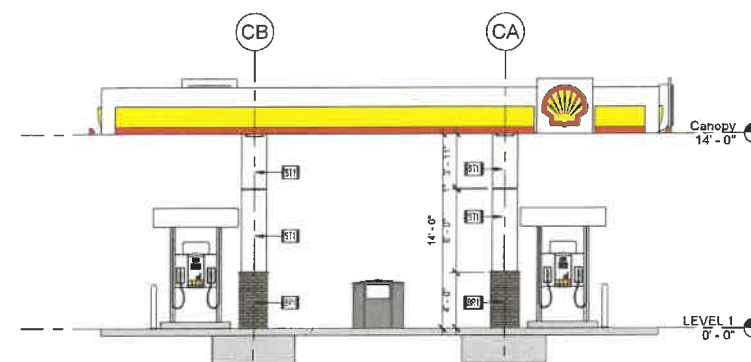
**Floor, Ceiling and Roof
Plans**



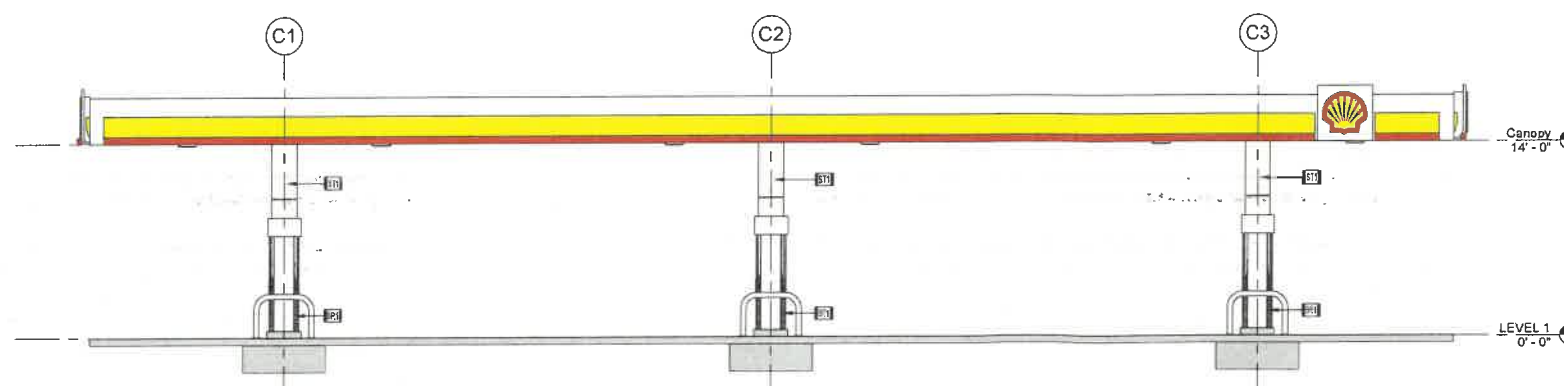
1 **DR - Fuel Canopy - North Elevation**
3/16" = 1'-0"



2 **DR - Fuel Canopy - East Elevation**
3/16" = 1'-0"



3 **DR - Fuel Canopy - West Elevation**
3/16" = 1'-0"



4 **DR - Fuel Canopy - South Elevation**
3/16" = 1'-0"

Revision		
Number	Description	Date

Gas Station, Fuel Canopy For:

Harikrishna Gas Inc

23-606

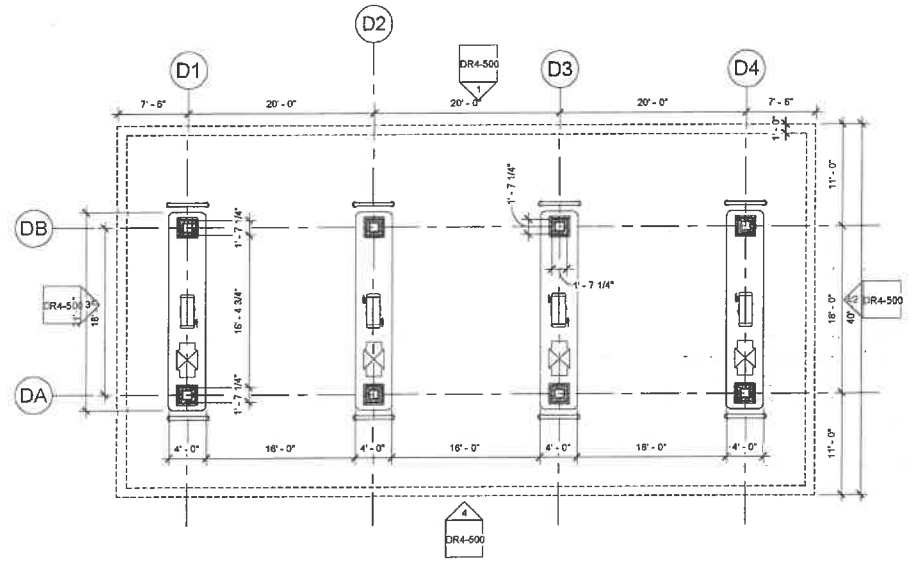
11/30/2023

NEC of Palm Ave & E 5th St,
Highland, CA 92346

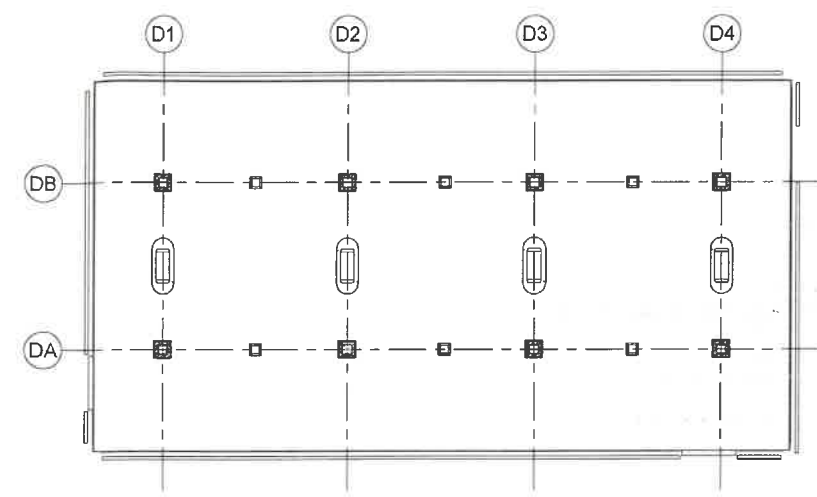
DR3-500

Elevations

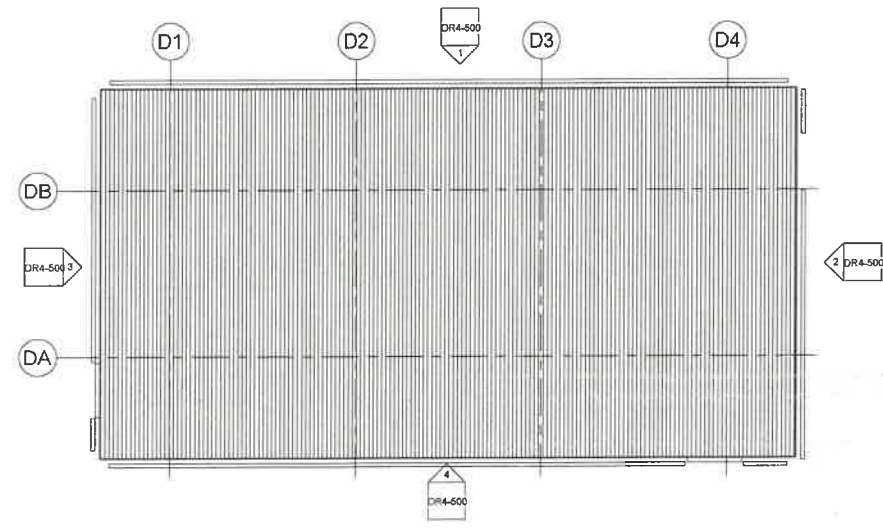
Revision		
Number	Description	Date



1 **DR - Floor Plan - Diesel Canopy**
1/8" = 1'-0"



2 **DR - Reflective Ceiling Plan**
1/8" = 1'-0"



3 **DR - Roof Plan - Diesel Canopy**
1/8" = 1'-0"



**Gas Station, Diesel Fuel
Canopy For:**

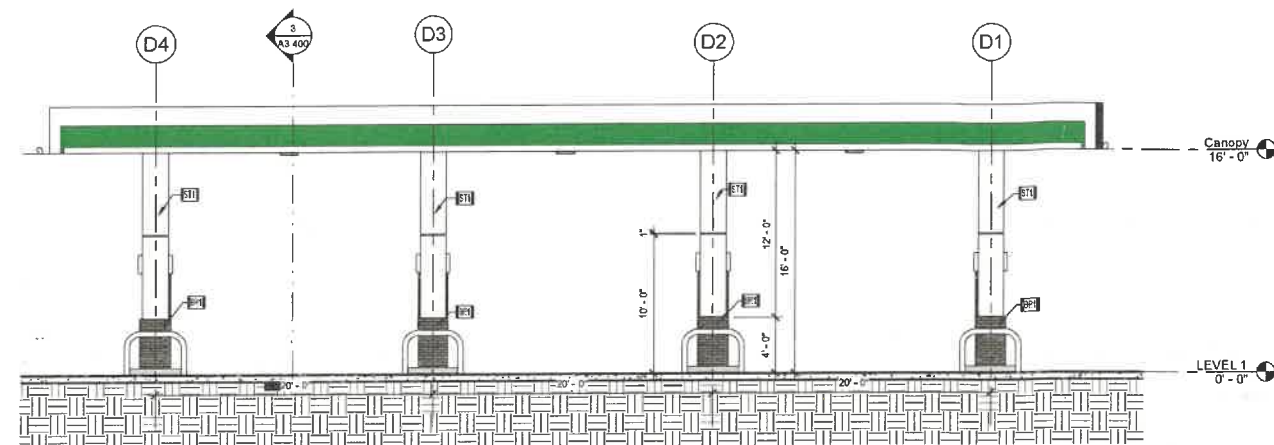
Harikrishna Gas Inc

23-606
11/30/2023

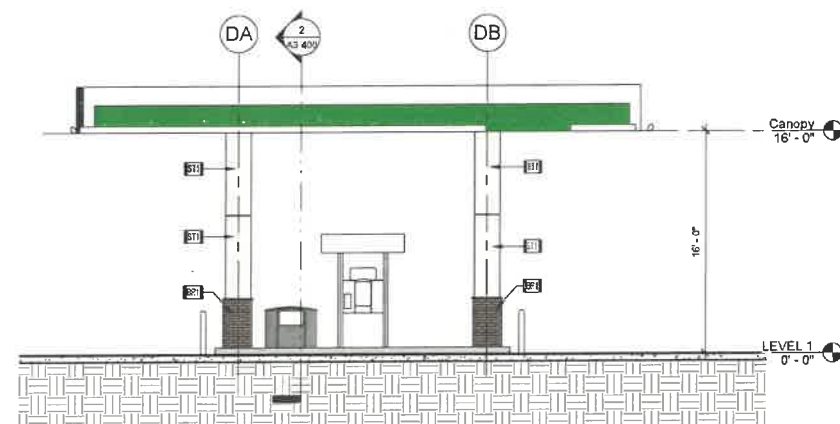
**NEC of Palm Ave & E 5th St,
Highland, CA 92346**

DR4-200

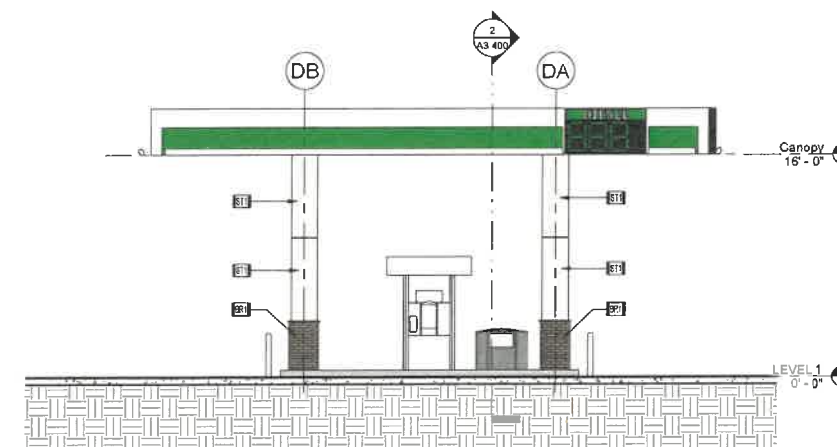
**Floor, Ceiling and Roof
Plans**



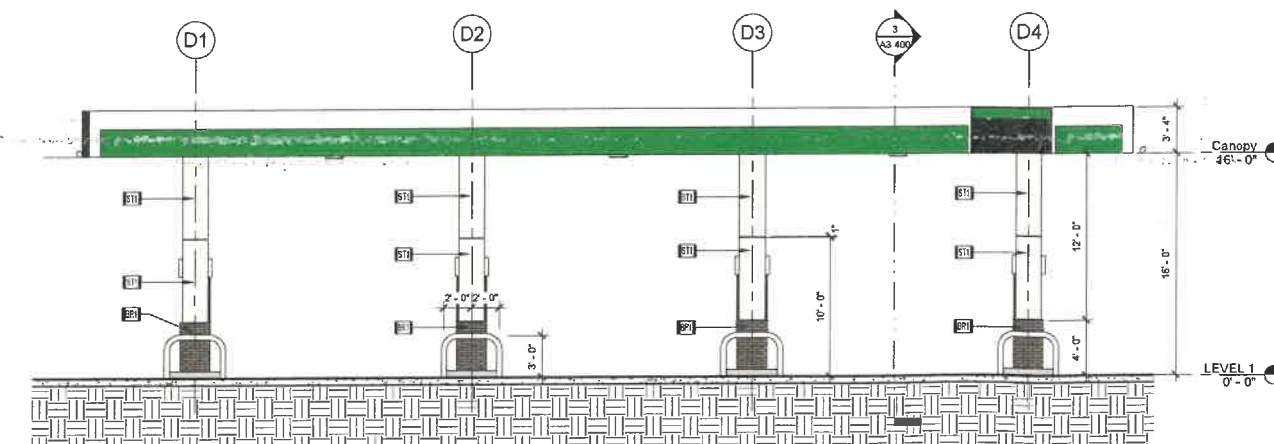
1 **DR - Diesel Canopy - North Elevation**
3/16" = 1'-0"



2 **DR - Diesel Canopy - East Elevation**
3/16" = 1'-0"



3 **DR - Diesel Canopy - West Elevation**
3/16" = 1'-0"



4 **DR - Diesel Canopy - South Elevation**
3/16" = 1'-0"

Gas Station, Diesel Fuel
Canopy For:

Harikrishna Gas Inc

23-606

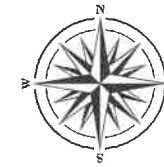
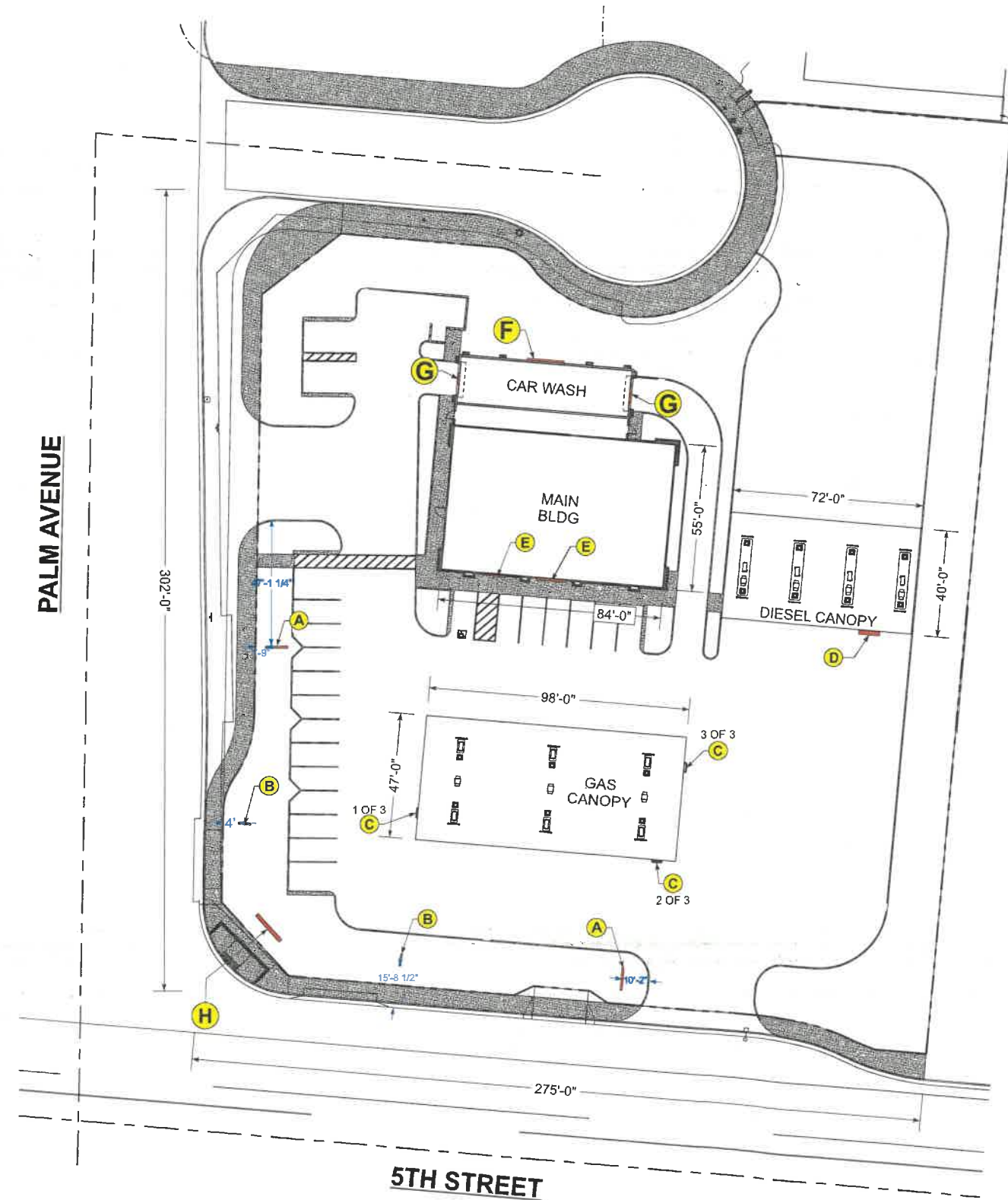
11/30/2023

NEC of Palm Ave & E 5th St,
Highland, CA 92346

DR4-500

Elevations

EXHIBIT C
Comprehensive Sign Program



SCOPE OF WORK

- A** NEW MONUMENT PRICE SIGNS
QUANTITY: TWO (2)
- B** NEW E-85 PRICE SIGNS
QUANTITY: TWO (2)
- C** NEW CANOPY FASCIA SIGNS
QUANTITY: THREE (3)
- D** NEW DIESEL CANOPY DIGITAL PRICER
QUANTITY: ONE (1)
- E** NEW BUILDING WALL SIGN
QUANTITY: TWO (2)
- F** NEW CAR WASH WALL SIGN
QUANTITY: ONE (1)
- G** NEW ENTER & EXIT SIGNS
QUANTITY: ONE (1) EACH
- H** NEW CORNER MONUMENT



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Signs • Lighting • Electrical

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Ph: (714) 779-0099 Fx: (714) 779-0198
CA St. Lic. #435616 C10-C45-C61

CUSTOMER:



SITE PLAN

PROJECT ADDRESS:

SHELL STATION
NEC PALM AVE. & W 5TH ST.
HIGHLAND, CA 92346

DATE: 10-5-23

REVISION	DATE
1	12-6-23
2	3-12-24
3	3-29-24
4	5-1-24

SCALE: NTS

SHEET NUMBER

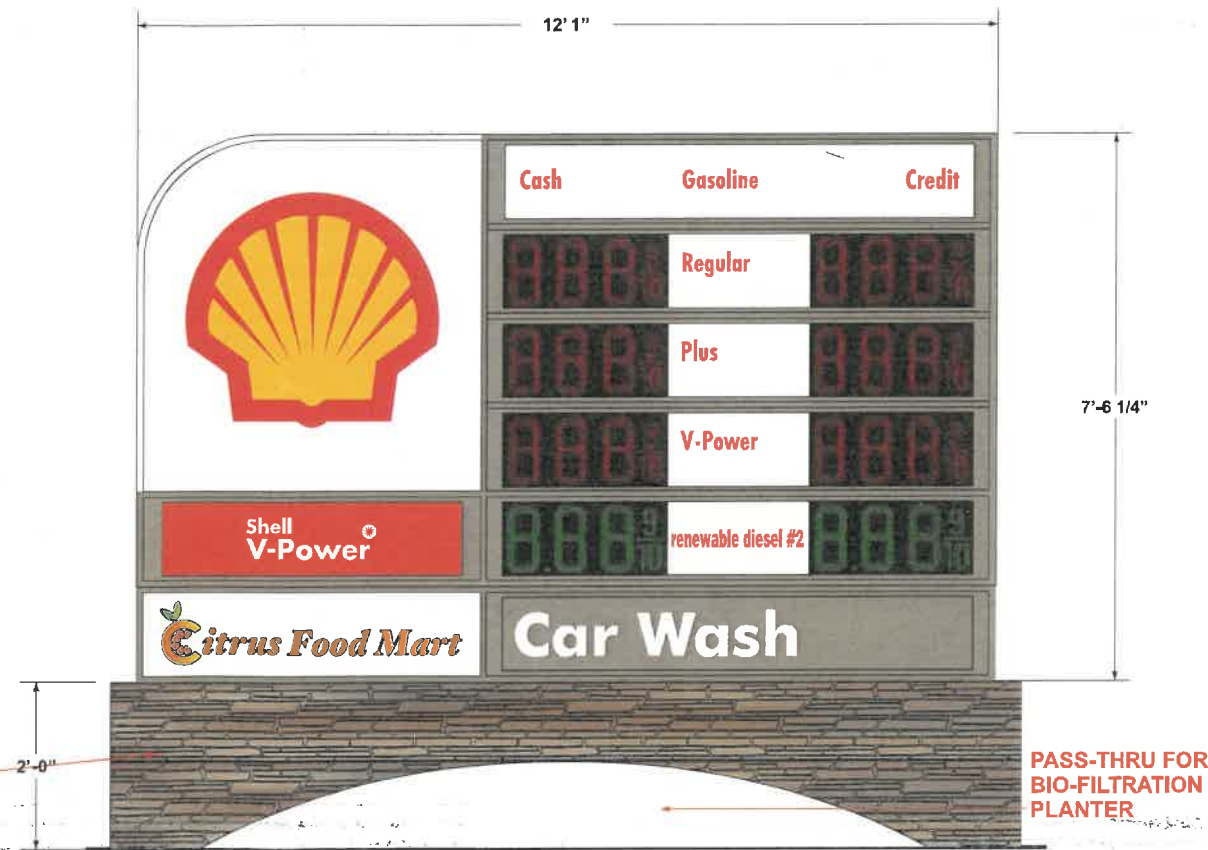
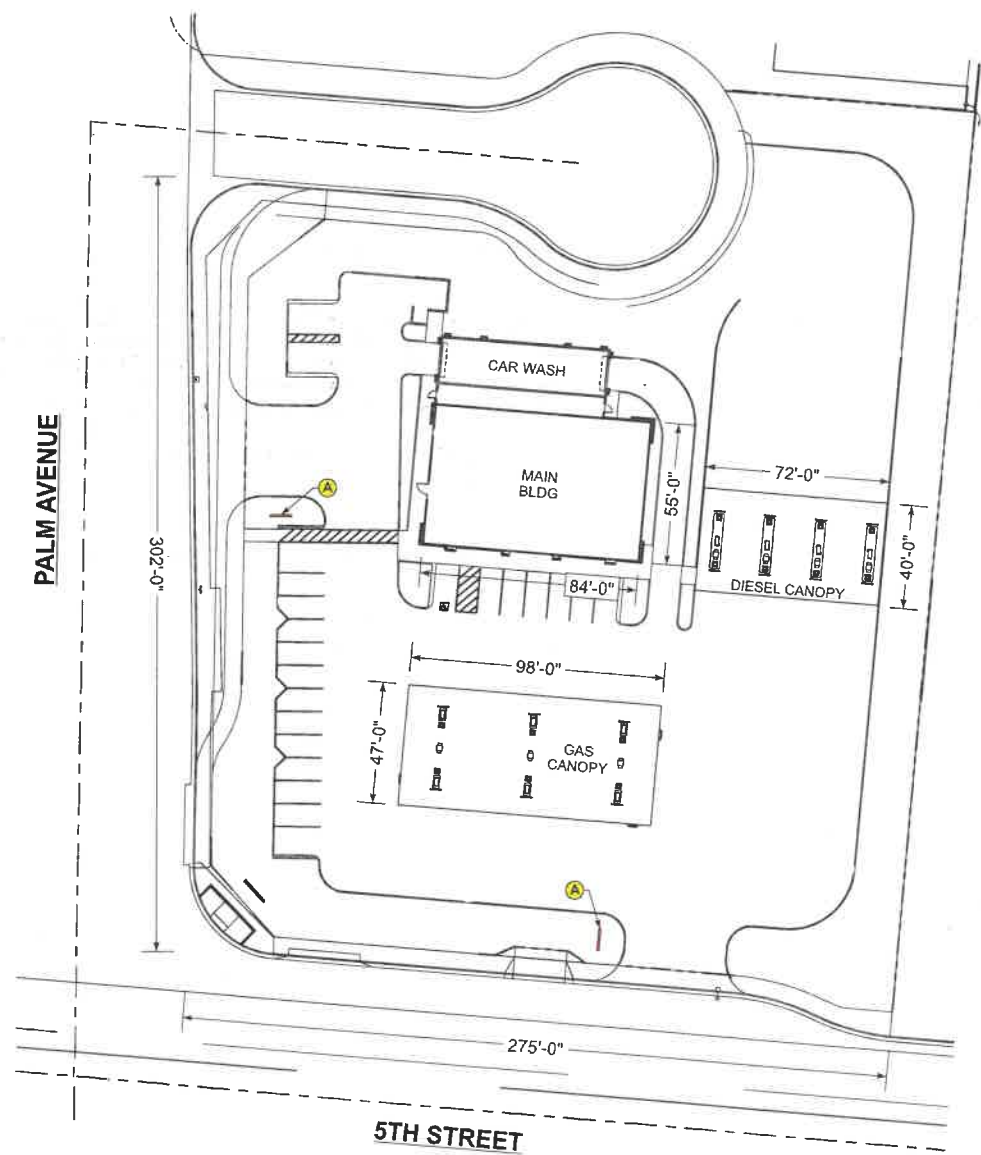
1 OF 11

DRAWN: A.S.

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TO MATCH BUILDING

3
C

MANUFACTURER: ELDORADO STONE - TEL: (800) 925-1491
 STYLE: STACKED STONE
 COLOR: CASTAWAY
 ICC REPORT No.: ESR-1215

A NEW MONUMENT PRICE SIGN 91 SQ.FT.
 INTERNALLY-ILLUMINATED QTY: TWO (2)



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 CA St. Lic. #435616 C10-C45-C61

CUSTOMER:



SIGN PLAN

PROJECT ADDRESS:
 SHELL STATION
 NEC PALM AVE. & W 5TH ST.
 HIGHLAND, CA 92346

DATE: 10-5-23

REVISION	DATE
1	12-6-23
2	3-12-24
3	3-29-24
4	5-1-24

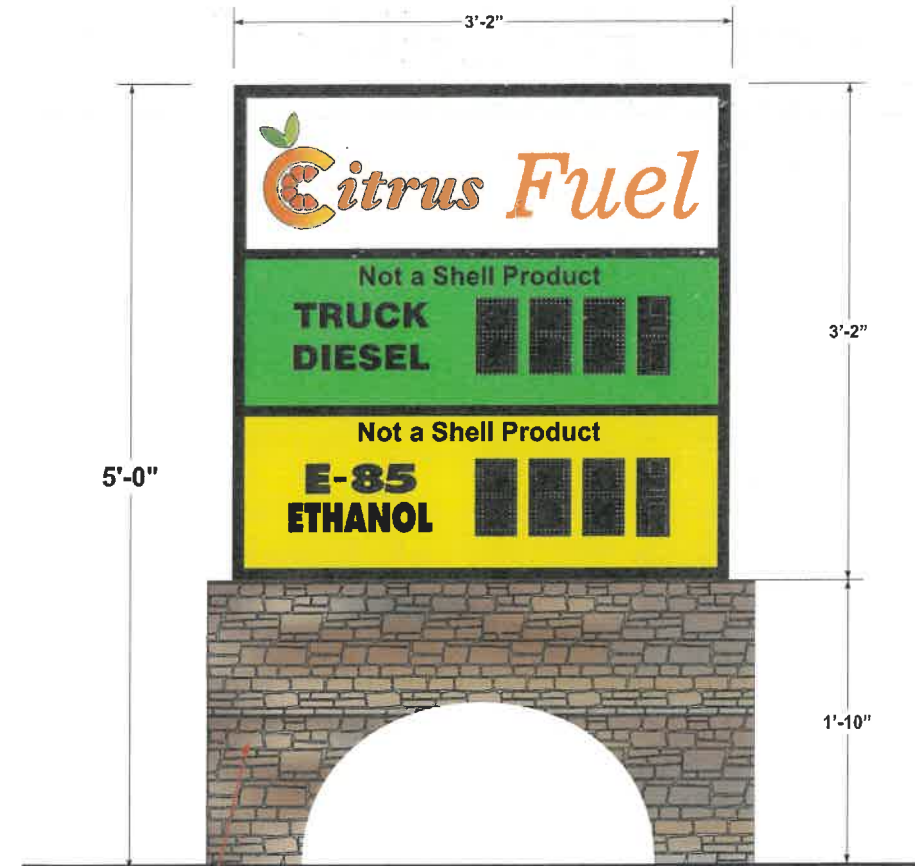
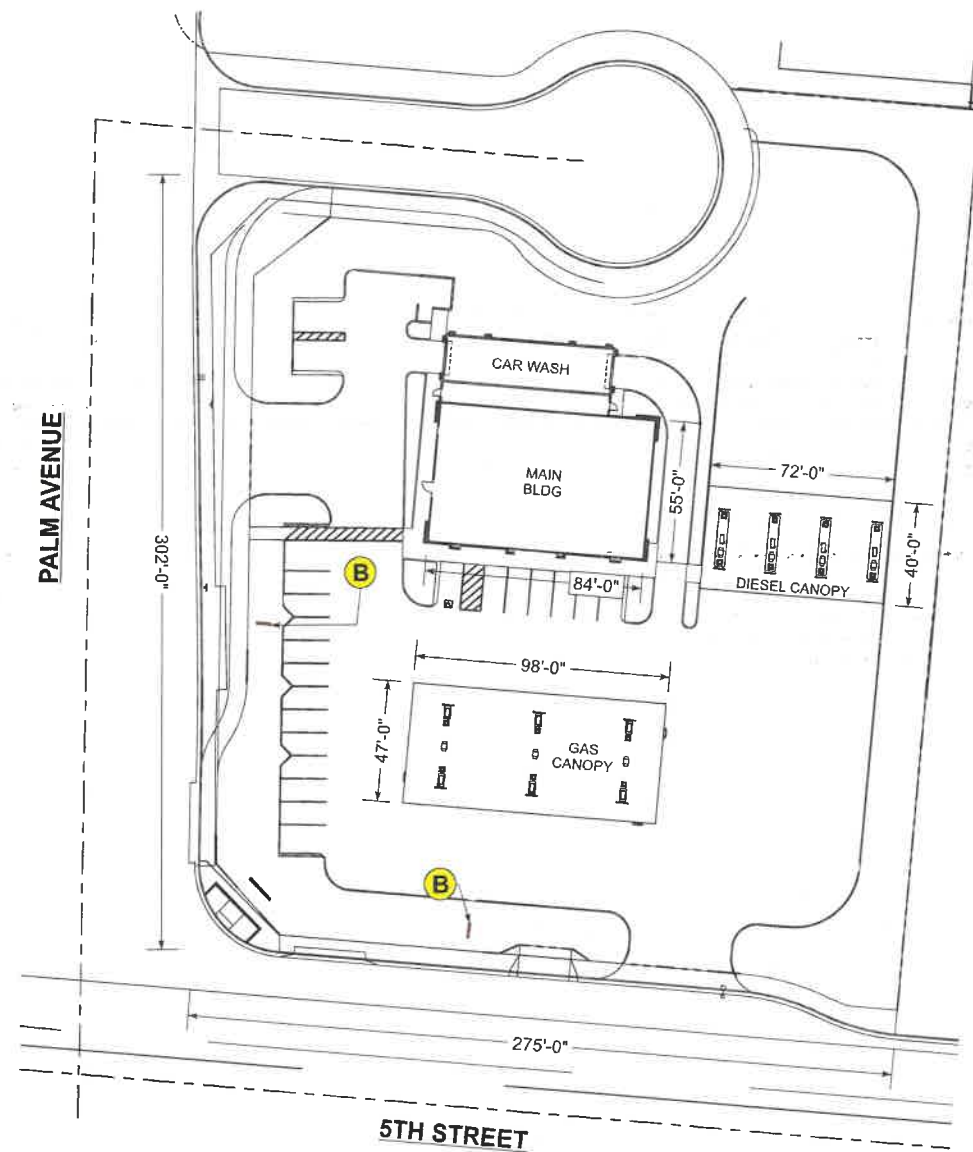
SCALE: NTS

SHEET NUMBER
 3 OF 11

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B NEW STAND ALONE E-85 SIGN 10 SQ.FT.
INTERNALLY-ILLUMINATED QTY: TWO (2)

TO MATCH BUILDING

3
C
MANUFACTURER: ELDORADO STONE - TEL: (800) 925-1491
STYLE.: STACKED STONE
COLOR: CASTAWAY
ICC REPORT No.: ESR-1215



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CUSTOMER:



SIGN PLAN

PROJECT ADDRESS:

SHELL STATION
NEC PALM AVE. & W 5TH ST.
HIGHLAND, CA 92346

DATE: 10-5-23

REVISION DATE

1	12-6-23
2	3-12-24
3	3-29-24
4	5-1-24

SCALE: NTS

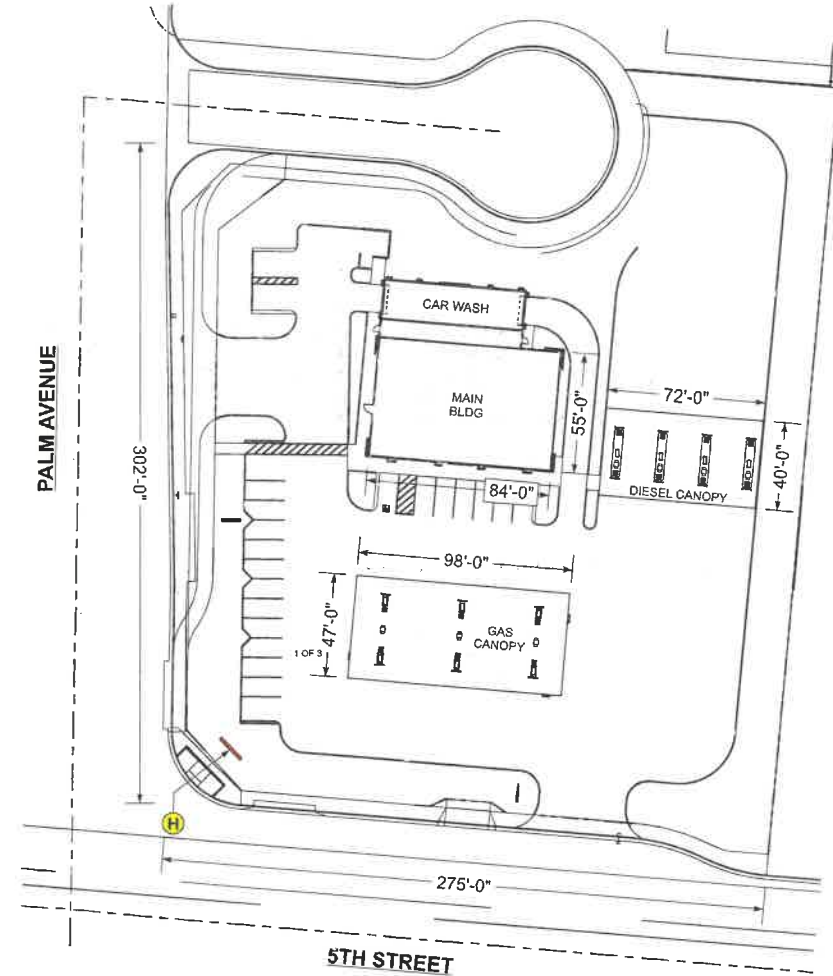
SHEET NUMBER

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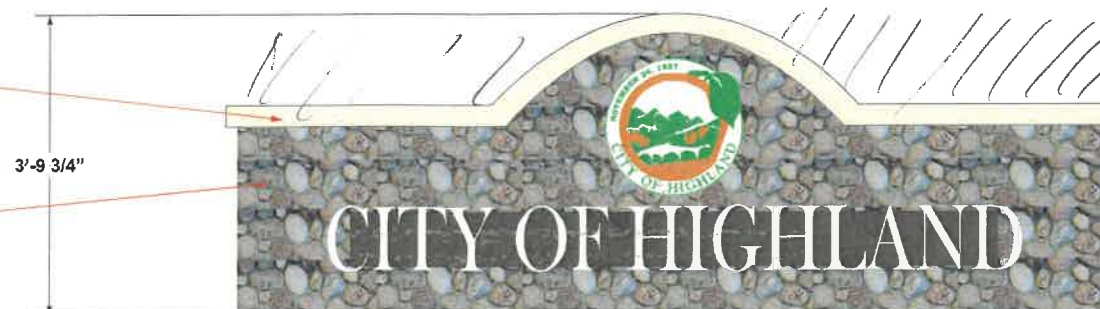
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TO MATCH BUILDING
 1 COLOR: DUNN EDWARDS: #DE6213 - "FINE GRAIN"



H Stone Veneer
 Eldorado Stone
 River Rock: Colorado



H NEW CORNER MONUMENT SIGN 36 SQ.FT.
 NON-ILLUMINATED QTY: ONE (1)

11'-2"



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CUSTOMER:



SIGN PLAN

PROJECT ADDRESS:

SHELL STATION
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 HIGHLAND, CA 92346

DATE: 10-5-23

REVISION	DATE
1	12-6-23
2	3-12-24
3	3-29-24
4	5-1-24

SCALE: NTS

SHEET NUMBER

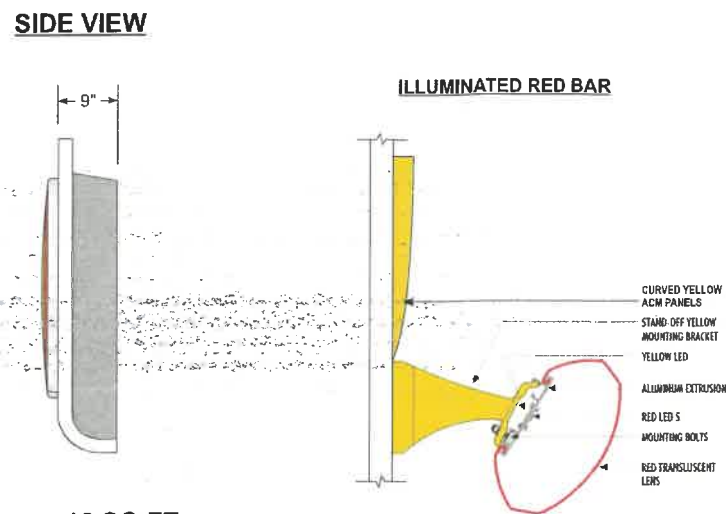
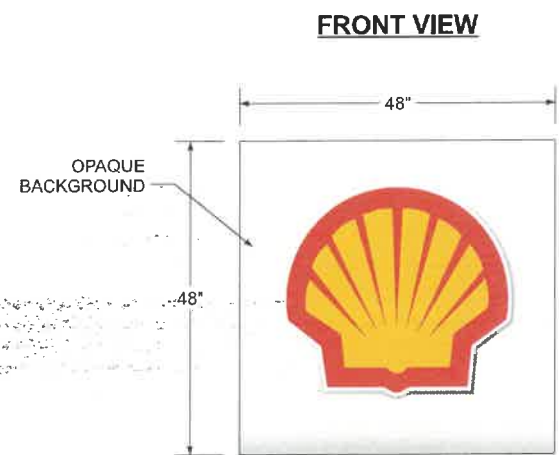
5 OF 11

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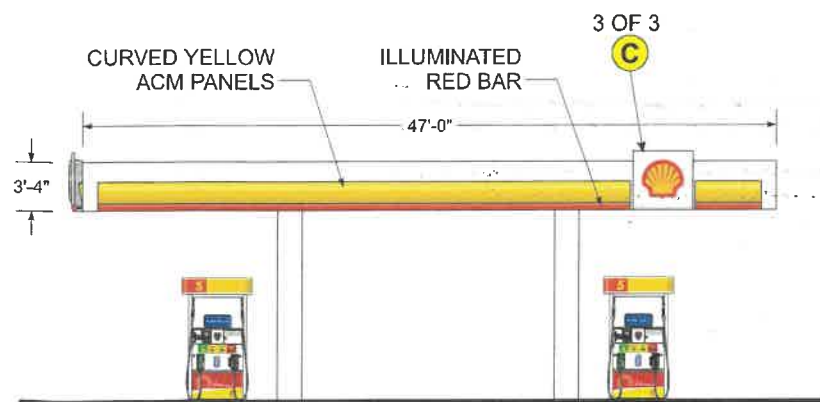
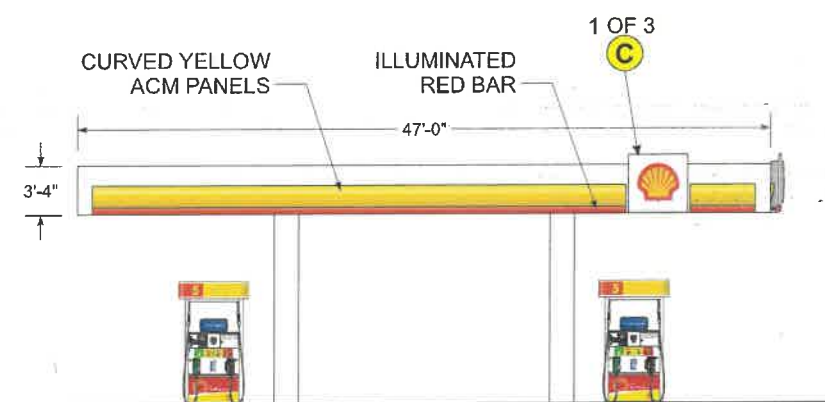
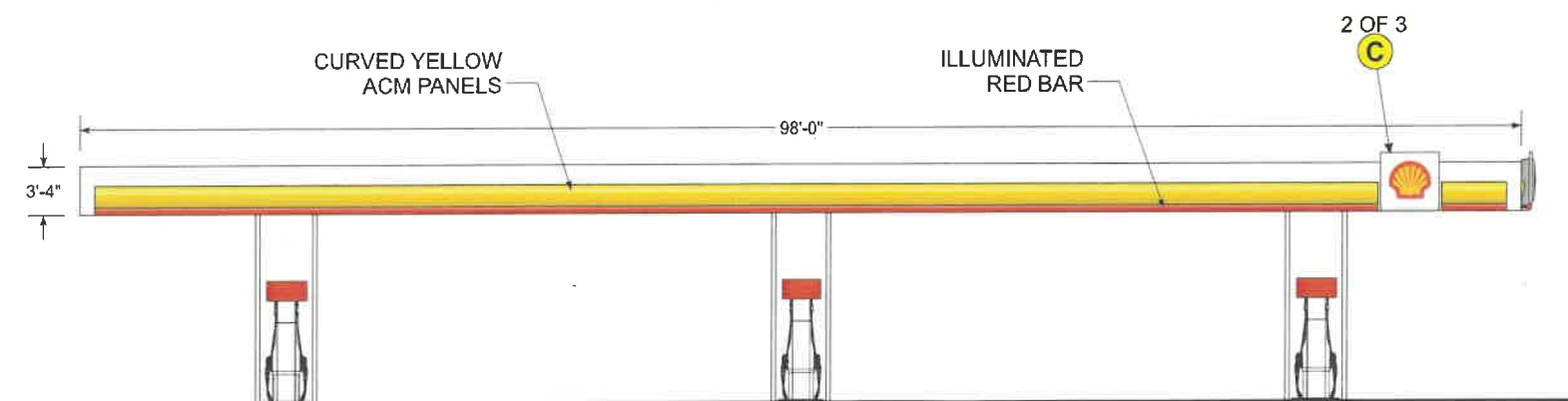
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C NEW CANOPY SIGNS
INTERNALLY-ILLUMINATED

16 SQ.FT.
QTY: THREE (3)



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CUSTOMER:



SIGN PLAN

PROJECT ADDRESS:
SHELL STATION
NEC PALM AVE. & W 5TH ST.
HIGHLAND, CA 92346

DATE: 10-5-23

REVISION	DATE
1	12-6-23
2	3-12-24
3	3-29-24
4	5-1-24

SCALE: NTS

SHEET NUMBER
6 OF 11

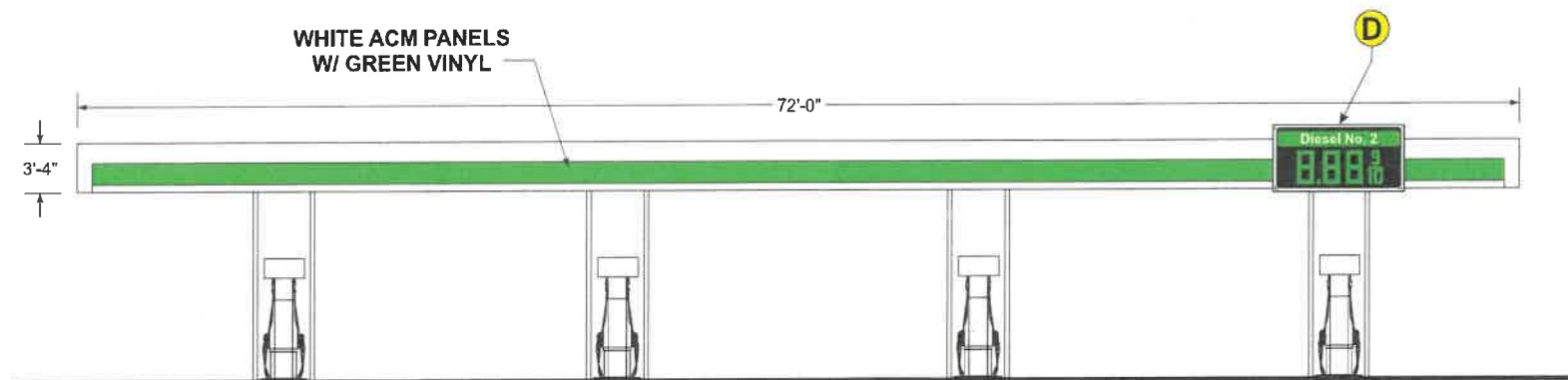
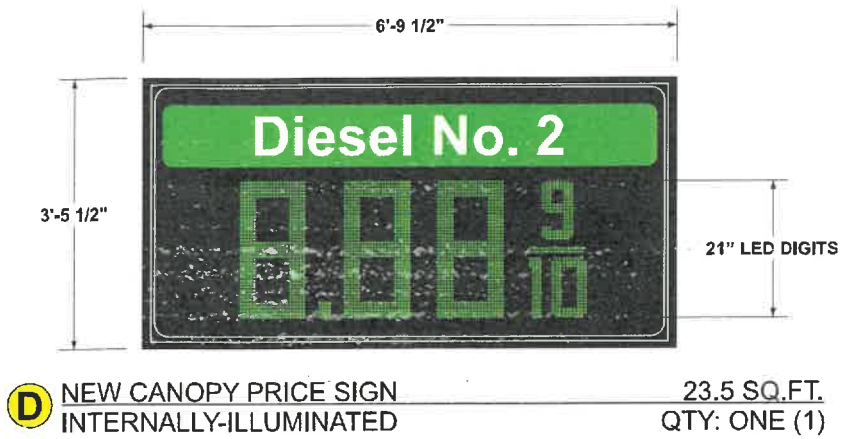
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PROPOSED CONCEPTUAL RENDERING



SOUTH ELEVATION



EAST ELEVATION



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Signs • Lighting • Electrical

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Ph: (714) 779-0099 Fx: (714) 779-0198
CA St. Lic. #435616 C10-C45-C61

CUSTOMER:



SIGN PLAN

PROJECT ADDRESS:
SHELL STATION
NEC PALM AVE. & W 5TH ST.
HIGHLAND, CA 92346

DATE: 10-5-23

REVISION	DATE
1	12-6-23
2	3-12-24
3	3-29-24
4	5-1-24

SCALE: NTS

SHEET NUMBER
7 OF 11

DRAWN: A.S.

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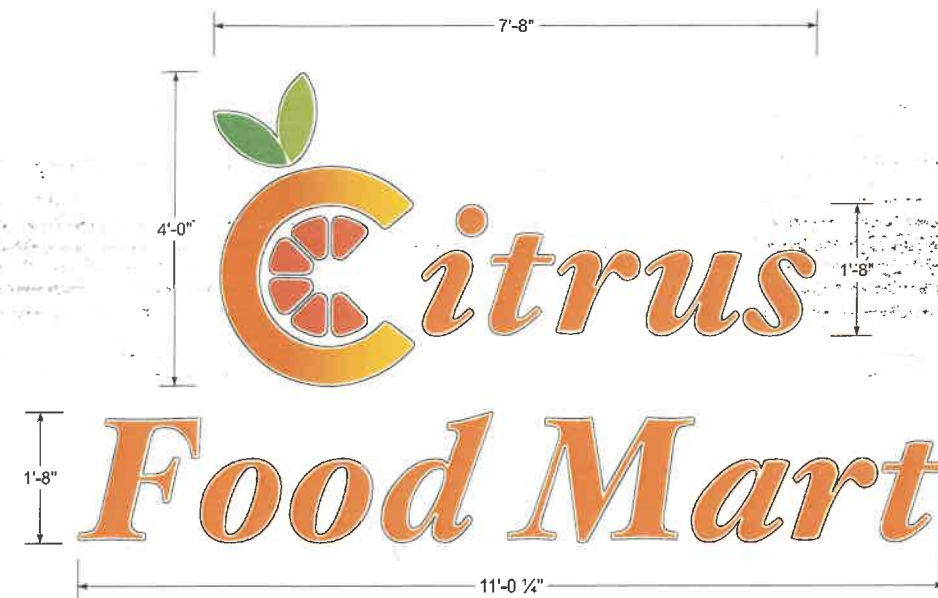


PROPOSED CONCEPTUAL RENDERING

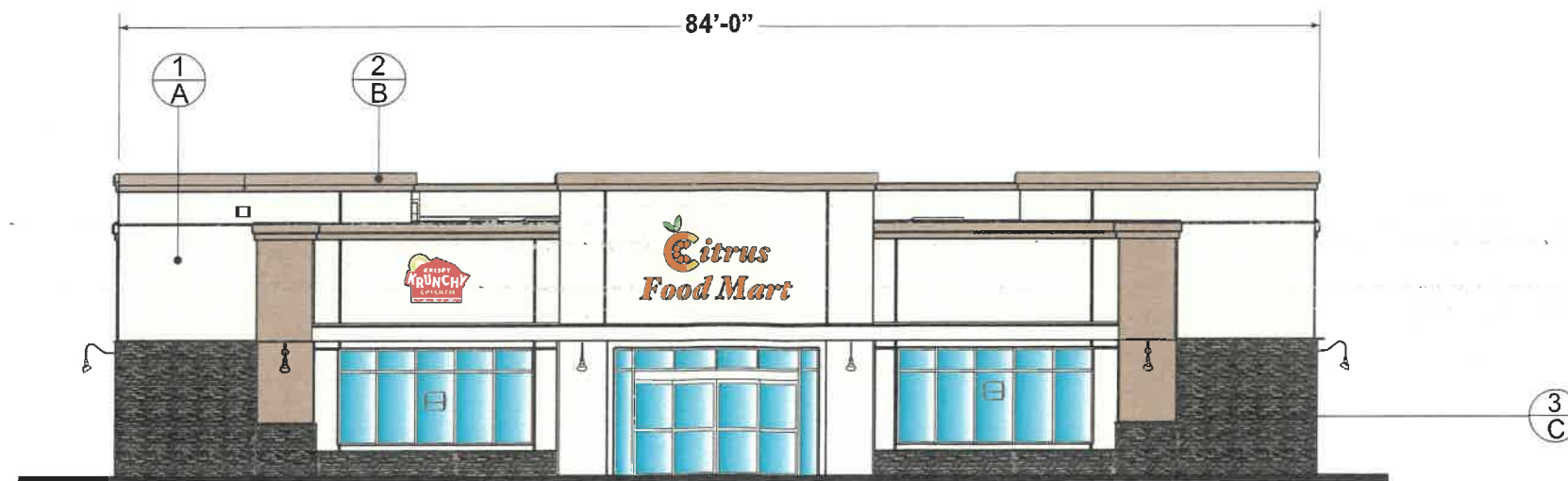
MATERIAL KEY NOTES:

- ① COLOR: DUNN EDWARDS: #DE6213 - "FINE GRAIN"
- ② COLOR: DUNN EDWARDS: #DE6224 - "TREASURE CHEST"
- Ⓐ STUCCO COAT FINISH
- Ⓑ GLOSS POWDER COAT FINISH

③
C MANUFACTURER: ELDORADO STONE - TEL: (800) 925-1491
STYLE: STACKED STONE
COLOR: CASTAWAY
ICC REPORT No.: ESR-1215



E NEW BUILDING WALL SIGN 49 SQ.FT.
INTERNALLY-ILLUMINATED QTY: ONE (1)



SOUTH ELEVATION



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Ph: (714) 779-0099 Fx: (714) 779-0198
CA St. Lic. #435616 C10-C45-C61

CUSTOMER:



SIGN PLAN

PROJECT ADDRESS:

SHELL STATION
NEC PALM AVE. & W 5TH ST.
HIGHLAND, CA 92346

DATE: 10-5-23

REVISION	DATE
1	12-6-23
2	3-12-24
3	3-29-24
4	5-1-24

SCALE: NTS

SHEET NUMBER
8 OF 11

DRAWN: A.S.

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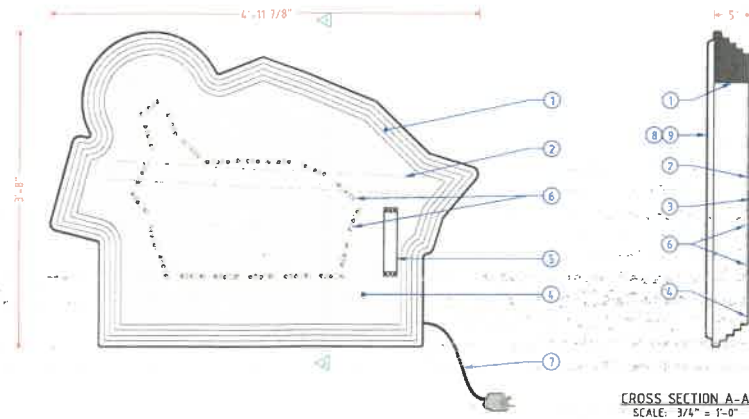


PROPOSED CONCEPTUAL RENDERING

MATERIAL KEY NOTES:

- 1 COLOR: DUNN EDWARDS: #DE6213 – "FINE GRAIN"
- 2 COLOR: DUNN EDWARDS: #DE6224 – "TREASURE CHEST"
- A STUCCO COAT FINISH
- B GLOSS POWDER COAT FINISH

3/C MANUFACTURER: ELDORADO STONE – TEL: (800) 925-1491
STYLE.: STACKED STONE
COLOR: CASTAWAY
ICC REPORT No.: ESR-1215



KRISPY KRUNCHY CHICKEN 3 X 4 SINGLE FACE LED SIGN SPECIFICATIONS	
NO.	PART/DESCRIPTION
1	150" BLACK FORMED POLYCARBONATE CABINET
2	36" X 2 1/2" X .080" ALUMINUM STRAP
3	Z-CLIP (MATCHING Z-CLIP SENT WITH CABINET FOR MOUNTING)
4	.080" ROUTED ALUMINUM BACK (FOR LED / POWER SUPPLY MOUNTING)
5	LED POWER SUPPLY AS REQUIRED
6	WHITE LED'S AS REQUIRED
7	12' POWER CORD WITH PLUG (GFI CORD W/ TEST BUTTON)
8	118" CLEAR SOLAR GRADE PAN EMBOSSED POLYCARBONATE FACE
9	SCREENED DECORATION

- NOTES:
- DESIGN FACTOR TO BE DETERMINED
 - 150" BLACK FORMED POLYCARBONATE CABINET (STAIRSTEPPED REETURN)
 - EXTERIOR FINISH: PAINTED BLACK
 - 118" CLEAR SOLAR GRADE FORMED SHOEBOX FACE
 - FACE REMOVABLE FOR SERVICE ACCESS
 - U.L. LISTED
 - ELECTRICAL: 160 AMPS/120 VOLTS
 - SQUARE FOOTAGE:
BOXED = 18.30
ACTUAL = 13.32



E NEW BUILDING WALL SIGN 18.3 SQ.FT.
INTERNALLY-ILLUMINATED QTY: ONE (1)



SOUTH ELEVATION



Donco & Sons, Inc.
Signs • Lighting • Electrical
2871 E. Blue Star Street, Anaheim, CA 92806
Ph: (714) 779-0099 Fx: (714) 779-0198
CA St. Lic. #435616 C10-C45-C61

CUSTOMER:



SIGN PLAN

PROJECT ADDRESS:
SHELL STATION
NEC PALM AVE. & W 5TH ST.
HIGHLAND, CA 92346

DATE: 10-5-23

REVISION	DATE
1	12-6-23
2	3-12-24
3	3-29-24
4	5-1-24

SCALE: NTS

SHEET NUMBER
9 OF 11

DRAWN: A.S.

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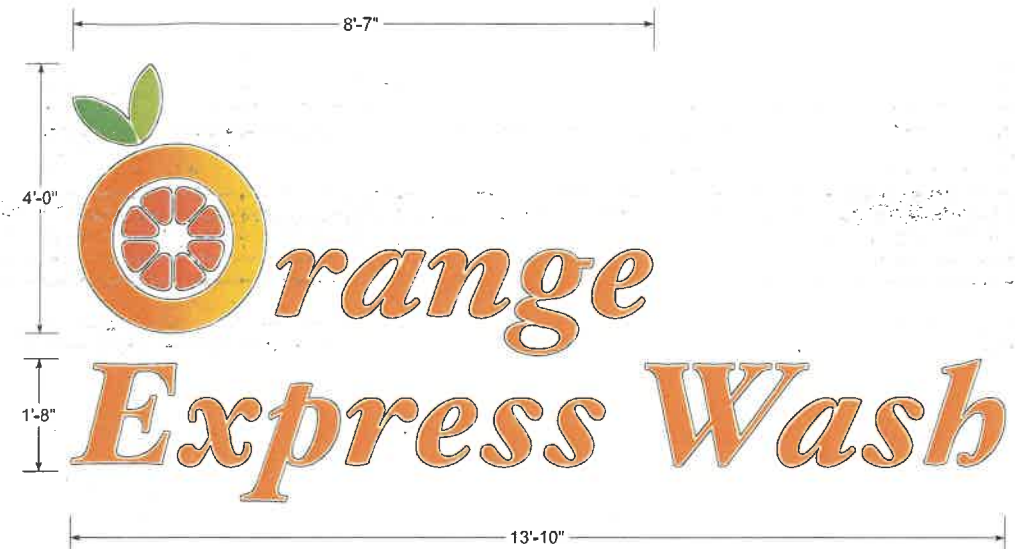


PROPOSED CONCEPTUAL RENDERING

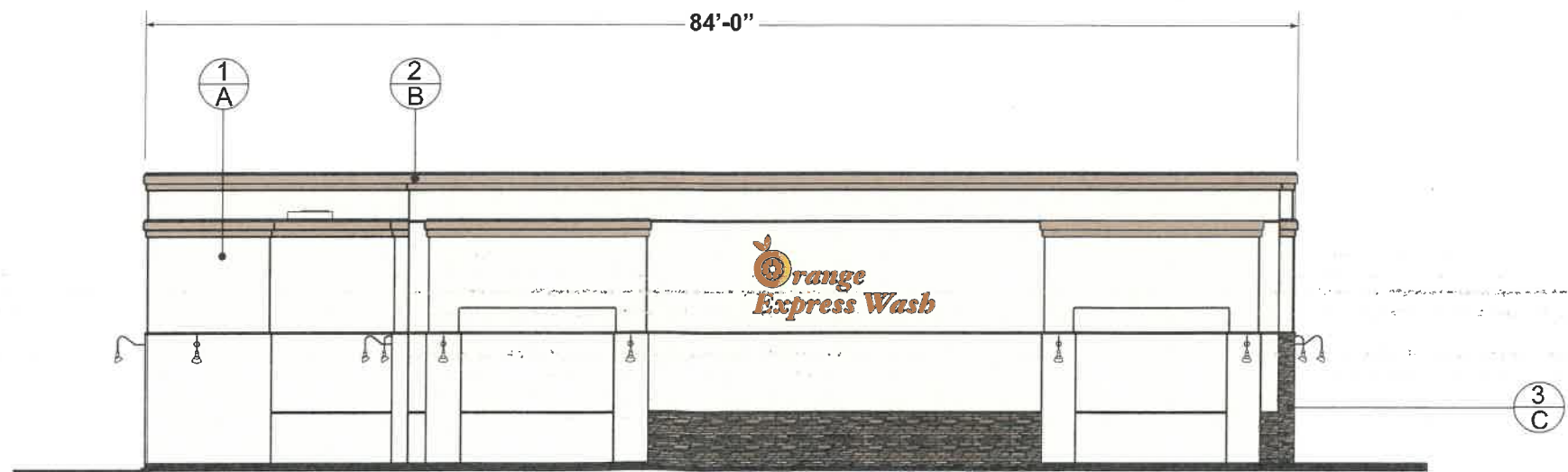
MATERIAL KEY NOTES:

- ① COLOR: DUNN EDWARDS: #DE6213 - "FINE GRAIN"
- ② COLOR: DUNN EDWARDS: #DE6224 - "TREASURE CHEST"
- A STUCCO COAT FINISH
- B GLOSS POWDER COAT FINISH

MANUFACTURER: ELDORADO STONE - TEL: (800) 925-1491
 ③ STYLE.: STACKED STONE
 C COLOR: CASTAWAY
 ICC REPORT No.: ESR-1215



F NEW CAR WASH WALL SIGN
 INTERNALLY-ILLUMINATED
 57.3 SQ.FT.
 QTY: ONE (1)



NORTH ELEVATION



Donco & Sons, Inc.
 Signs • Lighting • Electrical

2871 E. Blue Star Street, Anaheim, CA 92806
 Ph: (714) 779-0099 Fx: (714) 779-0198
 CA St Lic. #435616 C10-C45-C61

CUSTOMER:



SIGN PLAN

PROJECT ADDRESS:

SHELL STATION
 NEC PALM AVE. & W 5TH ST.
 HIGHLAND, CA 92346

DATE: 10-5-23

REVISION	DATE
1	12-6-23
2	3-12-24
3	3-29-24
4	5-1-24

SCALE: NTS

SHEET NUMBER

10 OF 11

DRAWN: A.S.

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PROPOSED CONCEPTUAL RENDERING

MATERIAL KEY NOTES:

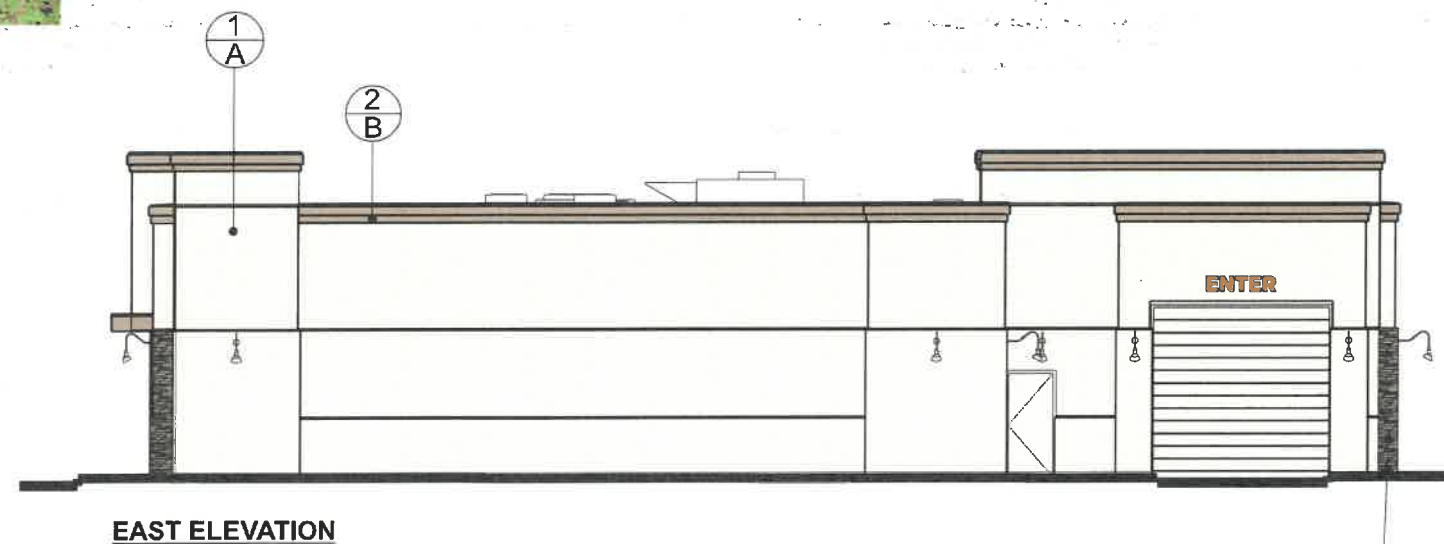
- ① COLOR: DUNN EDWARDS: #DE6213 – "FINE GRAIN"
- ② COLOR: DUNN EDWARDS: #DE6224 – "TREASURE CHEST"
- Ⓐ STUCCO COAT FINISH
- Ⓑ GLOSS POWDER COAT FINISH

③ MANUFACTURER: ELDORADO STONE – TEL: (800) 925-1491
 STYLE.: STACKED STONE
 COLOR: CASTAWAY
 ICC REPORT No.: ESR-1215

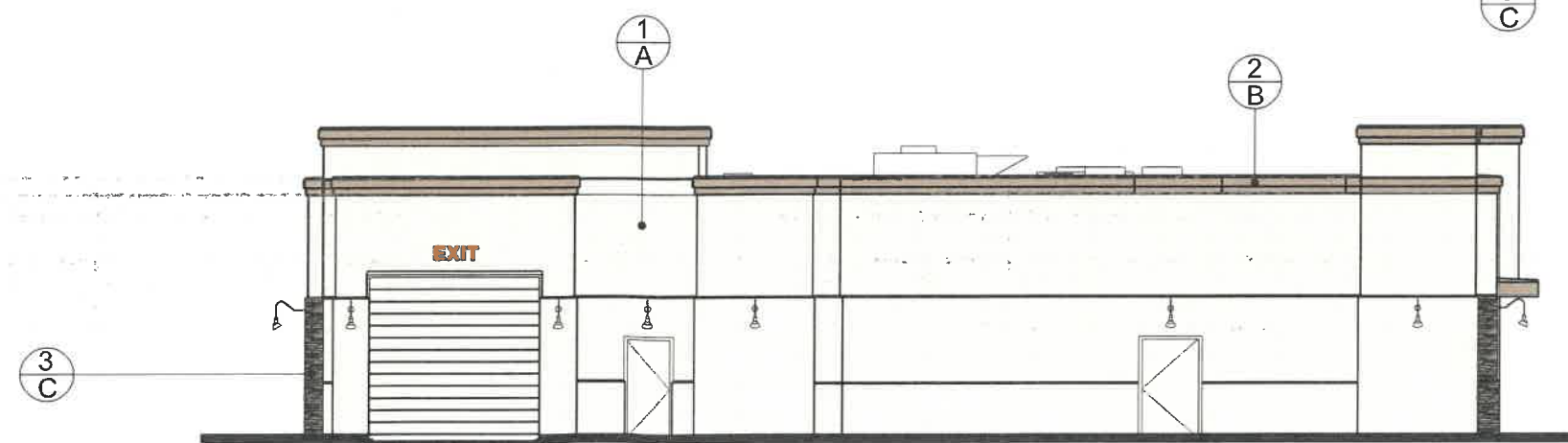
3'-11 1/2"
 10"
ENTER
 3.4 SQ.FT.

2'-8"
 10"
EXIT
 2.3 SQ.FT.

NEW FOAM LETTERS
 NON-ILLUMINATED
 5.7 SQ.FT. TOTAL



EAST ELEVATION



WEST ELEVATION



Donco & Sons, Inc.
 Signs • Lighting • Electrical

2871 E. Blue Star Street, Anaheim, CA 92806
 Ph: (714) 779-0099 Fx: (714) 779-0198
 CA St. Lic. #435616 C10-C45-C61

CUSTOMER:



SIGN PLAN

PROJECT ADDRESS:

SHELL STATION
 NEC PALM AVE. & W 5TH ST.
 HIGHLAND, CA 92346

DATE: 10-5-23

REVISION	DATE
1	12-6-23
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3	3-29-24
4	5-1-24

SCALE: NTS

SHEET NUMBER
 11 OF 11

DRAWN: A.S.

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ATTACHMENT 1
Planning Commission Resolution 2024 - _____
For the Sign Program

RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HIGHLAND, CALIFORNIA, APPROVING ACCESSORY SIGN REVIEW (ASR 23-005) TO ESTABLISH A COMPREHENSIVE SIGN PROGRAM FOR A VEHICLE FUELING STATION, CONVENIENCE STORE AND CAR WASH LOCATED AT 27408 5TH STREET. ASSESSOR'S PARCEL NUMBERS: 1201-301-14, -15, -19, and 1201-311-02, -03, -04, -05

APPLICANT: HARIKRISHNA GAS, INC.

A. RECITALS

1. On December 12, 2023, the Applicant submitted an Accessory Sign Review (ASR 23-005) application to establish a Comprehensive Sign Program for a "Shell" brand Vehicle Fueling Station located at 27408 5th Street, Highland, CA.
2. On May 7, 2024, the Applicant submitted revised sign elevations incorporating corrections as directed by Staff.
4. On June 4, 2024, the Planning Commission of the City of Highland conducted a Public Meeting on the subject Application and concluded the meeting on that date.
5. All legal prerequisites to the adoption of this Resolution have occurred.

B. RESOLUTION

NOW THEREFORE, it is hereby found, determined, and resolved by the Planning Commission of the City of Highland as follows:

Section 1. The Planning Commission finds that all of the facts set forth in the Recitals, Part "A" of this Resolution, are true and correct.

Section 2. Based upon substantial evidence presented to the Planning Commission during the June 4, 2024, Public Meeting, including public testimony and written and oral Staff Reports, the Planning Commission finds as follows:

- a. All necessary public meetings and opportunities for public testimony and comment have been conducted in compliance with State Law and the Municipal Code of the City of Highland.

Section 3. Accessory Sign Review (ASR 23-005) Findings of Fact

- a. The Signs allowed by the comprehensive sign program will not adversely affect other nearby properties.

Response: Based on the analysis of the surrounding development, the sign program will not adversely affect neighboring properties at this is a prominent intersection featuring a "Farmer Boys" quick service restaurant with drive through

and two (2) other vehicle fueling stations with similar signage. The proposed signs are reflective of the size, height, placement, location, and materials of those located in the vicinity. The proposed sign program has been conditioned by staff to ensure that the sign will not have any adverse impact on the health, safety and welfare of the surrounding community.

- b. The comprehensive sign program is consistent with the General Plan and the Highland Municipal Code.

Response: The comprehensive sign program is consistent with the City of Highland General Plan, Community Design Element, specifically Goal 10.11 to “Promote attractive, appropriately scaled and well-coordinated signs.” The proposed sign program features building mounted signs and monument signs consistent with Shell’s corporate designs which complement the future convenience store and fueling canopies. The overall size of the signs is also in keeping with the guidance provided by the Highland Municipal Code for Sign Programs and similar to other fueling stations located within the City.

- c. The comprehensive sign program achieves the purpose of the City of Highland Land Use and Development Code, Chapter 16.56 (Sign Regulations).

Response: The intent of Chapter 16.56.180 (Comprehensive Sign Program) is to integrate its signs with the overall design of the site and provide a unified architectural statement. Sign programs are meant to provide the means for flexible application of signs regulations so long as it continues to reflect the purpose of the guidelines. The sign program identifies site specific guidelines and standards for a corner monument ‘City Gateway’ identification sign, two (2) primary and two (2) secondary building-mounted business identification signs, two (2) directional signs, and four (4) free-standing monument gas pricing signs. These signs will provide visibility and foot traffic that is required for the operation of a convenience store, carwash, and gas station.

- d. It will not constitute the granting of a special privilege nor provide more visibility or exposure than is available to similarly situated properties.

Response: The sign program will not constitute a granting of a special privilege. The proposed signs satisfy nearly all sign regulations for non-sign program signage as described in the Highland Municipal Code. The deviations requested are not significant and are consistent with the sign programs of similar gas stations located within the City.

Section 4. Based on the Findings and Conclusions set forth above, the Planning Commission adopts this resolution for Accessory Sign Review (ASR 23-005) to establish a Sign Program, plans dated May 1, 2024, for the Shell Gas Station at 27408 5th Street, subject to the Conditions of Approval attached as Exhibit A.

C. ADOPTION OF RESOLUTION.

The City Clerk shall certify to the adoption of this Resolution and shall cause the same to be published or posted in the manner prescribed by law.

PASSED, APPROVED AND ADOPTED this 4th day of June, 2024.

ATTEST:

Randall Hamerly, Chairman
Planning Commission

Lawrence A. Mainez
Community Development Director

**CITY OF HIGHLAND
Planning Commission**

PLANNING DIVISION CONDITIONS OF APPROVAL

Date: June 4, 2024

Applicant: Harkrisna Gas Inc.

Representative: Donco & Sons.

File/Index: Accessory Sign Review (ASR 23-005)

Proposal: The Applicant is requesting to establish a comprehensive sign program for the installation of a corner monument 'city gateway' identification sign, two (2) primary and two (2) secondary building-mounted business identification signs, two (2) directional signs, and four (4) free-standing monument gas pricing signs at an approved fueling station, carwash, and convenience store lot.

Location: 27408 5th Street, (APN: 1201-301-14, -15, -19, and 1201-311-02, -03, -04, -05)

PLANNING CONDITIONS OF APPROVAL

Note: These Conditions represent Planning Division Conditions only and are meant to be only one part of the Project's overall Conditions that may include Engineering, Fire Department and Building and Safety Conditions of Approval. All required on-site and off-site improvements shall be completed and approved prior to final inspection for occupancy, except where noted.

Accessory Sign Review (ASR 23-005) is conditionally approved, subject to compliance with the requirements as specified below. The Conditions listed below are continuing Conditions; failure of the Applicant and/or operator to comply with any / all Conditions at any time shall result in initiating revocation of the subject permit.

1. This Accessory Sign Review (ASR 23-005) shall become null and void:
 - a. Unless all Conditions have been complied with and the occupancy or use of the land or existing structures authorized by such Sign Review has taken place within twelve (12) months after the approval of said Sign Review.
 - b. Where circumstances beyond the control of the Applicant causes delays which do not permit compliance with the time limitation established in this Section, the

reviewing authority may grant an Extension of Time for a period of time not to exceed an additional twelve (12) months. Applications for such Extension of Time must be set forth, in writing; the reasons for this Extension shall be filed together with a fee, as established by the City Council, with the Planning Division thirty (30) calendar days before the expiration of the Planning Commission approval.

2. In compliance with City Ordinance, the Applicant shall agree to defend, at the Applicant's sole expense, any action brought against the City, its agents, officers, or employees, because if the issuance of such approval. The Applicant shall reimburse the City, its agents, officers, or employees for any court costs and attorney's fees, which the City, its agents, officers, or employees may be required by a court to pay as a result of such action. The City may, at its sole discretion, participate at his own expense in the defense of any such action, but such participation shall not relieve Applicant of his obligations under this Condition.
3. This Sign Review Application is to allow the installation of a corner monument 'city gateway' identification sign, two (2) primary and two (2) secondary building-mounted business identification signs, two (2) directional signs, and four (4) free-standing monument gas pricing signs.
4. The design and finish of these signs shall be consistent with plan presented and approved by the Planning Commission dated May 1, 2024.
5. The landscape planter area and corner statement around the intersection oriented monument sign shall be maintained.
6. Revisions, modifications, or deletions of this Plan must be submitted to the Planning Division and/or approving authority for review and approval. Revisions may require additional review by the Planning Commission.
7. Obtain appropriate installation permits from Building and Safety Division for proposed signs prior to installation.

ATTACHMENT 2
Planning Commission Resolution 2024 - _____
For the Building Elevations

RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HIGHLAND, CALIFORNIA, APPROVING FINAL BUILDING ELEVATIONS, EXTERIOR COLORS AND MATERIALS RELATED TO THE DEVELOPMENT OF A VEHICLE FUELING STATION, CONVENIENCE STORE AND CAR WASH, DESIGN REVIEW APPLICATION (DRA 21-019) LOCATED AT THE NORTHEAST CORNER OF PALM AVENUE AND 5TH STREET, 27408 5TH STREET, HIGHLAND, CA. ASSESSOR'S PARCEL NUMBERS: 1201-301-14, -15, -19, and 1201-311-02, -03, -04, -05.

APPLICANT: HARIKRISHNA GAS, INC.

A. RECITALS

1. On October 10, 2022, the Applicant submitted an application for Design Review Application (DRA 21-019) for the Site Plan, Building Elevations, Grading Plan and Conceptual Landscape Plan pertaining to the development of a 4,598 square foot fuel canopy for six (6) gasoline pumps, a 2,872 square foot fuel canopy for three (3) diesel pumps, a 1,733 square foot automated carwash, and a 4,627 square foot convenience store at the northeast corner of Palm Avenue and 5th Street. Related entitlements include Conditional Use Permit (CUP 22-008), Tentative Parcel Map No. 19209 (TPM 22-006) to merge seven (7) existing lots into one (1), and General Plan Amendment (GPA 22-001) and Zone Change (ZC 22-001) to change the land use and zoning designation from Industrial (I) to Business Park (BP) which have previously been approved.
2. Approval of Design Review Application (DRA 21-019) on October 10, 2022, included a requirement for the Applicant to return to the Planning Commission for final review and approval of the Building Elevation's exterior colors and materials once the fueling vendor was identified and colors/logos were determined.
3. It was determined by the Applicant that Shell would be the fueling vendor and final elevations including colors and materials samples were submitted on May 1, 2024.
4. On June 4, 2024, the Planning Commission of the City of Highland conducted a Public Meeting on the subject Application and concluded the meeting on that date.
5. Pursuant to the provision of the California Environmental Quality Act (CEQA) and State and Local CEQA Guidelines, the City of Highland is the Lead Agency, and is charged with the responsibility of deciding whether to approve the proposed project. An Initial Study and Mitigated Negative Declaration were approved by the Planning Commission at the March 21, 2023, public hearing. No additional CEQA analysis is required for approval of the colors and materials.
6. All legal prerequisites to the adoption of this Resolution have occurred.

B. RESOLUTION

NOW THEREFORE, it is hereby found, determined and resolved by the Planning Commission of the City of Highland as follows:

1. The Planning Commission finds that all of the facts set forth in the Recitals, Part “A” of this Resolution, are true and correct.
2. Pursuant the California Code of Regulations, the City of Highland Planning Commission hereby finds that a Mitigated Negative Declaration prepared for the project has been completed in compliance with the California Environmental Quality Act (CEQA) and that the Planning Commission has reviewed and approved by the Planning Commission. No additional CEQA review is necessary.
3. Based upon substantial evidence presented to the Planning Commission during the June 4, 2024, Public Hearing, including public testimony and written and oral Staff Reports, the Planning Commission finds as follows:
 - a. All necessary public meetings and opportunities for public testimony and comment have been conducted in compliance with State Law and the Municipal Code of the City of Highland.
4. Findings of Fact for Design Review Application (DRA 21-019):

Based on the Findings below, the Planning Commission hereby finds:

- a. That the proposed project is consistent with the General Plan.

Response: The General Plan goals and policies relevant to the project involve its inclusion in the 5th Street Corridor Policy Area, Circulation Element, and Community Design Element. The project meets all relevant goals and policies.

- b. That the proposed use is in accordance with the objectives of Title 16, Land Use and Development of the City of Highland Municipal Code, and the purposes of the land use district in which the site is located.

Response: The proposed colors and materials for consideration are in compliance with the City’s Design Review policies, are complimentary to the architecture of the structure as well as surrounding properties and gateway standards.

- c. That the proposed use is in compliance with city design and landscape standards and criteria.

Response: The Highland General Plan describes specific criteria related to this location in the Land Use and the Community Design Elements. Goal 10.2 seeks to create an attractive and visually unified corridor with

specialized streetscape and landscape improvements. Goal 10.8 seeks to ensure that development is professional and attractive in appearance through coordinated site planning, signage and architectural design.

The proposed convenience store and carwash building is visible to the general public from all directions and features a neutral tone stucco with stacked stone cladding that embraces the warm tones found on other buildings located along the 5th Street Corridor. The building has been designed with additional cutouts and rooflines to complement the structures on surrounding properties and comply with the vision for the General Plan's 5th Street Corridor.

Landscaping is not being considered with this elevations packet.

- d. That the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare or will not be materially injurious to properties or improvements in the vicinity of the site.

Response: The proposed project design will not be detrimental to the public health, safety, or welfare, or materially injurious to properties and improvements in the vicinity. Adequate measures have been proposed to offset the reduction of onsite landscaping and parking availability has been exhibited on the proposed site plans. The conditions of approval have been provided to ensure compliance with applicable development policies and standards within the city.

5. Based on the Findings and Conclusions set forth above, the Planning Commission recommends the Planning Commission approve Building Elevations and exterior colors and materials related to Design Review Application (DRA 21-019). All improvements will be completed subject to the Conditions of Approval attached hereto as Exhibit A.

C. ADOPTION OF RESOLUTION.

The City Clerk shall certify to the adoption of this Resolution and shall cause the same to be published or posted in the manner prescribed by law.

PASSED, APPROVED, AND ADOPTED this 4 day of June, 2024

ATTEST:

Randall Hamerly, Chairman
Planning Commission

Lawrence A. Mainez
Community Development Director

"Exhibit A"

PLANNING DIVISION CONDITIONS OF APPROVAL

Date: June 4, 2024
Applicant: Harikrishna Gas, Inc
File/Index: Design Review Application (DRA 21-019)
Proposal: The proposed for the final building colors and materials for a vehicle fueling station, convenience store and car wash associated with Design Review Application (DRA 21-019).
Location: A 1.83 acre site at 27408 5th Street; Assessor's Parcel Number(s): 1192-631-01, -02, -03, -04, -05, -06, -15, -16, -17, -18, and -19.
Related Entitlements: Conditional Use Permit (CUP 22-008), Tentative Parcel Map No. 19209 (TPM 22-006), General Plan Amendment (GPA 22-001) and Zone Change (ZC 22-001)

PLANNING CONDITIONS OF APPROVAL

Note: These conditions represent Planning Division conditions only and are meant to be only one part of the Project's overall conditions that may include Building and Safety, Engineering, and the Fire Department conditions of approval. All required on-site and off-site improvements shall be completed and approved prior to final inspection for occupancy, except where noted.

This Design Review Application is conditionally approved, subject to compliance with the requirements as specified below. The Conditions listed below are continuing Conditions; failure of the Applicant and/or operator to comply with any or all Conditions at any time, shall result in initiating revocation of the subject permit.

1. Design Review Application (DRA 21-019) shall become null and void:
 - a. Unless all conditions have been complied with and the occupancy or use of the land or structures authorized by this design review application, and have occurred within thirty-six (36) months from the approval date this design review application shall expire and be null and void without further action by the City of Highland.
 - b. Where circumstances beyond the control of the Applicant cause delays which do not permit compliance within the time limitation established in this Section, the Planning Commission may grant an extension of time for a period of time not to exceed an additional thirty-six (36) months. An application for an extension of time must be set forth in writing, stating the reasons for the extension, and must be filed with the community development department no less than 30 calendar days nor more than 90 calendar days prior to the expiration date of the permit or approval. Such

application shall be filed together with the City's processing fee, as established by the City Council.

NOTE: All required on-site and off-site improvements shall be completed and approved prior to final inspection for occupancy.

2. The proposed Design Review entitlement includes approval of final building colors and materials coordinated with the newly identified fueling station vendor, consisting of a 4,598 square foot fuel canopy for six (6) gasoline pumps, a 2,872 square foot fuel canopy for three (3) diesel pumps, a 1,733 square foot automated carwash, and a 4,627 square foot convenience store on approximately 1.9 acres at the northeast corner of Palm Avenue and 5th Street as illustrated in the approved plans.
3. The operator and recorded owner of the property shall submit to the Planning Division written evidence of agreement with all conditions of this approval before the approval becomes effective. Plan check cannot begin prior to receipt of this signed documentation.
4. In compliance with the Highland Municipal Code, the Applicant/Owner shall agree, at his/her sole cost and expense, to defend, indemnify, and hold harmless, the City, its officers, employees, agents, and consultants, from any claim, action, or proceeding brought by a third-party against the City, its officers, agents, and employees, which seeks to attack, set aside, challenge, void, or annul an approval of the City Council, Planning Commission, or other decision-making body, including staff, concerning this project. The City may, at its sole discretion, participate at its own expense in the defense of any such action but such participation shall not relieve the Applicant/Owner of his/her obligations under this condition.
5. The Owner/Applicant is responsible for implementing all conditions of approval to the satisfaction of the Community Development Director, City Engineer, Fire Department, and Police Department. No final inspection or clearances shall be given until all conditions are met. Each condition of approval is separately enforced, and if one of the conditions of approval is found to be invalid by a court of law, all the other conditions shall remain valid and enforceable.
6. Revisions, modification, or deletions of associated plans must be submitted to the Planning Division for review and approval. Revisions may require additional review by the Planning Commission.