

CITY OF HIGHLAND REGULAR MEETING OF THE PLANNING COMMISSION AGENDA

MEMBERS

Randall Hamerly, Chair
Chandra Thomas, Vice Chair
Craig Graves, Commissioner
Jarrod Miller, Commissioner
Vacant, Commissioner

REGULAR MEETING

July 2, 2024
6:00 p.m.
City Hall
Donahue Council Chambers
27215 Base Line
Highland, California

STAFF

Lawrence A. Mainez, Community Development Director
Kim Stater, Assistant Community Development Director
Angela Tafolla, Associate Planner
Travis Trejo, Assistant Planner
Tiffany Martinez, Assistant Planner
Camille Duarte, Administrative Assistant III
Matt Bennett, Assistant Public Works Director
Matt Wirz, Building Official
Scott Rice, City Landscape Architect

MISSION STATEMENT

Highland is dedicated to the betterment of the individual, the family, the neighborhood and the community. The City Council and the staff of Highland are dedicated to providing the quality of public facilities and services that its citizens are willing to fund and will do so as efficiently as possible.

Visit the City's Website at: www.cityofhighland.org

In compliance with the Americans with Disabilities Act (ADA), if you need special assistance, please contact the City Clerk's office at (909) 864-6861, ext. 226, at least 72 hours prior to the meeting for any requests for reasonable accommodation to include interpreters.

Pursuant to Government Code Section 54957.5, any disclosable public records related to an open session item on a regular meeting agenda and distributed by the City of Highland to all or a majority of the Planning Commission, less than 72 hours prior to that meeting, are available for public inspection at Highland City Hall, 27215 Base Line, Highland, CA 92346, during normal business hours.

Submission of Public Comments: For those wishing to make public comments by email, please submit your comments by email to be read aloud at the meeting. Email comments must be submitted by 5:00 p.m. on July 2, 2024 to publiccomment@cityofhighland.org. If you are submitting a public comment pertaining to an item on the July 2, 2024 agenda, please identify the agenda item number in the subject line.

For those wishing to make public comments regarding a public hearing item please identify the agenda item in the subject line. Comments can be submitted any time prior to the meeting, as well as during the meeting up until the close of the public hearing on the corresponding item to be considered part of the record. Please email your comments at publiccomment@cityofhighland.org.

Members of the public will be permitted to make public comments in person.

**PLANNING COMMISSION
REGULAR MEETING AGENDA
July 2, 2024 - 6:00 P.M.**

CALL TO ORDER

PLEDGE OF ALLEGIANCE

COMMUNITY INPUT (ITEMS NOT ON THE AGENDA)

To address the Planning Commission, please complete a speaker form located at the entrance and give it to the Administrative Assistant prior to the beginning of the meeting. Your name will be called when it is your turn to speak. Individual speakers are limited to three minutes each. Comments received via email by July 2, 2024, 5:00 p.m., will be read into the record, provided that the reading shall not exceed three (3) minutes.

CONSENT CALENDAR

1. Minutes from the June 4, 2024 Regular Meeting.

RECOMMENDATION: That the Planning Commission approve the minutes, as submitted.

2. Minutes from the June 18, 2024 Regular Meeting.

RECOMMENDATION: That the Planning Commission approve the minutes, as submitted.

PUBLIC HEARINGS

3. Conditional Use Permit (CUP 24-003) is requesting an Alcohol Beverage Control Type 47 license for a sit-down restaurant authorizing the sale of beer wine, distilled spirits for consumption on and off the licensed premises. (27245 Base Line, Representative: Cuca's Restaurant)

RECOMMENDATION: Staff recommends the Planning Commission;

1. Adopt Resolution No. 2024-____ Approving Conditional Use Permit 24-003 to establish an Alcohol Beverage Control License (Type 47 On-Sale Beer and Wine -Eating Place) at an existing full service Restaurant, subject to the Conditions of Approval, and Findings of Fact.
4. Design Review Application (DRA 24-004) including the Site Plan, Building Elevations, Grading Plan, Conceptual Landscape Plan and Photometrics for 'Major 1', 'Pad 1', 'Pad 6', and 'Pad 7' within Planning Area 1 of the Greenspot Village & Marketplace Specific Plan at the northeast corner of Greenspot Road and State Route 210. This application will modify the previously approved Design Review Application (DRA 20-012). (27812-27920 Greenspot Road, Property Owner: TREH XV, LLC)

RECOMMENDATION: Staff recommends the Planning Commission adopt Resolution No. 2024 - _____, approving Design Review Application (DRA 24-004) related to Major 1, Pad 1, Pad 6, and Pad 7 within Planning Area 1 of the Greenspot Village & Marketplace.

ANNOUNCEMENTS

ADJOURN

I, Camille Duarte, Administrative Assistant III of the City of Highland, California, certify that I caused to be posted this agenda on or before the 26th of June 2024 by 5:30 p.m. on our website at www.cityofhighland.org and in the following designated areas:

Highland Branch Library
7863 Central Avenue

Fire Station No. 1
26974 Base Line

City Hall
27215 Base Line

Date: June 26, 2024



Camille Duarte, Administrative Assistant III



STAFF REPORT

TO THE PLANNING COMMISSION

DATE: July 2, 2024

FROM: Lawrence Mainez, Community Development Director

PREPARED BY: Camille Duarte, Administrative Assistant III

SUBJECT: Minutes from the June 4, 2024 Planning Commission Regular Meeting.

RECOMMENDATION: Staff recommends the Planning Commission approve the Minutes as submitted.

PUBLIC NOTICE: The agenda for this item was posted at the three locations per Resolution No. 2011-047 and on the City's website.

Approved _____	Motion _____	Second _____	Agenda Item No. <u>1</u>
Denied _____	Ayes _____		
Continued _____	Noes _____		File No. _____
Tabled _____	Abstain _____		
	Absent _____		
			
Recording Secretary		Community Development Director	

PLANNING COMMISSION REGULAR MEETING MINUTES
June 4, 2024 – 6:00 P.M.

CALL TO ORDER

The regular meeting of the Planning Commission of the City of Highland was called to order at 6:00 p.m. by Vice Chair Thomas at the Donahue Council Chambers, 27215 Base Line, Highland, California.

Present:	Vice Chair	Chandra Thomas
	Commissioner	Craig Graves
	Commissioner	Jarrold Miller
	Commissioner	Vacant

Absent:	Chair	Randall Hamerly
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Staff Present: Lawrence Mainez, Community Development Director
Kim Stater, Assistant Community Development Director
Tiffany Martinez, Assistant Planner
Ben Booth, Senior Engineer
Matt Wirz, Building Official
Camille Duarte, Administrative Assistant III
Scott Rice, City Landscape Architect

Vice Chair Thomas led the Pledge of Allegiance.

COMMUNITY INPUT (ITEMS NOT ON THE AGENDA)

None.

PUBLIC HEARING

1. Accessory Sign Review (ASR 23-005) Application by Harikrishna Gas, LLC to establish a comprehensive sign program for the installation of a corner monument 'City Gateway' identification sign, two (2) primary and two (2) secondary building-mounted business identification signs, two (2) directional signs, and four (4) free-standing monument gas pricing signs. Additionally, compliance with a Design Review Condition of Approval for the final building colors and materials coordinated with the newly identified fueling station vendor (DRA 21-019). Applicant: Harikrishna Gas LLC. Address: 27408 5th Street.

Assistant Planner Martinez presented the staff report.

Commissioner Miller stated regarding the City of Highland sign, I want to make sure our dimensions and textures are matching completely.

Assistant Planner Martinez stated it is not matching exactly.

Commissioner Miller asked if we have a standard City of Highland sign we use throughout our city that is used consistently?

Assistant Community Development Director Stater stated there is not one standard sign for gateway monuments. The Applicant was provided with the sign that's diagonally across the street. It is similar with the materials and height, but not the same length. The Applicant's preference was a smaller sign.

Vice Chair Thomas stated previously it was stated to have addition of wrought iron, however I do not see it shown on this staff report presented tonight.

Assistant Community Development Director Stater stated the Applicant did not include it for the center piece. It was only on the extensions of the sign at the southwest corner.

Commissioner Graves inaudible.

Assistant Community Development Director Stater stated the Shell gas station is the provider, however they don't provide the diesel, so we have to have an additional sign. It is required for the pricing to be shown.

Commissioner Miller stated moving forward it would be great to have more consistency in the city sign. Can we give directive to the City Council?

Community Development Director Mainez stated I will take note of that request and in the future, we can discuss it as a work program item.

Commissioner Graves stated the signs look so big they just almost override any decent landscaping.

Commissioner Miller stated based on some of the previous gas stations and signage that we were approved these are on the smaller side of what was approved in the past.

Assistant Community Development Director Stater stated one advantage we have is it is a new site. We have a wider landscape plan because it's a bigger site and we're able to implement some of the city standard requirements for 20 foot or more buffering.

Applicant Raj Patel stated I am the owner and developer of this project. Thank you everybody for coming out today and I appreciate everybody's feedback. Shell signage is standard, and we cannot adjust it. There are going to be a lot of trucks that are going to be moving across the station and targeting the high speed fuel. I would like the one sign; however, Shell is protective, and they cannot provide diesel pricing on Shell sign. As far as the landscaping there are concerns for the bio basins so that's why there is a specific arc on the bottom end of it. We would love to kind of match the centerpiece where we can't keep it flat because of the bio basins, which that was another concern.

Vice Chair Thomas opened the public hearing.

Commissioner Miller stated we are calling the market Citrus on some signage and another signage at the car wash is called Orange. Is there a reason why we aren't consistently using Citrus throughout the project?

Applicant Raj Patel stated the reason why we are not consistent with that is because potentially we want to use it as branding. So, for future car washes we can use the name Orange Express.

Vice Chair Thomas stated my only concern was it just looked very sparse. I see the brick and three color pellets, but I am wondering if the Applicant is willing to do anything else to make it more decorative or stand out more.

Assistant Community Development Director Stater stated this particular elevation rendering did not show the top cornice trim is dark brown and that is missing on the plans.

Applicant Raj Patel asked do you have any feedback of what we can add? We wanted the building to look more modern with the brick and elevation to pop out.

Assistant Community Development Director Stater stated another recommendation early on was for a brow or an awning on this southerly elevation. It's possible to extend the brow out further.

Vice Chair Thomas stated that is something can be added.

Commissioner Miller stated yes, an awning or a brow.

Applicant Raj Patel stated yes, we can speak to the Architect regarding the change.

Assistant Community Development Director Stater stated you could extend the brow that's already there on the southern elevation.

Applicant Raj stated noted.

Vice Chair Thomas stated we are in consensus of extending the brow.

Vice Chair Thomas closed the public hearing.

A MOTION was made by Vice Chair Thomas and seconded by Commissioner Miller to:

1. Adopt Resolution No. 2024-009 to approve Accessory Sign Review (ASR 23-005) to establish a sign program for a fueling station, convenience store, and carwash subject to the Conditions of Approval, and Findings of Fact;
2. Adopt Resolution No. 2024 - 010, approving the project's Building Elevations including colors and materials associated with Design Review Application (DRA 21-019); and

3. Direct Staff to file a Notice of Exemption with the County Clerk of the Board. Motion carried, 3-0.

RESOLUTION NO. 2024-009

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HIGHLAND, CALIFORNIA, APPROVING ACCESSORY SIGN REVIEW (ASR 23-005) TO ESTABLISH A COMPREHENSIVE SIGN PROGRAM FOR A VEHICLE FUELING STATION, CONVENIENCE STORE AND CAR WASH LOCATED AT 27408 5TH STREET. ASSESSOR'S PARCEL NUMBERS: 1201-301-14, -15, -19, and 1201-311-02, -03, -04, -05

RESOLUTION NO. 2024-010

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HIGHLAND, CALIFORNIA, APPROVING FINAL BUILDING ELEVATIONS, EXTERIOR COLORS AND MATERIALS RELATED TO THE DEVELOPMENT OF A VEHICLE FUELING STATION, CONVENIENCE STORE AND CAR WASH, DESIGN REVIEW APPLICATION (DRA 21-019) LOCATED AT THE NORTHEAST CORNER OF PALM AVENUE AND 5TH STREET, 27408 5TH STREET, HIGHLAND, CA. ASSESSOR'S PARCEL NUMBERS: 1201-301-14, -15, -19, and 1201-311-02, -03, -04, -05.

ANNOUNCEMENTS

The next Planning Commission Regular Meeting is scheduled June 18, 2024.

ADJOURN

There being no further business, Chair Hamerly declared the meeting adjourned at 6:43 p.m.

Submitted by:

Approved by:

Camille Duarte, Administrative Assistant III

Chandra Thomas, Vice Chair



STAFF REPORT

TO THE PLANNING COMMISSION

DATE: July 2, 2024

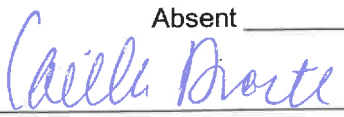
FROM: Lawrence Mainez, Community Development Director

PREPARED BY: Camille Duarte, Administrative Assistant III

SUBJECT: Minutes from the June 18, 2024 Planning Commission Regular Meeting.

RECOMMENDATION: Staff recommends the Planning Commission approve the Minutes as submitted.

PUBLIC NOTICE: The agenda for this item was posted at the three locations per Resolution No. 2011-047 and on the City's website.

Approved _____	Motion _____	Second _____	Agenda Item No. <u>2</u>
Denied _____	Ayes _____		
Continued _____	Noes _____		File No. _____
Tabled _____	Abstain _____		
	Absent _____		
			
Recording Secretary		Community Development Director	

PLANNING COMMISSION REGULAR MEETING MINUTES
June 18, 2024 – 6:00 P.M.

CALL TO ORDER

The regular meeting of the Planning Commission of the City of Highland was called to order at 6:05 p.m. by Chair Hamerly at the Donahue Council Chambers, 27215 Base Line, Highland, California.

Present:	Chair	Randall Hamerly
	Vice Chair	Chandra Thomas
	Commissioner	Craig Graves
	Commissioner	Jarrold Miller
	Commissioner	David Saran

Staff Present: Lawrence Mainez, Community Development Director
Kim Stater, Assistant Community Development Director
Travis Trejo Assistant Planner
Camille Duarte, Administrative Assistant III

Chair Hamerly led the Pledge of Allegiance.

COMMUNITY INPUT (ITEMS NOT ON THE AGENDA)

None.

CONSENT CALENDAR

1. Minutes from the May 21, 2024 Regular Meeting.

A MOTION was made by Vice Chair Thomas and seconded by Commissioner Miller to approve the minutes as submitted. Motion carried, 4-0.

PUBLIC HEARINGS

1. Accessory Design Review Application (DRA 23-018) for the building elevations, site plan, grading plan, and landscape plan of a 950 square foot “Dutch Bros” drive through coffee shop at the northeast corner of Base Line and Boulder Avenue. Continued from May 21, 2024. (Representative: Shelby Eldridge)

Assistant Planner Trejo presented the staff report.

Vice Chair Thomas asked to see the previous renderings of the elevations from the meeting on May 21, 2024.

Assistant Planner Trejo showed the elevations on the PowerPoint.

Chair Hamerly stated on exhibit 4, Conditions of Approval, item 14, subject property shall be voted in accordance with plans and materials approved by the Planning Commission on May 21, 2024, the item was continued, therefore it needs to be updated to today's date.

Chair Hamerly opened the public hearing.

Architect Paul Deppe stated thanks to Staff and the Planning Commission for seeing us again. The new elevations are a good improvement, I hope it hit the mark of what we talked about last month. We have done some significant embellishing even beyond the standard Dutch Bros prototype, and I hope it meets your expectations.

Chair Hamerly stated speaking only for myself, well done. The building elevations look great, but there weren't any of the recommendations that were incorporated from the site design or landscape. Are those changes pending because there wasn't enough time?

Architect Paul Deppe stated to a certain extent, yes. The one item was the guard rail, there's a railing out there on the frontage now and I went back to the Civil Engineering and Landscape Architect, and we are trying to figure it out with the runners that are walking that drive through for ordering. That guardrail is kind of there from a safety standpoint. We would like to keep that guard rail and keep the tree species in check if we can, but we would like to work with Staff and the City Landscape Architect on the adjustments.

Chair Hamerly stated there are multiple step retaining wall system there and the thought was understanding that there is more than a 30 inch grade separation there. We do need it for life safety to have some sort of a barrier and my thought process was that if we can get a type of hedge so that not only are we solving the barrier issue, but we're also solving the screening issue.

Architect Paul Deppe stated we are open to that.

Chair Hamerly stated the species that are selected there on the corner are mostly lower level canopy sized trees. My understanding and respecting your budget to get something in there that's going to fill out that undercarriage because we have some really tall, spindly palm trees. If you choose to keep those, there's nothing in that 30 to 40 foot canopy range, everything that's been specified is the lower, more ornamental variety.

Chair Hamerly closed the public hearing.

A MOTION was made by Vice Chair Thomas and seconded by Commissioner Miller to adopt Resolution No. 2024-011 Approving Design Review Application DRA 23-018 for the site plan, building elevations, grading plan, and landscape plans, subject to the Conditions of Approval and Finding of Fact as modified. Motion carried, 4-0.

RESOLUTION NO. 2024-011

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HIGHLAND, CALIFORNIA, APPROVING DESIGN REVIEW APPLICATION (DRA 23-018) FOR THE SITE PLAN, LANDSCAPE PLAN, BUILDING ELEVATIONS, AND GRADING

PLAN PERTAINING TO THE CONSTRUCTION OF A 950 SQUARE FOOT DRIVE
THROUGH COFFEE SHOP WITH WALK UP WINDOW LOCATED ON 0.54 ACRES
AT THE NORTHEAST CORNER OF BASE LINE AND BOULDER AVENUE

ANNOUNCEMENTS

The next Planning Commission Regular Meeting is scheduled July 2, 2024.

ADJOURN

There being no further business, Chair Hamerly declared the meeting adjourned at 6:19 p.m.

Submitted by:

Approved by:

Camille Duarte, Administrative Assistant III

Randall Hamerly, Chair



STAFF REPORT

TO THE PLANNING COMMISSION

DATE: July 2, 2024

FROM: Lawrence A. Mainez, Community Development Director

REVIEWED BY: Kim Stater, Assistant Community Development Director *KS*

PREPARED BY: Travis Trejo, Assistant Planner *TT*

SUBJECT: Conditional Use Permit (CUP-24-003) is requesting an Alcohol Beverage Control Type 47 license for a sit-down restaurant authorizing the sale of beer, wine, and distilled spirits for consumption on and off the licensed premises.

(SB 1439 Campaign Contributions and Conflicts of Interest - Government Code Section 84308 is applicable)

LOCATION: Cuca's Mexican Restaurant
27245 Base Line, Highland CA. 92346
(APN: 1192-421-05)

REPRESENTATIVE: Cuca's Mexican Restaurant

RECOMMENDATION: Staff recommends the Planning Commission:

1. Adopt Resolution No. 2024 – ____ Approving Conditional Use Permit 24-003 to establish an Alcohol Beverage Control License (Type 47 On-Sale Beer and Wine – Eating Place) at an existing full-service Restaurant, subject to the Conditions of Approval, and the Findings of Fact.

PUBLIC NOTICE: A Public Hearing Notice was published in the Sun Newspaper on June 20, 2024. The Notice was posted on the City's website and at the three (3)

Approved _____	Motion _____	Second _____	Agenda Item No. <u>3</u>
Denied _____	Ayes _____		
Continued _____	Noes _____		File No. _____
Tabled _____	Abstain _____		
	Absent _____		
<i>Cecile Prout</i>		<i>Lawrence Mainez</i>	
Recording Secretary		Community Development Director	

designated public posting locations per City Council Resolution. The Notice of Public Hearing was mailed to interested agencies and property owners within 300 feet of the site on June 18, 2024

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA) Guidelines, the project is categorically exempt per Section 15301, Class 1, Existing Facilities because it consists of the operation of an existing structure involving negligible expansion of the use. No further environmental review required.

DESCRIPTION OF SITE: Cuca's Mexican Restaurant is currently operating within an existing commercial shopping center located at 27245 Base Line, Highland, CA 92346.

The restaurant is located on an approximate .43 acre Site consisting of three (3) adjoining parcels with an approximate 3720 square feet of restaurant building area. The center's parking lot extends across all parcels with two access points, both along Base Line at the east and west sides of the lot. The restaurant is located on the central parcel with the frontage facing Base Line (Exhibit A)

The Applicant is proposing to serve Alcoholic Beverages both indoors and outdoors. The outside dining area is currently enclosed with wrought iron with access from the interior of the restaurant only.

Surrounding Land Uses

	Existing Use	General Plan Designation	Zoning Designation
Site	Restaurant	Mixed Use	Mixed Use (MU)
North	Commercial Center	Mixed Use	Mixed Use (MU)
South	Residential Trailer Park	Mixed Use	Mixed Use (MU)
East	Residential Trailer Park	Mixed Use	Mixed Use (MU)
West	Highland City Hall	Civic Center	Civic Center (CC)

The site is designated as "Mixed Use" (MU) with the same General Plan Designation.

PROJECT REVIEW: The Applicant is requesting a Conditional Use Permit for a Type 47 Alcoholic Beverage Control (ABC) license that would authorize the sale of beer, wine, and distilled spirits for consumption on the licensed premises and the sale of beer and wine for consumption off the licensed premises

Formerly Cuca's Mexican Restaurant operated from a location on Highland Avenue, located in San Bernardino City's jurisdiction. The applicant formerly was granted a Type 47 ABC License at another former location in Rialto CA, which is now closed. The applicant is requesting to allow for this pre-existing license to be transferred to this location.

The Restaurant currently operates Monday through Saturday from 9:00 am to 8:00 pm and Sunday from 9:00 am to 7:00 pm. There is no proposed change to the hours of operation.

ANALYSIS:

ABC License

The Department of Alcohol and Beverage Control (ABC) is the public agency which issues licenses to sell alcohol in the State of California. State law which regulates the issuance of ABC licenses includes provisions aimed at avoiding an “undue concentration” of licenses in any specific geographic area. ABC utilizes census tracts as the subdivision to track and determine the number of licenses to be issued.

The project site is located within Census Tract 76.03, which ABC authorizes a maximum of four (4) “on sale” licenses and three (3) “off sale” licenses for this geographic area. As of 2024, the number of businesses with “on sale” licenses are two (2) and the number of “off sale” are three (3) (Exhibit D). The Table below summarizes the type and location of the existing ABC licenses in Census Tract 76.03.

<i>Business Name</i>	<i>Address</i>	<i>License Type</i>	<i>License Description</i>
Joy’s Lounge Food & Spirits	27141 Base Line, Ste. 11	47 – Active	<u>On-Sale General Eating Place (Restaurant - Beer, Wine & Distilled Spirits)</u>
Highland Liquor	7567 Victoria Ave.	21 - Active	<u>Off-Sale General (Store – Beer, Wine & Distilled Spirits)</u>
The Liquor Shop	7335 Victoria Ave.	21 - Active	<u>Off-Sale General (Store – Beer, Wine & Distilled Spirits)</u>
M&G Market	26710 5 th St.	21 - Active	<u>Off-Sale General (Store – Beer, Wine & Distilled Spirits)</u>
Pancho’s Kitchen	27141 Base Line, Ste.	41 - Active	<u>On-Sale Beer & Wine - Eating Place (Restaurant – Beer & Wine)</u>

Since the census tract is not over concentrated, the Planning Commission is not required to make a finding for public convenience or necessity. The approval of this conditional use permit will increase the total number of On-Sale ABC licenses to three (3) within Census Tract 76.03. The number of Off-Sale ABC licenses will remain the same.

The Sherriff's Department did not provide any comments or objections to the ABC request.

Staff has considered all possible concerns thought to be relevant to this business's operation. Cuca's Mexican Restaurant is a family restaurant that is catering to the local neighborhood. Staff supports the project and does not foresee any negative impacts with the approval of an ABC license. However, should the Applicant lose their State License or should there arise any significant issues, the Conditional Use Permit may be revoked by action of the Planning Commission. Staff are recommending approval of the project subject to findings within the attached Resolution.

EXHIBITS:

- A. Building Photos
- B. Site Plan and Floor Plan
- C. ABC Number of Licenses Allowed by Census Tract
- D. List and Map of active on-sale ABC licenses within Census Tract 76.03

ATTACHEMNTS:

- 1) Resolution 2024 – ____ for Conditional Use Permit (CUP-24-003)
Exhibit 1: Conditions of Approval

Exhibit A:

Building Photos

Base Line Frontage:



Patio:



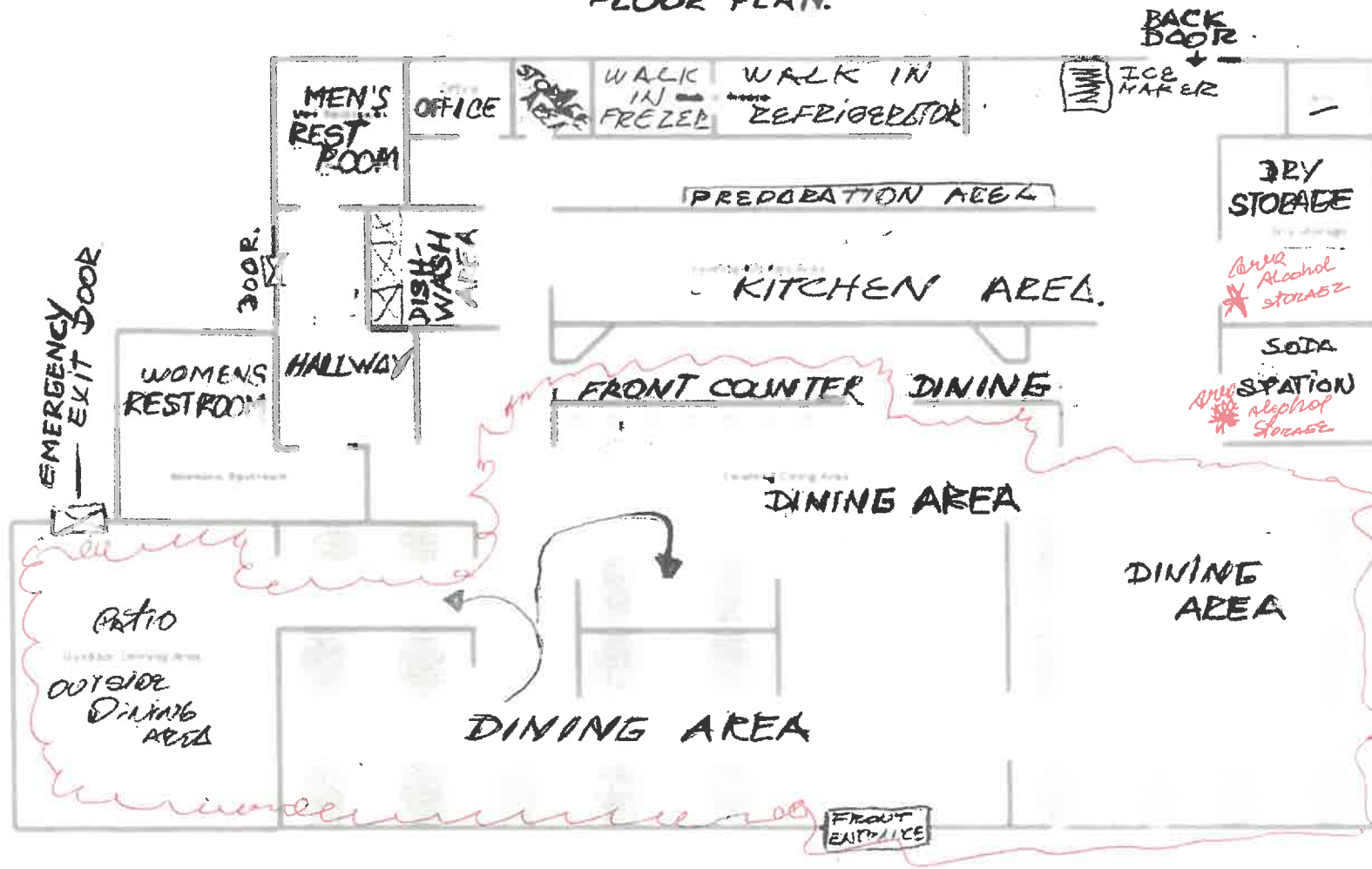
Exhibit B:

Site Plan and Floor Plan

27245 Base Line Street Highland Ca 92346
FLOOR PLAN.

PALM GROVE TRILER PARK

CITY OF HIGHLAND BUILDINGS
CENTER.



FLOOR PLAN.

BASELINE STREET.

CUCAS MEXICAN
FOOD
27245 BASELINE
ST.
HIGHLAND CA
92346

Exhibit C:

ABC Number of Licenses Allowed by Census Tract

ABC Number of Licenses Allowed by Census Tract

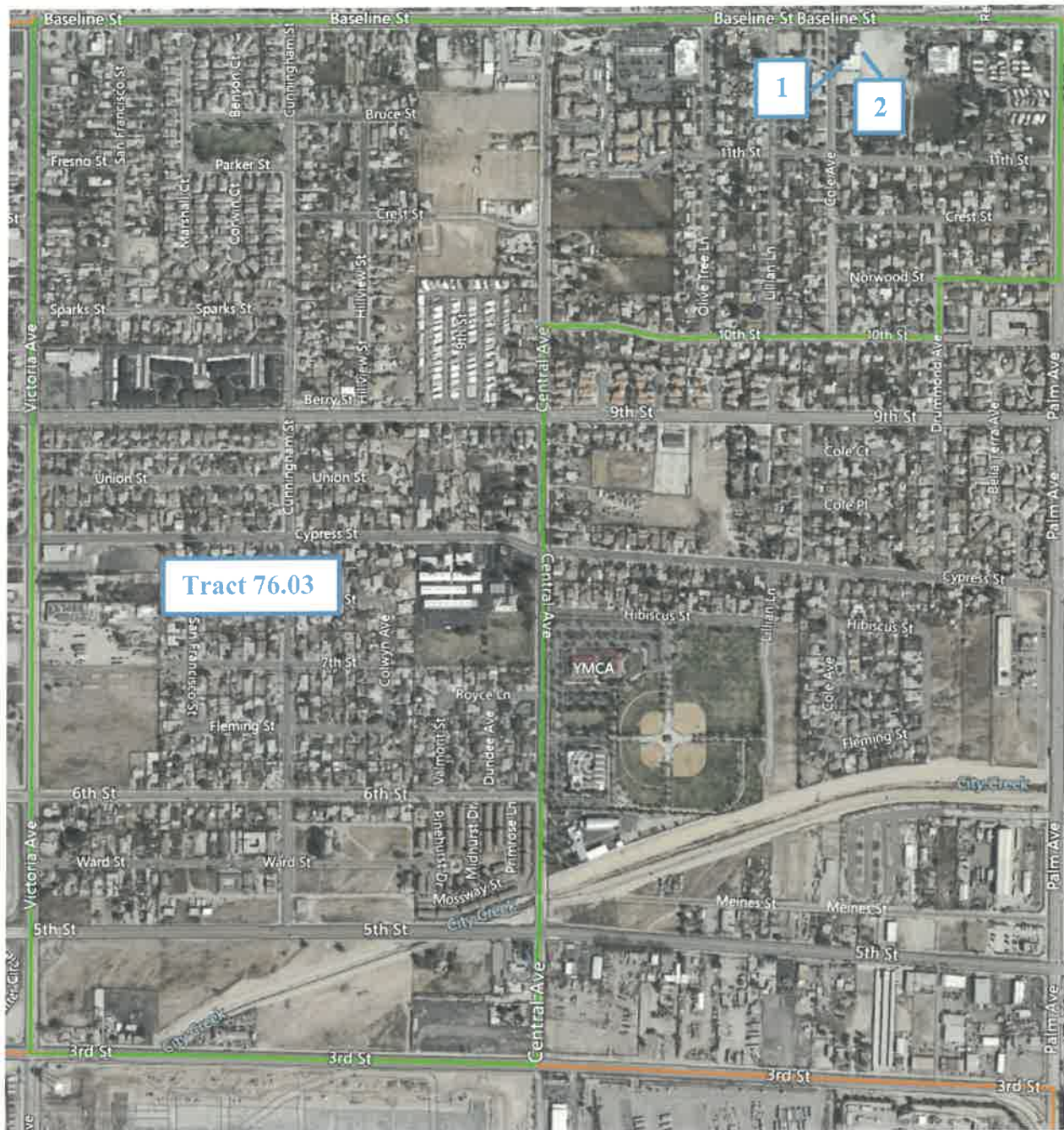
CA ABC Report

County	County Population	County Ratio On-Sale	County Ratio Off-Sale	Census Tract	Census Tract Population	On-Sale	Off-Sale
SAN BERNARDINO	2175909	1216	1429	67.00	4484	3	3
SAN BERNARDINO	2175909	1216	1429	70.01	3596	2	2
SAN BERNARDINO	2175909	1216	1429	70.02	4952	4	3
SAN BERNARDINO	2175909	1216	1429	71.04	4030	3	2
SAN BERNARDINO	2175909	1216	1429	71.05	3259	2	2
SAN BERNARDINO	2175909	1216	1429	71.06	4254	3	2
SAN BERNARDINO	2175909	1216	1429	71.07	3416	2	2
SAN BERNARDINO	2175909	1216	1429	71.08	2309	1	1
SAN BERNARDINO	2175909	1216	1429	71.10	4917	4	3
SAN BERNARDINO	2175909	1216	1429	71.11	3640	2	2
SAN BERNARDINO	2175909	1216	1429	71.12	3345	2	2
SAN BERNARDINO	2175909	1216	1429	72.01	3671	3	2
SAN BERNARDINO	2175909	1216	1429	72.02	3027	2	2
SAN BERNARDINO	2175909	1216	1429	73.03	4969	4	3
SAN BERNARDINO	2175909	1216	1429	73.05	4915	4	3
SAN BERNARDINO	2175909	1216	1429	73.06	6044	4	4
SAN BERNARDINO	2175909	1216	1429	73.07	5162	4	3
SAN BERNARDINO	2175909	1216	1429	73.08	5074	4	3
SAN BERNARDINO	2175909	1216	1429	74.04	4638	3	3
SAN BERNARDINO	2175909	1216	1429	74.07	3119	2	2
SAN BERNARDINO	2175909	1216	1429	74.08	4432	3	3
SAN BERNARDINO	2175909	1216	1429	74.09	6278	5	4
SAN BERNARDINO	2175909	1216	1429	74.10	6091	5	4
SAN BERNARDINO	2175909	1216	1429	74.11	1729	1	1
SAN BERNARDINO	2175909	1216	1429	74.12	6645	5	4
SAN BERNARDINO	2175909	1216	1429	76.03	5059	4	3
SAN BERNARDINO	2175909	1216	1429	76.04	4844	3	3
SAN BERNARDINO	2175909	1216	1429	76.05	4233	3	2
SAN BERNARDINO	2175909	1216	1429	76.06	3556	2	2
SAN BERNARDINO	2175909	1216	1429	78.00	6632	5	4
SAN BERNARDINO	2175909	1216	1429	79.03	4931	4	3
SAN BERNARDINO	2175909	1216	1429	79.04	7061	5	4
SAN BERNARDINO	2175909	1216	1429	79.05	3600	2	2
SAN BERNARDINO	2175909	1216	1429	79.06	4343	3	3
SAN BERNARDINO	2175909	1216	1429	80.01	7038	5	4
SAN BERNARDINO	2175909	1216	1429	80.03	4222	3	2
SAN BERNARDINO	2175909	1216	1429	80.04	3250	2	2
SAN BERNARDINO	2175909	1216	1429	81.00	3326	2	2
SAN BERNARDINO	2175909	1216	1429	82.01	3323	2	2
SAN BERNARDINO	2175909	1216	1429	82.02	2576	2	1
SAN BERNARDINO	2175909	1216	1429	83.01	5616	5	4
SAN BERNARDINO	2175909	1216	1429	83.02	3268	2	2
SAN BERNARDINO	2175909	1216	1429	84.02	6501	5	4
SAN BERNARDINO	2175909	1216	1429	84.03	5791	4	4
SAN BERNARDINO	2175909	1216	1429	84.04	2931	2	2
SAN BERNARDINO	2175909	1216	1429	84.05	5752	4	4
SAN BERNARDINO	2175909	1216	1429	84.06	5254	4	3
SAN BERNARDINO	2175909	1216	1429	85.01	3945	3	2
SAN BERNARDINO	2175909	1216	1429	85.02	4782	3	3
SAN BERNARDINO	2175909	1216	1429	86.01	6404	5	4
SAN BERNARDINO	2175909	1216	1429	86.02	3641	2	2
SAN BERNARDINO	2175909	1216	1429	87.05	4669	3	3
SAN BERNARDINO	2175909	1216	1429	87.08	4415	3	3
SAN BERNARDINO	2175909	1216	1429	87.09	4627	3	3

Report Date: Tuesday, June 20, 2024

Exhibit D:

List and Map of active on-sale ABC licenses
within Census Tract 76.03



Business Name	Address	License Type	License Description
Joy's Lounge Food & Spirits	27141 Base Line, Ste. 11	47 – Active	On-Sale General Eating Place
Pancho's Kitchen	27141 Base Line, Ste.	41 - Active	On-Sale Beer & Wine - Eating Place

Attachment 1:

Resolution 2024 – ____ for Conditional Use Permit (CUP-24-003)

RESOLUTION NO. 2024 - ____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HIGHLAND, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT APPLICATION (CUP-24-003) TO PERMIT THE ESTABLISHMENT OF AN ALCOHOLIC BEVERAGE CONTROL LICENSE TYPE 47 (ON-SALE BEER AND WINE – EATING PLACE) FOR A FULL-SERVICE RESTAURANT ESTABLISHMENT KNOWN AS CUCA’S MEXICAN RESTAURANT, LOCATED AT 27245 BASE LINE, HIGHLAND CA. 92346

ASSESSORS PARCEL NUMBER: 1192-421-05

APPLICANT: CUCA’S MEXICAN RESTAURANT

A. RECITALS

1. On April 30, 2024, the Applicant applied for a Conditional Use Permit (CUP 24-003) to permit the establishment of a Type 47 On-Sale Beer and Wine – Eating Place Alcoholic Beverage Control License for a Cuca’s Mexican Restaurant located at 27245 Base Line, Highland, CA 92346 (APN: 1192-421-05) within the Mixed-Use General Plan land use designation and Zoning District.
2. The proposal is a request to permit an Alcoholic Beverage Control license for an existing restaurant and as specified in the Highland Municipal Code, approval of a conditional use permit by the Planning Commission is required.
4. On July 2, 2024, the Planning Commission of the City of Highland conducted a public hearing on the subject application and concluded the hearing on that date.
5. Pursuant to California Environmental Quality Act, the Project is Categorically Exempt per the CEQA Guidelines, Section 15301, Class 1 Existing Facilities. There is no further environmental review required.
6. All legal prerequisites to the adoption of this Resolution have occurred.

B. RESOLUTION

NOW THEREFORE, it is hereby found, determined and resolved by the Planning Commission of the City of Highland as follows:

1. The Planning Commission finds that all of the facts set forth in the Recitals, Part “A” of this Resolution, are true and correct.
2. The City of Highland Planning Commission after due consideration, inspection, investigation and study made by itself and on its behalf, and after due consideration of all evidence and reports offered at said hearing, including the staff

report to the Planning Commission dated July 2, 2024, which is incorporated herein by this reference, does find and determine the following facts:

- a. All necessary public meetings and opportunities for public testimony and comment have been conducted in compliance with State Law and the Municipal Code of the City of Highland.

3. Conditional Use Permit Findings of Fact (CUP-24-003):

- a. Highland Municipal Code (HMC) Section 16.80.50.E.1, the proposed use and activity are permitted within the subject district pursuant to the provisions of this section and complies with all the applicable provisions of this title; and is consistent with the goals, policies, and objectives of the Highland General Plan, and the applicable development policies and standards of the city.

Response: The proposed use of a restaurant with alcohol sales consumption is allowed within the Mixed Use zoning district subject to approval of a conditional use permit in the shopping center for retail uses. The applicant is proposing to establish a Type 47 On-Sale Beer and Wine – Eating Place License for a Bona Fide Public Eating Place to include beer and wine selections with their menu offerings.

This proposal is consistent with the current zoning designation of MU (Mixed use). The current General Plan designation for the subject site is Mixed Use as well. The city has reviewed the application and conditions of approval have been attached to the project to ensure compliance with applicable development policies and standards of the city.

- b. HMC Section 16.80.50.E.2, the proposed use would not impair the integrity and character of the district in which it is to be established or located.

Response: The proposed project is to permit the establishment of an Alcoholic Beverage Control license from a Type 47 (On-sale Beer and Wine – Eating Place) license. The project site is within the Mixed Use General Plan land use designation and zone and is surrounded by residential uses, commercial uses, and civic center uses.

The applicant believes the establishment of a Type 47 Alcoholic Beverage Control license will better serve the community. The existing business hours shall remain as they are, Monday through Saturday from 9:00 am to 8:00 pm and Sunday from 9:00 am to 7:00 pm. The proposed use is permitted within the zoning district subject to approval of a conditional use permit.

Since the operational characteristics of the business (a family style restaurant) would remain unchanged, approval of this request would result in the expansion of the items offered for sale to include beer and wine, contributing

to the economic benefit to the business and the City. The proposal would not impair the integrity or character of the district in which it is to be established.

- c. HMC Section 16.80.50.E.3, the site is suitable for the type and intensity of use or development which is proposed.

Response: As noted above restaurants are an allowed use within the district in which the project site is located. Restaurants which serve alcohol are a permitted use within the zoning district, subject to approval of a conditional use permit. The subject application has been reviewed in compliance with the Highland Municipal Code and appropriate conditions of approval have been applied to the project.

- d. HMC Section 16.80.50.E.4, there are adequate provisions for water, sanitation, and public utilities and services to ensure public health and safety.

Response: The project site is currently served by water, sewer, public utilities, and by the City of Highland Fire and Police Departments. There are adequate provisions for water, sanitation, and public utilities and services to ensure public health and safety.

- e. HMC Section 16.80.50.E.5, the proposed use will not be detrimental to the public health, safety, or welfare, or materially injurious to properties and improvements in the vicinity.

Response: The applicant is proposing to include beer and wine service at the new restaurant with the establishment of a Type 47 Alcoholic Beverage Control License. The sale of alcohol is ancillary to the restaurant use and is allowed, subject to approval of a conditional use permit. The subject application has been reviewed in compliance with the Highland Municipal Code and appropriate conditions of approval have been applied to the project.

- f. HMC Section 16.80.50.E.6, the proposed use would not result in a significant effect on the environment.

Response: This project is Categorically Exempt from environmental proceedings pursuant to Section 15301, Class 1, Existing Facilities, of the California Environmental Quality Act (CEQA) Guidelines, since the proposed project consists of issuance of a license by another agency and an alteration to operational characteristics for an existing Bona Fide Public Eating Place.

- 5. Based on the findings of fact and conclusions set forth above, the Planning Commission approves CUP 24-003 to permit the establishment of an Alcoholic Beverage Control Type 47 (On-Sale Beer and Wine – Eating Place) license for Cuca’s Mexican Restaurant, located at 27245 Base Line, Highland CA 92346 (APN:

1192-421-05) by adopting the conditions of approval attached hereto and incorporated herein by reference as Exhibit 1.

C. ADOPTION OF RESOLUTION.

The City Clerk shall certify to the adoption of this Resolution and shall cause the same to be published or posted in the manner prescribed by law.

Exhibit 1 includes the Conditions of Approval for CUP 24-003

PASSED, APPROVED AND ADOPTED this 2nd day of July 2024.

ATTEST:

Randall Hamerly, Chairman
Planning Commission

Lawrence A. Mainez
Community Development Director

Exhibit 1:

Conditions of Approval

CITY OF HIGHLAND
PLANNING DIVISION CONDITIONS OF APPROVAL

Date: July 2, 2024

Applicant: Cuca's Mexican Restaurant

Project No: Conditional Use Permit No. 24-003

Proposal: A proposal to consider the establishment of an Alcoholic Beverage Control License Type 47 (On-sale Beer and Wine – Eating Place) to an existing full-service Cuca's Mexican Restaurant.

Location: 27245 Base Line, Highland CA. 92346 (APN: 1192-421-05)

PLANNING CONDITIONS

These conditions of approval represent the Planning Divisions conditions of approval and are meant to be one part of overall conditions of approval that may include, Engineering, Building and Safety, Fire Department, and other agency conditions of approval.

The conditions below are continuing conditions. Failure of the applicant and/or operator to comply with any or all said conditions at any time shall result in the revocation of this permit granted to use the subject property.

1. This Conditional Use Permit approval shall become null and void:

- a. Unless all conditions have been complied with and the occupancy or use of the land or existing structures authorized by such conditional use permit approval has occurred within twelve (12) months from the approval date of said conditional use permit.
- b. Where circumstances beyond the control of the applicant cause delays which do not permit compliance within the time limitation established in this section, the City Planner may grant an extension of time for a period of time not to exceed an additional twelve (12) months. An application for an extension of time must be set forth in writing, stating the reasons for the extension, and must be filed with the Planning Division a minimum of thirty (30) calendar days prior to the expiration of the conditional use permit approval. Such application shall be filed together with the city's processing fee, as established by the City Council.

2. This approval is to permit the establishment of a Type 47 On-Sale Beer and Wine – Eating Place License from the State Department of Alcoholic and Beverage Control for an existing restaurant known as “Cuca’s Mexican Restaurant”.
3. The applicant shall agree to defend, at his sole expense, any action brought against the city, its agents, officers, or employees, because of the issuance of such approval, or in the alternative, to relinquish such approval. The applicant shall reimburse the city, its agents, officers, or employers, for any court costs and attorney's fees which the city, its agents, officers or employees may be required by a court to pay as a result of such action. The city may, at its sole discretion, participate at its own expense in the defense of any such action, but such participation shall not relieve the applicant of his obligations under this condition.
4. Any revisions, modifications to the ABC License, as prepared by the State of California Department of Alcoholic and Beverage Control or any modifications to any conditions listed herein, must be submitted to the Planning Division; additional review and approval may be required by the Planning Commission.
5. All requirements of the Department of Alcoholic and Beverage Control shall be complied with and such requirements shall become part of these conditions of approval by reference.
6. “Loitering is Prohibited” signs shall be posted on and around the subject premises. Size and location shall be approved by the property owner and the City of Highland Planning Division.
7. The sale of alcoholic beverages shall be limited to the hours of 9:00 a.m. to 9:00 p.m. Monday through Sunday. Should there be a desire to extend the hours of operation listed above a revision to the Conditional Use Permit will be required.
8. Should at any time the ABC License issued to the applicant by the State of California be surrendered or abandoned, this Conditional Use Permit shall automatically become null and void.
9. The patio dining area where alcoholic beverages will be served shall be enclosed with a four foot (4') wrought iron fence.



STAFF REPORT

TO THE PLANNING COMMISSION

DATE: July 2, 2024

FROM: Lawrence A. Mainez, Community Development Director

PREPARED BY: Kim Stater, Assistant Community Development Director 

SUBJECT: Design Review Application (DRA 24-004) including Site Plan, Building Elevations, and Conceptual Landscape Plan for 'Major 1', 'Pad 1', 'Pad 6', and 'Pad 7' within Planning Area 1 of the Greenspot Village & Marketplace Specific Plan at the northeast corner of Greenspot Road and State Route 210. This application will modify the previously approved Design Review Application (DRA 20-012).

(SB 1439 Campaign Contributions and Conflicts of Interest - Government Code Section 84308 is applicable)

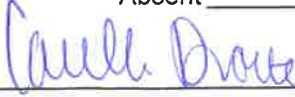
LOCATION: 27812-27920 Greenspot Road, Highland, CA 92346
Assessor's Parcel Number 1201-331-09

PROPERTY OWNER: TREH XV, LLC

RECOMMENDATION: Staff recommends the Planning Commission adopt Resolution No. 2024 - ____, approving Design Review Application (DRA 24-004) related to Major 1, Pad 1, Pad 6, and Pad 7 within Planning Area 1 of the Greenspot Village & Marketplace, modifying DRA 20-012.

PUBLIC NOTICE: On June 14, 2024, a Public Hearing Notice was mailed to property owners within 300 feet of the project and those requesting notice. The same notice was published in the San Bernardino Sun newspaper on June 21, 2024. The agenda for this item was posted at the three locations per Resolution No. 2011-047 and on the City's website.

FISCAL IMPACT: In accordance with the City's Resolution, the Applicant submitted a Design Review Application and associated deposit to cover the cost of processing the subject application. Staff time was charged to this deposit. Development Impact Fees will be calculated upon application for Building Permits and paid in advance of occupancy.

Approved _____	Motion _____	Second _____	Agenda Item No. <u>24</u>
Denied _____	Ayes _____		
Continued _____	Noes _____		File No. _____
Tabled _____	Abstain _____		
	Absent _____		
			
Recording Secretary		Community Development Director	

DESCRIPTION OF SITE: The site is located within the Greenspot Village & Marketplace Specific Plan ("GVMP") encompassing 104 acres with frontage along Greenspot Road, Webster Street, Boulder Avenue and City Creek Flood Control Channel. The overall plan contains three (3) commercial and residential Planning Areas and multiple ownerships. The subject application is located with Planning Area 1 (PA1) of GVMP, under the ownership of TREH Partners / TREH XV LLC ("TREH"). It is on the north side of Greenspot Road, immediately east of State Route 210 and is approximately 11.22 acres in area. PA 1 has a commercial land use designation of "Highland Marketplace" which allows a variety of retail, office, and service commercial uses. The site is currently under construction with two (2) of the previously approved quick service restaurants and site infrastructure and is scheduled to be completed in the fall of 2024.

PREVIOUS ACTION: Land use entitlements for the TREH site were approved on June 8, 2021, to construct a mixed-use residential and commercial development consisting of a 85,316 square foot retail shopping center including restaurants, retail service, convenience store, vehicle fueling station, and a 200-unit residential apartment complex on vacant parcels approximately 19.81-acres in area (DRA 20-012 and CUP 20-007). The approvals increased the size of the residential aspect of the Specific Plan and removed the landscaped paseo (SPR 20-003). It subdivided the property into eight (8) parcels (TPM 20-002). Eight (8) alcoholic beverage control (ABC) licenses were approved for the commercial center (CUP 20-006) as well as the establishment of a Sign Program for both the commercial and residential developments (ASR 20-013).

PROJECT DESCRIPTION: Prior Design Review approvals included building elevations for Pad 2 (multi-tenant building including Chipotle), Pad 3 (Ono Hawaiian BBQ), Pad 4 (Starbucks) and Pad 5 (multi-tenant).

The current Application includes elevations for Pad 1 (Anthem vehicle fueling station), Pad 6 and 7 (multi-tenant with no tenant identified), and Major 1 (Stater Bros. grocery store). Pad 7 is an addition to the prior plan and Major 1 combines the footprint of the previously identified Major 1 and Major 2. The proposed modifications have a net reduction of approximately 2,400 square feet and do not require additional analysis regarding impacts on traffic or circulation.

Site Plan

The Enlarged Site Plan shows the final footprint, improvements and circulation for Major 1, Pads 6 and 7. Major 1 has been expanded and Major 2 removed. Pad 6 has been slightly enlarged and Pad 7 added. The plaza located along the south side of Pad 6 has been relocated and a large trellis added along the frontage of Pad 7. This area may be used for outdoor dining or gathering based on the final tenant selection.

The parking fields remain at the center of the project, available to all visitors and employees. The stamped concrete walkway remains, connecting the north and south shops in the spirit of providing a pedestrian-friendly center. Major 1 is tucked into the top of the site with a truck bay at the northwest corner.

Access and Circulation in the Commercial Development

Primary access from Greenspot Road remains unchanged from the prior approval. Internal drive aisles are in accordance with the Specific Plan standards for a commercial shopping center. The project owner/manager will be responsible for maintaining internal roads, plaza areas, and landscape buffers.

Parking in the Commercial Development

The Greenspot Village & Marketplace Specific Plan established site-specific parking requirements for its commercial uses. Based on the Specific Plan, retail, commercial, entertainment, office, and restaurant mix, the Plan calls for a minimum of four (4) parking spaces per 1,000 square feet of commercial use. The Planning Conditions of Approval for DRA 20-012 require a minimum of 342 parking spaces within the commercial component. The current Site Plan includes 396 parking spaces west of the Greenspot entry plus 30 for the fuel station, convenience store and car wash. The project exceeds the minimum standard by 84.

Pad 1 - Vehicle Fueling Station/Convenience Store/Car Wash

The station will have eight (8) pumps, a total of 16 fueling positions. The canopy is 124 feet long by 42 feet deep, 5,208 square feet in area and 19'8" tall. The convenience store is to the north with multiple entries along the front side. The store has a drive through aisle and window on the north side. The window may be used by the convenience store or leased to a quick service restaurant at a future date. The car wash ques in parallel along the east side with a bypass lane that continues straight and the car wash to the left. Seven (7) self-serve vacuum stations are along the north side. The fueling truck route is shown on the Architectural Site Plan with ample room to maneuver from the main drive (Lowe's Way) and loop around the canopy then back out to Greenspot Road. There are 30 parking spaces onsite for the convenience store and car wash.

Building Elevations

Pad 1 – Anthem Vehicle Fueling Station/Convenience Store/Car Wash

The building elevations of the store, car wash and canopy match the design features of the center with stucco body and cornice, wood corbels, El Dorado stone veneer along the base of the building, columns, and storefront surrounds, brick veneer columns along the rear, and concrete flat roof tiles grey in color. The two (2) tower roof elements are varied, one with a flat roofline and the other a hip. The carwash has complementary features. All buildings are finished in earth tones including beige body and brown trim and accents. Building mounted lighting fixtures a sleek modern design, matching the parking lot lighting. The fuel tenant has been identified as Anthem thus the canopy face is red with white lettering and the red/white/black Anthem logo.

Under a separate permit, staff will ensure building-mounted and canopy signs adhere to the site's approved Sign Program.

Pads 6 & 7 - Multi-tenant Retail/Restaurant

Pads 6 and 7 contain similar architectural styles and features as previously approved for the southerly commercial buildings. The main roof lines are just above 20 feet with tower elements containing flat and gabled roof accents at not more than 35 feet tall. Wood corbels are used on all four sides. The buildings are clad in neutral tones of stucco (Sherwin Williams "White Flour" and "Intellectual Gray") with dark grey, brown and bronze accents and "Rustic Ledge" stone veneer. The veneer is used on nearly all columns and tower features on all four elevations of Pads 6 and 7. There is a large trellis cover on the east side of Pad 7 for decorative purposes that may be used for outdoor dining if desired by a future restaurant tenant. There is also a pedestrian Plaza between Pads 6 and 7 as shown on the Conceptual Landscape Plan that may contain decorative paving and/or landscaping features for an enhanced gathering space if the corresponding tenants are secured. The "signage" shown on the elevations is for reference only and does not reflect approved locations or sizes. Staff will review future tenant signage in compliance with the Sign Program.

Major 1 – Stater Bros. Markets Grocery Store

Major 1, at the far north of the commercial site, is in keeping with the architecture of the center. It has a 41 foot tall center tower entrance with multiple pop-outs at 28 feet and 33 feet, and main roof line at 26 feet. The roofline is horizontal with wood corbels along the front and rear of the tower elements. The building is mainly white stucco with grey accents. Signage will be red channel lettering consistent with the corporate branding. Stone cladding will be installed along the columns, base of the storefront and along the east and west elevations most visible to the public. To break up the long expanses on the east and south elevations, "boxed" shaped pop outs have been added within each 40' panel of the building.

The prior approval of DRA 20-021 included the color and materials samples for the above commercial pads and major tenant. The proposed elevations which are a part of this application are within this palette of colors and materials.

Conceptual Landscape Plan

The Applicant is providing approximately 14.5% landscape coverage throughout the overall project site. Within the parking lot specifically, there is 34% coverage. The landscape plan is consistent with the Specific Plan landscape guidelines. An overall landscape plan was approved with DRA 20-021. Adjustments have been made in the areas currently under review to account for final design of circulation, perimeter walls and sensitive biological habitat to the north. The northerly perimeter landscaping planter was reduced from 10 feet to 2 feet and moved north of the project boundary wall to retain habitat for the endangered San Bernardino Kangaroo Rat. On-site columnar shrubs in this planter have been replaced with climbing vines to screen the wall and reduce the heat island effect. A 10 foot wide planter along the westerly frontage was retained, but landscape islands removed due to conflicts with future EV charging parking. The plant species and pattern otherwise retain their original pattern. Project Conditions of Approval include comments by the City's Landscape Architect.

The Conceptual Landscape Plan does include the landscaping design along the frontage of the vehicle fueling station (Pad 1), but not the interior on-site planting. This plan has not yet been prepared by the Anthem tenant. A Planning Division Condition of Approval has been included to ensure that future on-site planting will be reviewed by the City's Landscape Architect in advance of issuance of building permits to ensure consistency with the overall commercial center.

Walls

Walls were previously approved with DRA 20-021 and remain unaltered. A six-foot (6) foot masonry wall will be constructed along the northerly and westerly perimeters. Long expanses of this wall are already in place. No additional review is required.

Photometrics

Photometrics were previously approved with DRA 20-021. Slight adjustments were made based on final building placements and reviewed by the project biologist to ensure there is no spillover into the biologically sensitive habitat to the north. No additional review is necessary.

ANALYSIS:

The development and proposed Site Plan, Conceptual Landscape Plan and Building Elevations are consistent with the Specific Plan Design Guidelines in promoting an agrarian character that creates an overall "Sense of Place" and are in keeping with the previously approved Design Review Application DRA 20-012 for the site. As depicted by the architectural elevations, the color patterns of the buildings help to provide both aesthetic variety from different angles but also the appeal of a cohesive development.

ENVIRONMENTAL ASSESSMENT: An Environmental Impact Report (ENV No. 09-003) and Supplemental Environmental Impact Report (19-002) prepared for the Greenspot Village & Marketplace Specific Plan was certified by the City of Highland City Council on June 11, 2013, and June 25, 2019, respectively. The EIR and SEIR anticipated commercial developments projected by the subject application. Public Resources Code Section 21166 and the corresponding CEQA Guidelines Section 15162 provide that when an environmental impact report has been prepared for a project pursuant to this division, no subsequent or supplemental environmental impact report shall be required by the lead agency, if there is not a substantial change to the project and no new information is presented. This is the case for the subject project.

- Attachments:
1. Planning Commission Resolution for DRA 24-004
 - Exhibit A – Conditions of Approval
 - Exhibit B – 11x17" Project Plans
 2. Large Scale Plans
 - Enlarged Site Plan
 - Exterior Elevations for Pads 6 & 7
 - Exterior Elevations for Major 1 – Stater Bros.
 - Site Plan & Elevations for Pad 1 – Anthem Fuel Station/C-Store/Carwash

ATTACHMENT 1

Planning Commission Resolution for DRA 24-004

RESOLUTION NO. 2024 – _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HIGHLAND, CALIFORNIA TO APPROVE DESIGN REVIEW APPLICATION (DRA NO. 24-004) INCLUDING SITE PLAN, BUILDING ELEVATIONS, AND CONCEPTUAL LANDSCAPE PLAN FOR ‘MAJOR 1’, ‘PAD 1’, ‘PAD 6’, AND ‘PAD 7’ WITHIN PLANNING AREA 1 OF THE GREENSPOT VILLAGE & MARKETPLACE SPECIFIC PLAN AT THE NORTHEAST CORNER OF GREENSPOT ROAD AND STATE ROUTE 210, 27812-27920 GREENSPOT ROAD, HIGHLAND, CA (APN NO. 1201-331-09).

APPLICANT: TREH PARTNERS XV, LLC

A. RECITALS

1. On April 8, 2024, the Applicant submitted a Design Review Application (DRA No. 24-004) including Site Plan, Building Elevations and Conceptual Landscape Plan for Major 1, Pad 1, Pad 6 and Pad 7 of the Highland Crossings project within Planning Area 1 of the Greenspot Village & Marketplace Specific Plan at the northeast corner of Greenspot Road and 210 freeway (“Subject Application”), Assessor’s Parcel Number 1201-331-09.
2. The project site has a Zoning Designation of Highland Marketplace, per Planning Area No. 1 Greenspot Village & Marketplace Specific Plan Scenario No. 1.
3. On June 8, 2021, the City Council of the City of Highland adopted Resolution No. 021-022, approving Design Review Application DRA 20-012 for the construction of an 85,316 square foot commercial retail center at the subject site. The Application’s Conditions of Approval required that future modifications, additions, and improvements to the project be approved by the Planning Commission including the Building Elevations for the commercial pads as they developed. This application will modify DRA 20-012 as provided for in the attached Plans (Exhibit B).
4. On July 2, 2024, the Planning Commission of the City of Highland, conducted a duly notice public hearing on the Subject Application.
5. All legal prerequisites to the adoption of this Resolution have occurred.

B. RESOLUTION

NOW THEREFORE, it is hereby found, determined and resolved by the Planning Commission of the City of Highland as follows:

1. The Planning Commission finds that all of the facts set forth in the Recitals, Part “A” of this Resolution, are true and correct.

2. The City of Highland Planning Commission after due consideration, inspection, investigation and study made by itself and on its behalf, and after due consideration of all evidence and reports offered at said hearing, including the staff report to the Planning Commission dated July 2, 2024, and which is incorporated herein by this reference, does find and determine the following facts:

a. All necessary public meetings and opportunities for public testimony and comment have been conducted in compliance with State Law and the Municipal Code of the City of Highland.

3. Findings of Fact for DRA No. 24-004:

a. That the proposed project is consistent with the general plan or specific plan.

Response: The proposed project is consistent with the Specific Plan because the Specific Plan identified that Planning Area No. 1 allows for development of approximately 174,000 square feet of commercial retail uses. The proposed project seeks Design Review Approval for Pads 1, 6 and 7, and Major 1, within the previous approval of an 85,316 square foot commercial retail center approved by DRA 20-012.

b. That the proposed use is in accordance with the objectives of this title, and the purposes of the land use district in which the site is located.

Response: The proposed use is in accordance with the objectives of this title, and the purposes of the land use district in which the site is located because the objective of the project is to provide a vibrant commercial use that compliments the surrounding commercial land uses while creating an attractive, cohesive combination of architectural styles and landscaping and provide amenities maintained by the management team that will satisfy the needs of the commercial tenants. The project plans show the appropriate water quality, landscape and design features consistent with the development policies on the City.

c. That the proposed use is in compliance with city design and landscape standards and criteria.

Response: The proposed use is in compliance with the previously approved DRA 20-012 as well as city design and landscape standards and criteria. The development has initiated the process to establish a Landscape Maintenance District (LMD) prior to occupancy for maintenance and upkeep of the landscaping in the median and right-of-way and frontage along Greenspot Road. The project's commercial development is be required to provide the costs to maintain the LMDs. The proposed outdoor landscape area with underground water quality infiltration system shall be maintained directly by the development. The project will meet the design

guidelines/criteria of the Specific Plan by providing 'Agrarian' architectural style for the commercial development.

- d. That the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare or will not be materially injurious to properties or improvements in the vicinity of the site.

Response: The proposed uses, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare because the proposed project is a commercial and residential development that is designed to offer various commercial retail uses that will support residential development. The proposed project will be constructed in compliance with building codes and conditioned so that it will not be detrimental to the public health, safety or welfare, or materially injurious to properties and improvement in the vicinity. The subject application identifies and studies the appropriate design elements required for development within the approved commercial center. It meets the required, adopted design policies of the Specific Plan, General Plan and Highland Municipal Code.

5. Based on the Findings of Fact and Conclusions set forth above, the Planning Commission approves Design Review Application (DRA No. 24-004) to for the design elements related to Major 1, Pad 1, Pad 6 and 7 of the subject site including Site Plan, Building Elevations, and Conceptual Landscape Plan, facilitating the commercial construction approved by DRA 20-012 for an 85,316 square foot commercial retail center within Planning Area No. 1, Scenario No. 1 of the Greenspot Village Specific Plan.

Exhibit A includes the Conditions of Approval

Exhibit B includes Project Plans

PASSED, APPROVED AND ADOPTED this 2nd day of July, 2024.

ATTEST:

Randall Hamerly, Chairman
Planning Commission

Lawrence A. Mainez
Community Development Director

Exhibit “A”
Conditions of Approval

CITY OF HIGHLAND
PLANNING DIVISION CONDITIONS OF APPROVAL

Date: July 2, 2024
Applicant: TREH Partners XV, LLC
File/Index: Design Review Application (DRA 24-004) – “Greenspot Crossing”
Proposal: Design Review Application including Site Plan, Building Elevations, and Conceptual Landscape Plan for ‘Major 1’, ‘Pad 1’, ‘Pad 6’, and ‘Pad 7’ within Planning Area 1 of the Greenspot Village & Marketplace Specific Plan at the northeast corner of Greenspot Road and State Route 210. This application will modify the previously approved Design Review Application (DRA 20-012).
Location: 27812-27920 Greenspot Road, Highland, CA 92346
Assessor’s Parcel Number 1201-331-09
Within the ‘Greenspot Crossings’ project, Planning Area 1, Greenspot Village & Marketplace Specific Plan located north of Greenspot Road and east of State Route 210
Related
Entitlements: Design Review Application DRA 20-012, Specific Plan Revision No. 06-01A, Conditional Use Permit No. 20-006 (ABC), Conditional Use Permit No. 20-007 (Gas Station), Tentative Parcel Map No. 20-002, & Accessory Sign Review No. 20-0013 (Sign Program)

PLANNING CONDITIONS OF APPROVAL

Note: These conditions represent Planning Division conditions only and are meant to be only one part of the Project’s overall conditions that include Building and Safety, Engineering, and the Fire Department conditions of approval. All required on-site and off-site improvements shall be completed and approved prior to final inspection for occupancy, except where noted.

Design Review Application (DRA No. 24-004) is conditionally approved, subject to compliance with the requirements as specified below. The Conditions listed below are continuing Conditions; failure of the Applicant and/or operator to comply with any / all Conditions at any time shall result in initiating revocation of the subject permit.

1. This entitlement shall become null and void:
 - a. Unless all conditions have been complied with and the substantial occupancy or use of the land or structures authorized by this design review application have occurred within thirty-six (36) months from the approval date, design review application shall expire and be null and void without further action by the City of Highland.
 - b. Where circumstances beyond the control of the Applicant cause delays which do not permit compliance within the time limitation established in this Section,

the Planning Commission may grant an extension of time for a period of time not to exceed an additional thirty-six (36) months (in one-year increments). An application for an extension of time must be set forth in writing, stating the reasons for the extension, and must be filed with the community development department no less than 30 calendar days nor more than 90 calendar days prior to the expiration date of the permit or approval. Such application shall be filed together with the City's processing fee, as established by the City Council.

2. Design Review Application (DRA 20-012) Conditions of Approval continue to apply to this project and site as adopted by City Council Resolution No. 21-022. Design Review Application (DRA 24-004) modifies the prior approval as it relates to the attached Site Plan, Building Elevations and Conceptual Landscape Plan attached for Major 1, Pads 1, 6 and 7.
1. The proposed entitlement includes a Site Plan, Building Elevations and Conceptual Landscape Plan related to Major 1, Pads 1, 6 and 7 of Greenspot Crossings, Planning Area 1 of the Greenspot Village & Marketplace Specific Plan.
2. The Applicant shall submit to the Planning Division written evidence of agreement with all conditions of this approval before the approval becomes effective.
3. In compliance with the Highland Municipal Code, the Applicant/Owner shall agree, at his/her sole cost and expense, to defend, indemnify, and hold harmless, the City, its officers, employees, agents, and consultants, from any claim, action, or proceeding brought by a third-party against the City, its officers, agents, and employees, which seeks to attack, set aside, challenge, void, or annul an approval of the City Council, Planning Commission, or other decision-making body, including staff, concerning this project. The City may, at its sole discretion, participate at its own expense in the defense of any such action but such participation shall not relieve the Applicant/Owner of his/her obligations under this condition.
4. The Owner/Applicant is responsible for implementing all conditions of approval to the satisfaction of the Community Development Director, City Engineer, and Fire Marshall. No final inspection or clearances shall be given until all conditions are met. Each condition of approval is separately enforced, and if one of the conditions of approval is found to be invalid by a court of law, all the other conditions shall remain valid and enforceable.
5. The subject property shall be developed in accordance with plans and materials approved by the Planning Commission on file with the City of Highland Planning Division and attached as "Exhibit B", and shall be in compliance with all conditions of approval contained herein.

6. Revisions, modification, or deletions of associated plans must be submitted to the Planning Division for review and approval. Revisions may require additional review by the Planning Commission.
7. If the property will remain undeveloped for longer than 18 months after initial grading has been completed, the applicant shall submit an interim landscape plan, consisting of temporary measures for screening, hydro-seeding, and dust control. Such plan shall include the timing of installation of necessary measures, and shall be approved by the Community Development Director.
8. The Applicant shall be responsible for making arrangements with the City's franchised waste collection and hauling services provider for any/all construction debris or solid waste generated as a result of this project.
9. Prior to issuance of Building Permits, the Applicant/Contractor/Occupant shall submit and obtain approval from the Public Services Division, a Construction Waste Diversion Plan, in accordance with Section 8.12.285 of the Highland Municipal Code.
10. Construction activities shall be restricted to weekdays and Saturdays between 7:00 a.m. and 7:00 p.m. only per the project's Mitigation Monitoring and Reporting Program. No construction, other than interior finish work shall be conducted any time on Sundays. Construction equipment shall be muffled in accordance with manufacturer's specifications.
11. The project site has been reviewed and approved for specific commercial and residential uses of a certain size. Any change of use of this project site, the occupancy, or tenant change in the building, or portion thereof, may require a revised plot plan be submitted to the City Planning Division for review and approval, which identifies location of use, letter of intent and parking requirements.
12. All permanent parking areas shall be paved and permanently maintained with asphalt or concrete and designated with clearly painted lines. A minimum of 342 parking spaces are required on-site for the commercial parcel and a minimum of 368 parking spaces are required for the residential parcel.
 - a. All parking areas shall be provided with nighttime security lighting. Lighting shall be shielded and directed to reflect away from neighboring properties. Lighting shall not exceed 0.5 foot candles of illumination beyond the property boundary.
 - b. Compact car parking spaces shall be not less than seven and one-half (7½) feet wide nor less than fifteen (15) feet long and shall be clearly

marked and/or posted with signs stating "Compact Cars Only". Compact spaces shall not exceed 25% of the required parking.

c. The handicapped parking spaces shall be properly signed and striped per the Americans with Disabilities Act.

d. Loading Zones shall be properly striped and signed.

13. Lighting shall be directed downward in order to minimize glare nuisances to surrounding properties. Fixtures shall be decorative and compatible with the overall project design theme.

14. The Development Impact Fees shall be paid in accordance with City policy as maybe amended from time to time.

15. Pursuant to the Specific Plan (Section 5.7.1.D) and the Highland Municipal Code (Section 16.16.040.E.3.I) Security system/camera plan shall be submitted to the city and reviewed by the city's Police Department for adequacy.

16. Pursuant to the Greenspot Village & Marketplace Specific Plan, Landscape Guidelines, in an area of long walls, the walls shall be offset and/or broken every 25 feet with theme pilaster to avoid visual monotony or as approved by the Planning Commission.

17. All ground mounted, as well as wall mounted mechanical, electrical, or gas equipment shall be screened from public view by the use of landscaping and/or architectural treatments compatible with the adjoining building's architectural design.

18. All rooftop mounted mechanical equipment, with the exception of solar panels, shall be screened from Greenspot Road and the interior of the project site. This can be accomplished by architectural treatments of parapets equal in height to the tallest piece of roof-mounted equipment.

19. A photometric plan shall be provided to the Planning Division for review and approval prior to issuance of a grading plan in compliance with the following standards:

a) Lighting shall comply with the Mitigate Monitor Reporting Program (MMRP) and meet the following HMC standards from Table 16.40.160.A for low activity commercial uses or other similar Standards, as approved by the Planning Commission:

- Maintained Footcandles - 0.2 min.
- Uniformity Avg.: Min - 5.9 : 1
- Average Foot-candle – 1.1

- Building entrances - 5.0 avg.
 - Illumination levels are defined as maintained horizontal footcandles on the task.
 - Average illumination values should not exceed minimum values by more than the product of the minimum value and the specified ratio.
 - In no case should illumination exceed 0.5 footcandles measured at the property line
- b) Parking lot light standards shall be a maximum of twenty-five feet (25') in height measured from grade and not taller than the adjacent building.
- c) All lighting fixtures shall be adjusted or designed to shine diagonally / downwards to avoid spillover and glare on the surrounding community with average of 0.5 footcandles to avoid spillover and glare impacts on the surrounding community and roadways.
- d) Security lighting shall be installed to adequately illuminate the facility. All security lighting shall be shielded and directed away from surrounding residential uses, businesses, and public right-of-way, and not be of unusually high intensity.
- e) Parking lot light standards shall be located at a distance from parking lot trees, so the trees do not interfere with the lighting pattern or the light fixture. Lighting standards shall be shown on the landscape plans and appropriately positions so as not to displace the intended location of trees in parking lot planters.
20. The photometrics plan shall also be reviewed and approved by the Project's Biologist to ensure that the on-site lighting does not detrimentally effect the nearby endangered and sensitive biological populations or their surroundings. (Mitigation Measure No. 4-1)
21. The project shall also adhere to the Conditions of Approval for Tentative Parcel Map No. 20-002 (TPM No. 20382).
22. The project shall continue to adhere to the EIR, Supplemental EIR, and the Mitigating Monitor Reporting Program (MMRP).
23. The courtyards/plaza shall be constructed prior to the certificate of occupancy of the adjacent building (Pad No. 6 & 7).
24. Prior to issuance of a certificate of occupancy by the City, all adjacent landscaping, irrigation or other improvements shown on the approved landscaping and irrigation plans, including any walls and fences, shall be installed.

25. In the event, the heating, venting and air conditioning (HVAC) are installed as ground mounted, the mechanical units shall incorporate sufficient structural or landscape screening with shrubs and bushes, to the satisfaction of the Community Development Director.
26. The Applicant / Developer shall install bicycle racks in compliance with Highland Municipal Code requirements. The bike racks shall be located in areas where they will not impede the flow of pedestrian traffic.
27. Exterior roof access ladders are prohibited. All roof access ladders shall be located inside the building.
28. All rooftop down drains shall be installed on the interior of the building. Roof drains shall not drain onto pedestrian walkways.
29. Truck loading bays and doors shall be screened with a combination of screen walls, ornamental landscaping, and/or portions of the building such that loading doors and delivery trucks are not readily visible from public view as approved by the Landscape Architect and Community Development Director.
30. All Major Anchor Stores (Major 1) and other uses requiring shopping carts shall provide interior storage or a screened area along the front entrance of the building for the storage of shopping carts. Standardized shopping cart collection locations throughout the parking lot shall be provided and shown on the "Final" Grading Plans and "Final" Landscape Plans for City Planner and the City Landscape Architect approval.
31. Parking of semi-trucks and/or trailers, except during on-site deliveries, shall be prohibited.
32. Overnight parking of non-tenant vehicles on-site shall be prohibited. The prohibition shall also include semi-trailers with or without the truck tractor who are not delivering to an on-site business.
33. All building mounted and freestanding signs shall be reviewed by the Planning Division for compliance with the approved Sign Program prior to application for building permit.

LANDSCAPING CONDITIONS

34. Per Chapter 16.40.390 of the Highland Municipal Code, the landscape plans shall be prepared by a Landscape Architect who is licensed to practice Landscape Architecture pursuant to Chapter 3.5 of Division 3 of the most recent California Business and Professions Code.
35. Conceptual landscape plans shall include the following as per Highland Municipal Code 16.40.390 Water Efficient Landscape requirements:

- a. Design statement, irrigation notes, planting notes, and a conceptual plant palette identifying proposed hydrozones;
 - b. Preliminary MAWA Calculation for the landscape project area based on the proposed hydrozones;
 - c. Separate images of all plant material to be used placed in groups such as trees, mid-level shrubs, low shrubs/accents, vines, and ground cover. If any organic materials are proposed such as gravel, stones, and or boulders they shall also be shown with color images in addition to any site features such as seating, pottery, or other landscape accessories.
- 36. Include all site plan information on the landscape plans including, property lines, ROW, easements, and any required setbacks.
- 37. All planting and irrigation plans shall confirm to all sections of 16.40.390 "Water Efficient Landscape" requirements and Section 14 of the Public Works Policies, Procedures, and Standards.
- 38. Applicant shall add and clearly define the path of travel.
- 39. Include min. 3' berming along Greenspot Road.
- 40. Dining patios will require planting buffers including berming or walls for separation from walks and parking areas.
- 41. Applicant shall verify landscape and trees do not block monument sign- previous conditions requested it to move to the East.
- 42. Indicate if 6' masonry wall noted north of Pad 6 extends all the way to Greenspot and how it will terminate/transition.
- 43. Indicate with elevations how walls will be constructed to create visual and physical relief such as integrating variable setbacks, split face block, columns, or other special features.
- 44. Required street trees shall be a minimum of 24" box, overall tree sizes for the project shall meet the following criteria:
 - a. All trees on Greenspot frontage shall be mix 36" & 24" box per previous conditions
 - b. All palms if used shall be skinned/ dead fronds removed.
 - c. Applicant shall coordinate with the City Landscape Architect for street tree species and required spacing.

- d. Please note that trees that create excessive debris from flowering/ seed production such as Pale Verde are prohibited due to Water Quality concerns.
- 45. Shade tree planting shall be installed to provide shade over 50% of the parking areas and 20% of landscape areas within 15 years of installation per Title 24 of the most current version of the California Green Building Code. Applicant shall prepare an exhibit showing the coverage estimated at noon on the summer solstice including overall parking area in sq. ft. and shaded area in sq. ft.
- 46. Root barriers shall be installed for all trees planted within 5 feet of hardscape, paving, or walls/structures. All trees requiring root barriers shall extend 10' from the center of the trunk in either direction and be a minimum of 24" deep.
- 47. All trees shall be double staked with vinyl type ties nailed to the lodge pole stakes in at least two vertical locations. Trees in high wind corridors or trees requiring special support measures shall require additional staking and or specialized staking material as needed..
- 48. Add additional shrub species (accents) to the two triangular shaped planters dividing Pad 6& 7 parking from Major 1 parking areas to break up ground cover from single row of shrubs.
- 49. Planting shall offer horizontal and vertical variation in form, texture, and scale that compliments the scale of the structure or area and shall include multiple varied species to prevent against loss of a monoculture of a single species from species specific pest or other environmental cause.
- 50. Landscaping and planting areas shall be used to screen and buffer edge areas and parking areas from public view. All parking areas shall be screened by earth mounding (30") and or screening shrubs to screen the parked cars from public view of users of the establishment and public right of way.
- 51. Planting in frontage areas shall have three basic levels- Groundcover, low or accent, and mid-level (up to the 30" requirement) to create the required visual buffer for parking areas.
- 52. Applicant shall add Vine pockets or additional planting areas for screening trash enclosure structures on all sides with the exception of swing gates and access doors/gates.
- 53. The applicant shall clarify the intent and planting for the "Native Habitat Landscape" at the northern portion of the site. What will make up the landscape, including quantities, and sizes?

54. Applicant shall add vines on the interior side of the Northern perimeter wall to screen the Major 1 building from residential development to the north per the original conditions.
55. Landscape islands or planters adjacent to parking stalls shall be a minimum of 5' wide excluding any concrete step out areas or curbing.
56. Tree diamonds, if used shall be a minimum of 25 sq. ft., trees in areas surrounded by imperviable paving may require specialized growing media, soil support, or other instruments to create healthy aerated soil for long term root and tree health.
57. All plants shall be hydrozoned to low to medium water use according to WUCOLS IV in Region 4, Inland Valley as a general guide.
58. Coordinate the landscape plan layout with the project's Water Quality Management Plan to ensure that the landscape layout aligns with the required Best Management Practices (BMP) for the facilities, Current landscape plan does not address any facilities if required.
59. Include total landscape area in square feet and a percentage of overall site for verification with meeting City minimums typically 10-15% based on similar projects.
60. Note and identify all fence and wall treatments including examples of materials as used throughout the project site.
61. A weather-based smart irrigation controller shall be installed that measures evapo-transpiration. A rain shut off device shall be installed free of overhead obstruction and connected with the irrigation controller in addition to a master valve, flow sensor and separate Landscape water meter are required.
62. Irrigation system within landscape maintenance district easements which are not maintained by the City shall be designed for easy isolation from on-site private irrigation systems in the event the City assumes maintenance of the irrigation and landscaping within the landscape maintenance district. Applicant shall design irrigation with the inclusion of required separations per the Shell LMD (City Standard Detail #401a).
63. A copy of the soil management plan and fertility recommendations specified using organic fertilizers and soil amendments shall be included on the first submittal of the landscape construction plans unless extensive grading is anticipated. In that case the landscape contractor shall provide the soil fertility recommendations and soil management plan prior to the pre-job meeting on site.

64. Applicant shall provide a concrete mow curb or other form of separation deemed acceptable by the City at property boundaries to clearly identify where landscape maintenance responsibilities end in addition to separating ground cover areas from shrub beds per previous conditions.
65. The City Landscape Architect shall meet with the job site superintendent and the landscape contractor for a pre-job meeting. Copies of required landscape submittals shall be presented for approval including soil test results per the soil management plan. The overall inspection schedule shall be reviewed, and all procedures shall be reviewed. No landscaping shall occur prior to the meeting.
66. Prior to the request for final inspection the Applicant shall have completed the installation of all landscape items, passed all construction sequence inspections in addition to having a completed 3rd party water audit with report, as built documents, controller charts submitted and approved prior by the City Landscape Architect. Failure to do so will result in delays for final inspection and or sign-off.
67. No light fixture, electric transformer, fire detector check, fire hydrant, or other utilities shall be designed for any location in a planting area, which would make it necessary to eliminate a tree or masses of shrubs. All overhead light fixtures and utilities shall be identified on the grading and site plans. Utilities shall be screened appropriately with landscaping. Any trees that are determined to be in conflict through the design development process shall be relocated to keep the same quantities shown on the approved entitlement plan, this shall include adjusting, adding, and revising or creating additional planting areas to support the total required number.

Fire Marshal Conditions

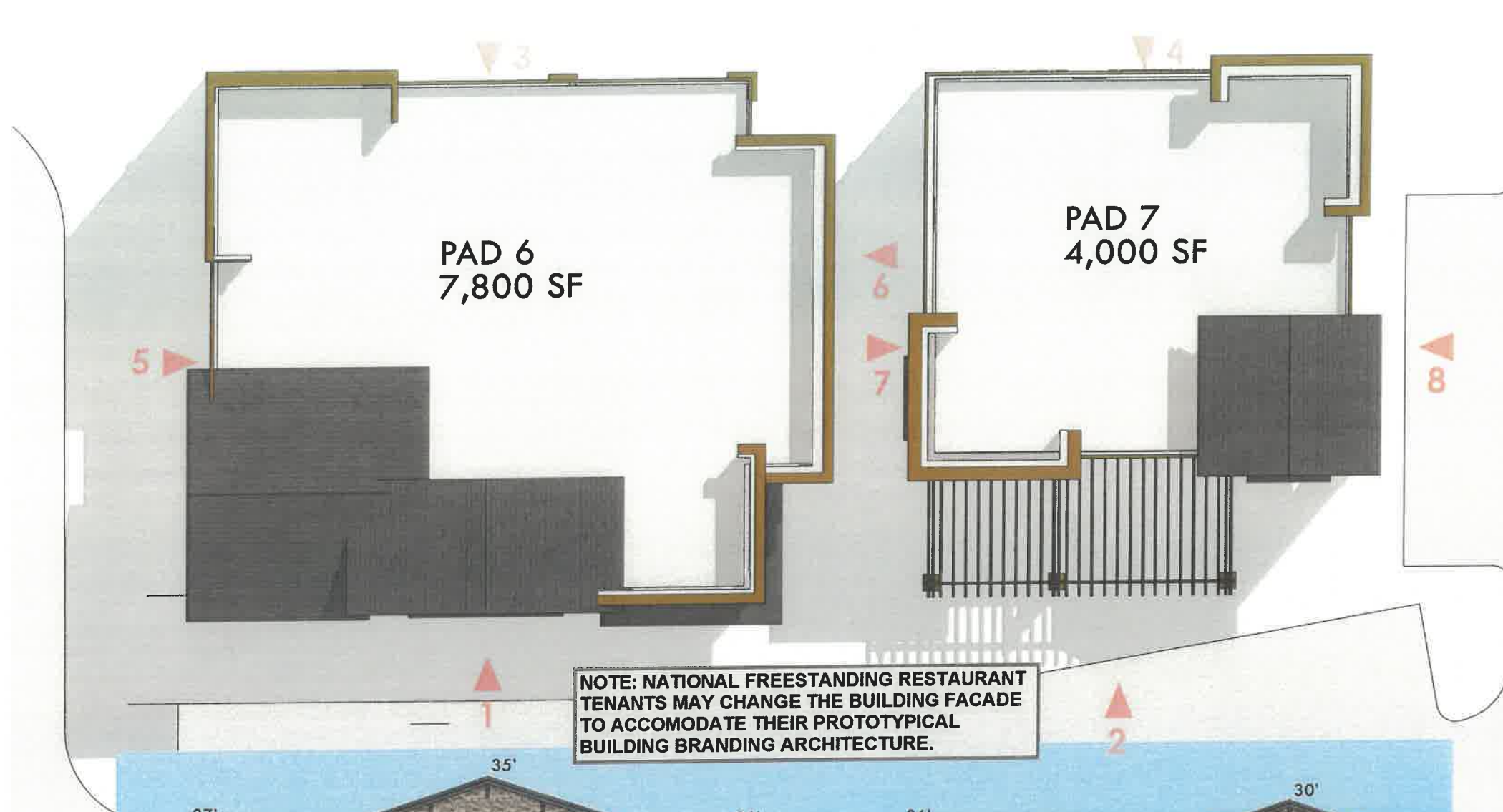
68. Existing Conditions of Approval Stand. The fueling station shall prepare San Bernardino County CUPA approval and sign off.

Exhibit “B”
Project Plans

ATTACHMENT 2

Large Scale Plans:

- Enlarged Site Plan**
- Exterior Elevations for Pads 6 & 7**
- Exterior Elevations for Major 1 – Stater Bros.**
- Site Plan & Elevations for Pad 1 – Anthem Fuel**



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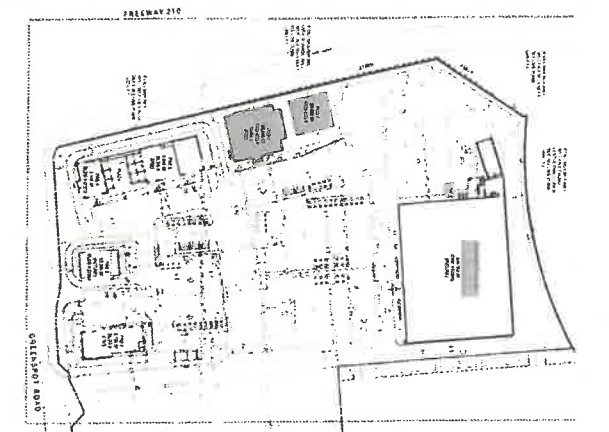


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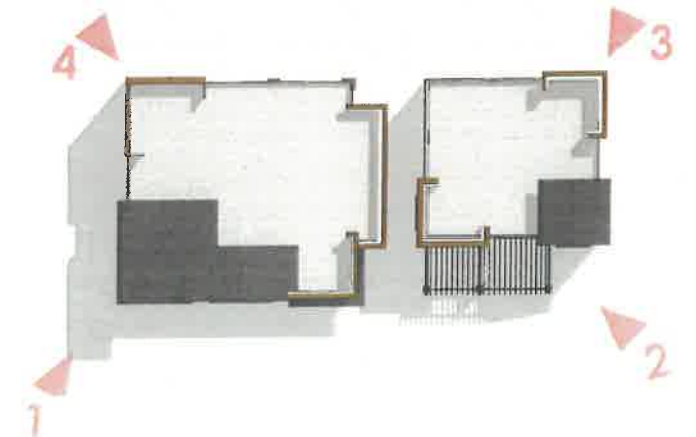
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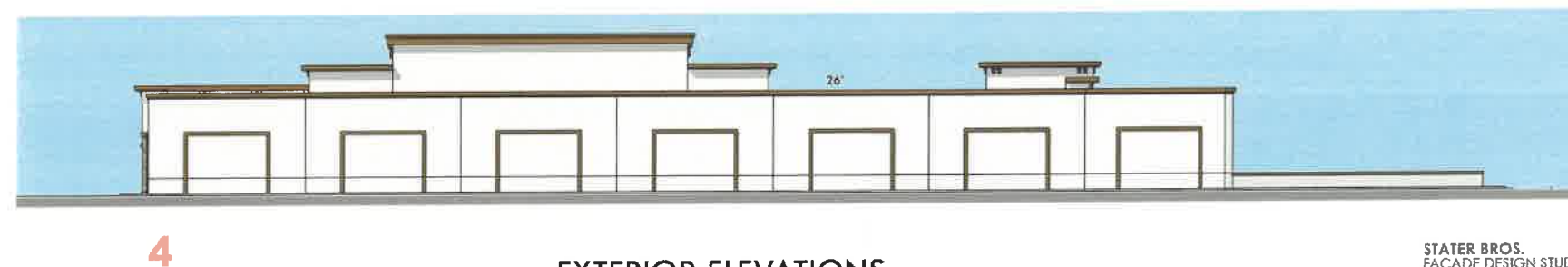
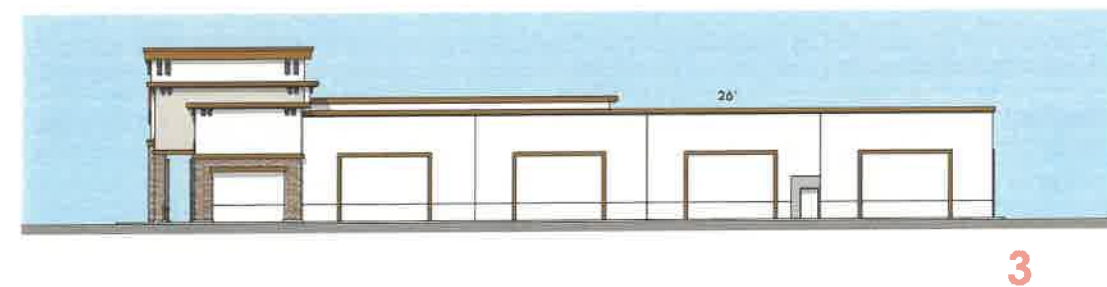
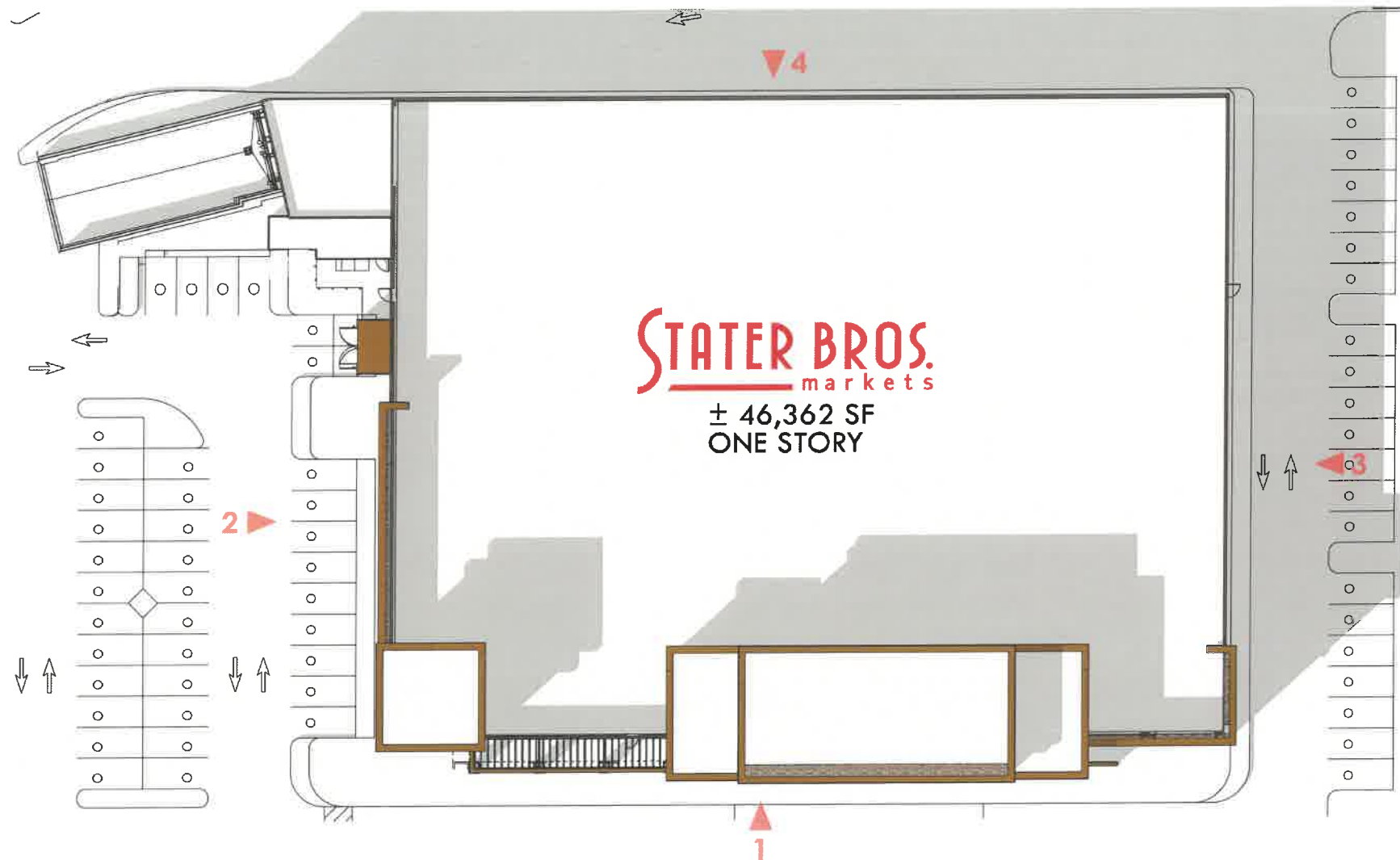


PADS 6 & 7
FACADE DESIGN STUDIES

AO Architecture
Design
Relationships

02

Scale: 1/8" = 1'-0"
Date: 01-15-2024





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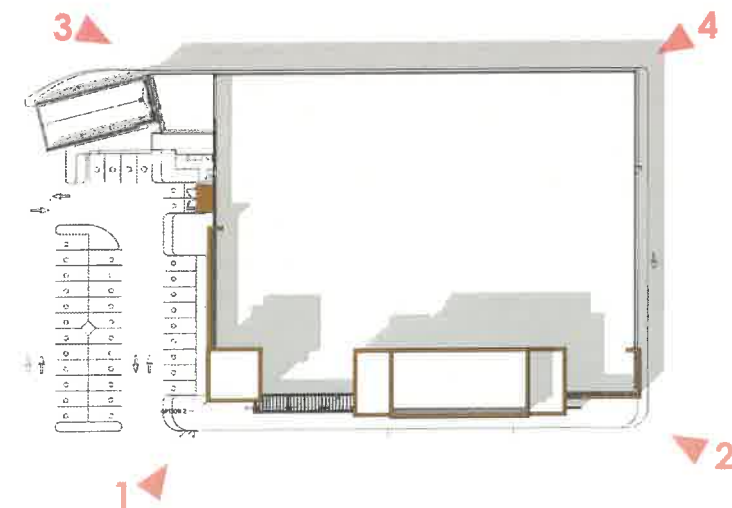
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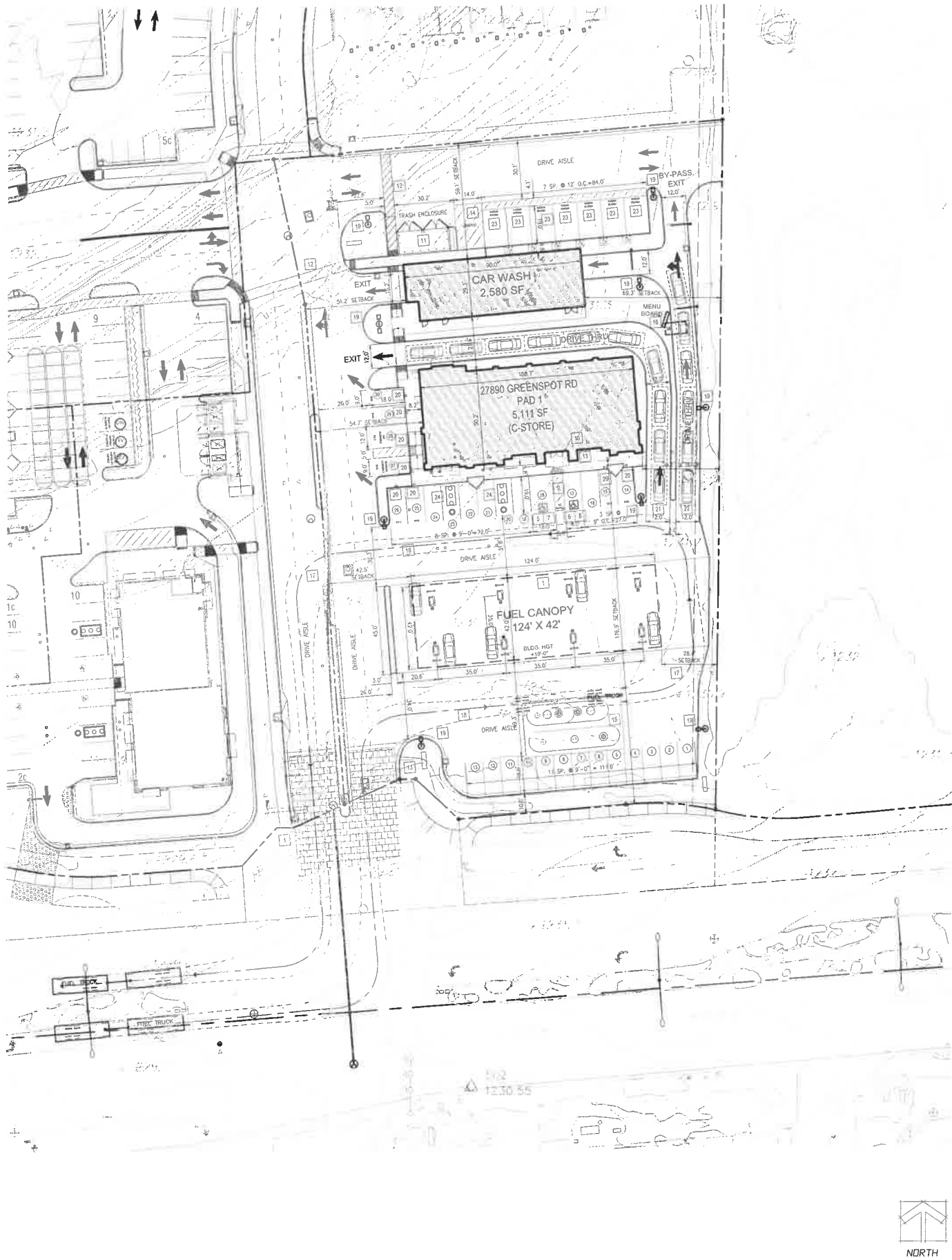


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KEYNOTES

- 1 ACCESSIBLE PATH OF TRAVEL FROM PUBLIC WAY - 5% MAX. SLOPE
- 2 ACCESSIBLE PATH OF TRAVEL - 5% MAX. SLOPE
- 3 "UNAUTHORIZED PARKING IN ACCESSIBLE SPACES..." SIGNAGE
- 4 YELLOW TRUNCATED DOMES
- 5 "VAN ACCESSIBLE" SIGNAGE AND MINIMUM FINE SIGNAGE
- 6 ACCESSIBLE PARKING SIGNAGE WITH MINIMUM FINE SIGNAGE
- 7 ACCESSIBLE VAN PARKING STALL
- 8 ACCESSIBLE PARKING STALL
- 9 ACCESSIBLE ACCESS AISLE
- 10 BUILDING ACCESSIBLE ENTRY SIGNAGE
- 11 NEW TRASH ENCLOSURE SEE SHEET
- 12 STRIPED WALKWAY AT DRIVE AISLE
- 13 5 BICYCLE PARKING STAND
- 14 LOADING SPACE - SIZE PER CITY STANDARDS
- 15 UNDERGROUND FUEL TANK LOCATION
- 16 MENU BOARD
- 17 DELIVERY TRUCK TURNING RADIUS
- 18 INDICATES TANKER DELIVERY PATH
- 19 LIGHT POLE LOCATION
- 20 ELECTRIC VEHICLE CHARGING STATION
- 21 DRIVE THRU QUEUE LINE
- 22 CAR WASH QUEUE LINE
- 23 VEHICLE VACUUM STATIONS
- 24 GREASE INTERCEPTOR

UTILITY PROVIDERS

WATER	WASTE MANAGEMENT
EAST VALLEY WATER DISTRICT 31111 GREENSPOT ROAD HIGHLAND, CA 92346 PH. 909-889-9501	EBURTEC WASTE TRASH SERVICE 5455 INDUSTRIAL PARKWAY SAN BERNARDINO, CA 92410 PH. 909-889-1969
CABLE	GAS
SPECTRUM CABLE 19 EAST CITRUS AVENUE, SUITE 211 REDLANDS, CA 92373 PH. 888-607-4357	SOUTHERN CALIFORNIA GAS 1981 WEST LUGONIA AVENUE REDLANDS, CA 92373 PH. 800-427-2200
ELECTRIC	TELEPHONE
SOUTHERN CALIFORNIA EDISON 800-684-8123	AT&T PHONE SERVICE PH. 800-310-2355

PARKING SUMMARY

DESCRIPTION	REQUIRED	PROVIDED
CONVENIENCE STORE (1 PER 200 SQ.F.T)	26	
CARWASH (3 SPACES)	3	
TOTAL	29	30
PARKING SPACES PROVIDED		
REGULAR SPACE	20 SPACES	
VAN ACCESSIBLE SPACE	1 SPACES	
ACCESSIBLE SPACE	1 SPACES	
ELECTRIC VEHICLE CHARGING STATION(EVCS)	6 SPACES	
EVCS VAN ACCESSIBLE STATION	1 SPACES	
EVCS STANDARD ACCESSIBLE STATION	1 SPACES	
CHARGING STATION		
LOADING SPACE	1 SPACE	
BICYCLE PARKING (1 RACK/2 BICYCLE)	2	

SITE NOTES:

OWNER: TREH PARTNERS XV, LLC
4 CORPORATE PLAZA, SUITE NO. 210
NEWPORT BEACH, CA 92660
CONTACT: THOMAS ROBINSON 949-631-6620

TENANT: ANTHEM OIL INC.
1031 ROSECRANS AVENUE, SUITE 207
FULLERTON, CA 92833
CONTACT: CHANDRESH RAVALIYA 909-562-6388

REPRESENTATIVE: ARCHIMETRICS
1177 IDAHO STREET, SUITE 200
REDLANDS, CA 92374
CONTACT: JAY NELSON 909-322-7582

A.P.N.: 1201-331-01 (Ptn) & 1201-341-09 (Ptn)

LEGAL DESCRIPTION: That portion of those parcels of land located in the Southeast quarter of Section 4, Township 1 South, Range 3 West, San Bernardino Meridian, said parcels conveyed to the San Bernardino Flood Control District by document recorded May 6, 1942 in Book 1530, page 352 and by document recorded May 21, 1959 in Book 4824, page 494, both of Official records of San Bernardino County, said portion being all of said parcels described as follows: Beginning at the intersection of the Northerly line of Greenspot Road (formerly 5th Street), having a half width of 50.00 feet, with the Westerly line of the Easterly 1452.00 feet of said Southeast quarter; Thence North 00°24'36" East, 495.82 feet along said Westerly line to the most Southerly corner of said parcel of land described in document recorded in Book 4824, page 494, Official Records; Thence North 37°20'27" East, 19.53 feet along the Southeasterly line of said parcel; Thence leaving said Southeasterly line, South 85°58'36" West, a distance of 247.35 feet; Thence North 04°01'24" West, a distance of 410.84 feet to a point in a non-tangent curve concave northwesterly and northerly and having a radius of 700.00 feet, a radial line of said curve to said point bears South 28°57'05" West; Thence southwesterly and westerly along said curve through a central angle of 34°14' 59", a distance of 418.44 feet to the Easterly boundary of State Highway 30 as described in document recorded October 15, 2008 as Instrument no. 08-0459712, Official Records of said County; Thence along said Easterly boundary the following line courses: South 06°58'23" East, 7.45 feet; South 33°42'13" West, 180.01 feet; South 11°17'47" East, 113.01 feet; South 12°58'37" East, 581.82 feet; South 54°32'11" East, 42.84 feet to the intersection of said Easterly line with the Northerly line of said Greenspot Road; Thence along said Northerly line, N85°58'36" East, 576.23 feet to the TRUE POINT OF BEGINNING, EXCEPTING THEREFROM that parcel described in Deed to State of California, recorded November 12, 2013 in Instrument #2013-0483535, Official Records of the County of San Bernardino. CITY CREEK PAR 331 APN 1201-331-01 (Ptn) APN 1201-341-09 (Ptn)

PROJECT ADDRESS: 27890 GREENSPOT ROAD
HIGHLAND, CA

ZONING: GREENSPOT VILLAGE & MARKETPLACE SPA06-001

PROJECT SCOPE: CONSTRUCT NEW FUEL STATION CANOPY, CONVENIENCE STORE, AND CARWASH ALONG WITH SITE IMPROVEMENTS

BUILDING INFO:

CONVENIENCE STORE	OCCUPANCY TYPE	M
	SPRINKLERED	YES
	TYPE OF CONSTRUCTION	V-B
	NO. OF STORIES	1
	BUILDING AREA	5,111 SQ. FT.
	BUILDING HEIGHT:	26.75' FEET
CARWASH	OCCUPANCY TYPE	M
	SPRINKLERED	NO
	TYPE OF CONSTRUCTION	V-B
	NO OF STORIES	1
	BUILDING AREA	2,580 SQ. FT.
	BUILDING HEIGHT:	19.5' FEET
FUEL CANOPY	OCCUPANCY TYPE	U
	SPRINKLERED	NO
	TYPE OF CONSTRUCTION	V-B
	NO OF STORIES	1
	BUILDING AREA	4,523 SQ. FT.
	BUILDING HEIGHT:	19' FEET

LOT SIZE: ±69,352 SQ. FT. (±1.592 ACRES)

COVERAGE AREAS:

AREA OF USE	S.F.	REQUIRED%	PROVIDED%
BUILDINGS			
CONVENIENCE STORE	5,111	---	5,111 SF(7.4%)
CARWASH	2,580	---	2,580 SF(3.7%)
PARKING/PAVED	52,693	---	52,693 SF(76.0%)
LANDSCAPING	8,968	6,935 SF(10%)	8,968 SF(12.9%)

VICINITY MAP



ARCHITECTURAL SITE PLAN

SCALE: 1"=30.00'

1



STEVEN PAUL MURRAY
ARCHITECT & ASSOCIATES
1177 Idaho Street, Suite 200
Redlands, CA 92374
Phone (909) 307-0146
email: spmarch007@gmail.com

STAMP:

Fuel Station/C-Store/Carwash for :

Greenspot Crossings - Pad 1

27890 GREENSPOT ROAD
HIGHLAND, CA 92346

REVISIONS

CONSTR.

BID

PLAN CHECK

DRAWN

JOB NO.

SHEET NAME

ARCHITECTURAL
SITE PLAN

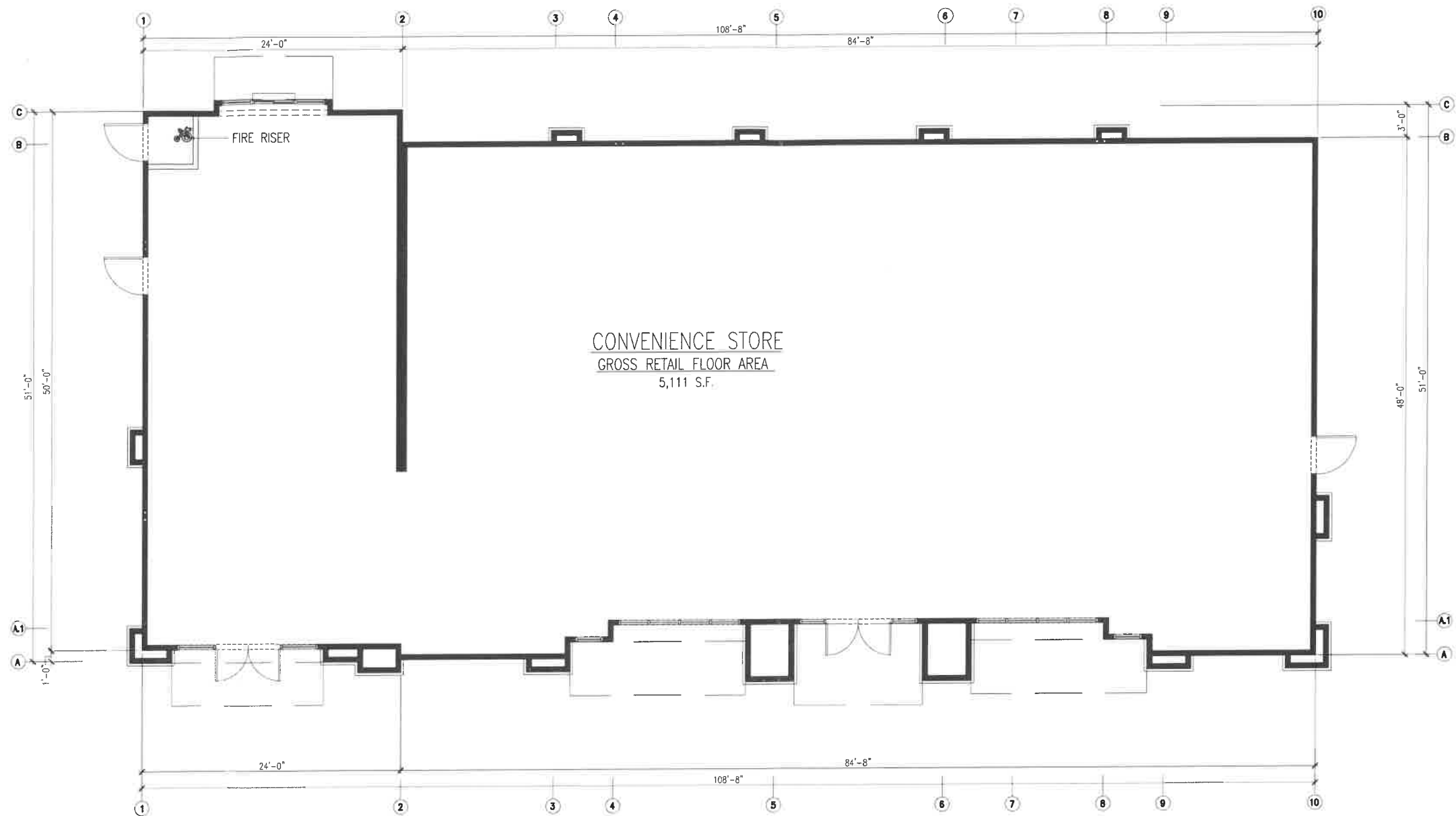
SHEET NO.

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SHEET

OF

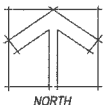
STAMP:



Fuel Station/C-Store/Carwash for :

Greenspot Crossings - Pad 1

27890 GREENSPOT ROAD
HIGHLAND, CA 92346



CONVENIENCE STORE - FLOOR PLAN

SCALE:
3/16"=1'-0"

1

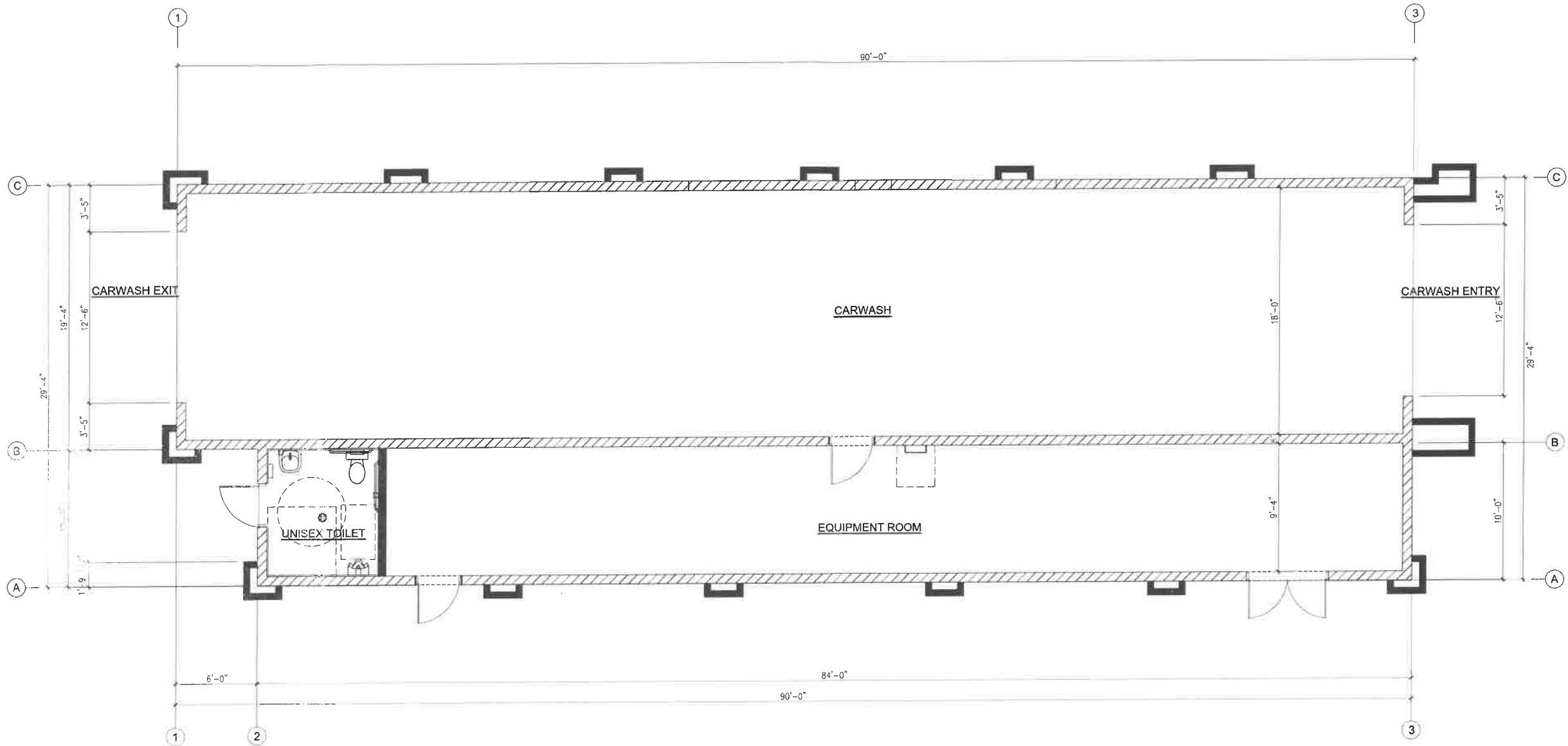
REVISIONS	
CONSTR.	
BID	
PLAN CHECK	-
DRAWN	VM
JOB NO.	22-096
SHEET NAME	

FLOOR PLAN
CONVENIENCE STORE

SHEET NO.

2.0

SHEET OF

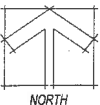


Fuel Station/C-Store/Carwash for :

Greenspot Crossings - Pad 1

27890 GREENSPOT ROAD
HIGHLAND, CA 92346

REVISIONS	
CONSTR.	
BID	
PLAN CHECK	
DRAWN	VM
JOB NO.	22-096
SHEET NAME	
FLOOR PLAN	
CARWASH	



DRIVE THRU CARWASH - FLOOR PLAN

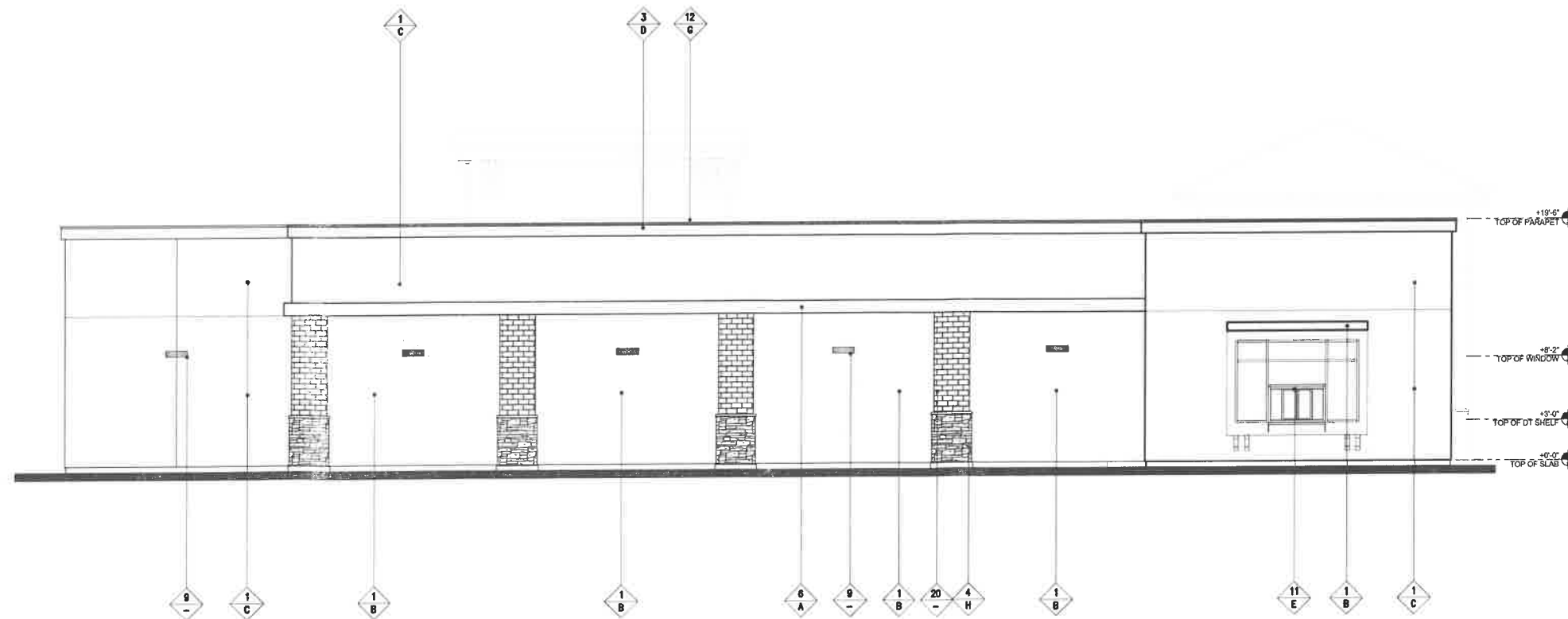
SCALE:
1/4"=1'-0"

1

A2.1
SHEET OF



"C" STORE FRONT ELEVATION - (SOUTH VIEW) SCALE: 3/16"=1'-0" 1



"C" STORE REAR ELEVATION - (NORTH VIEW) SCALE: 3/16"=1'-0" 2

FINISH SCHEDULE	
1	FINISH MATERIAL
2	STUCCO SYSTEM
3	METAL CANOPY
4	STUCCO CORNICE
5	STONE VENEER - INSTALL PER MFR. SPECS.
6	ALUMINUM STOREFRONT SYSTEM
7	STUCCO TRIM
8	FASCIA
9	HOLLOW METAL DOOR AND FRAME
10	EXTERIOR WALL SCONCE
11	FASCIA TRIM
12	DRIVE-THRU WINDOW
13	METAL COPING
14	CONCRETE FLAT ROOF TILES - "CHARCOAL BLEND"
15	INTERNALLY ILLUMINATED ADDRESS
16	STUCCO REVEAL
17	WOOD CORBELS
18	ELECTRICAL EQUIP.
19	INTERNALLY ILLUMINATED ADDRESS
20	SKIN SPACE UNDER SEPARATE PERMIT
21	BRICK VENEER - INSTALL PER MFR. SPECS.
22	PIPE BOLLARD
FINISH COLOR	
A	SHERWIN WILLIAMS - SW7045 - URBAN BRONZE
B	SHERWIN WILLIAMS - SW7045 - INTELLECTUAL GRAY
C	SHERWIN WILLIAMS - SW7182 - WHITE FLOUR
D	SHERWIN WILLIAMS - SW9100 - UMBER RUST
E	ANODIZED TO MATCH - DARK BRONZE
F	CHARCOAL BLEND
G	PAINT TO MATCH - SW9100 - UMBER RUST
H	ELOOKADO STONE - RUSTIC LEDGE
I	POWDER COAT TO MATCH - DARK BRONZE
J	PAINT TO MATCH - SW7045 - URBAN BRONZE
K	PAINT TO MATCH - DARK BRONZE
L	PAINT TO MATCH - INTELLECTUAL GRAY

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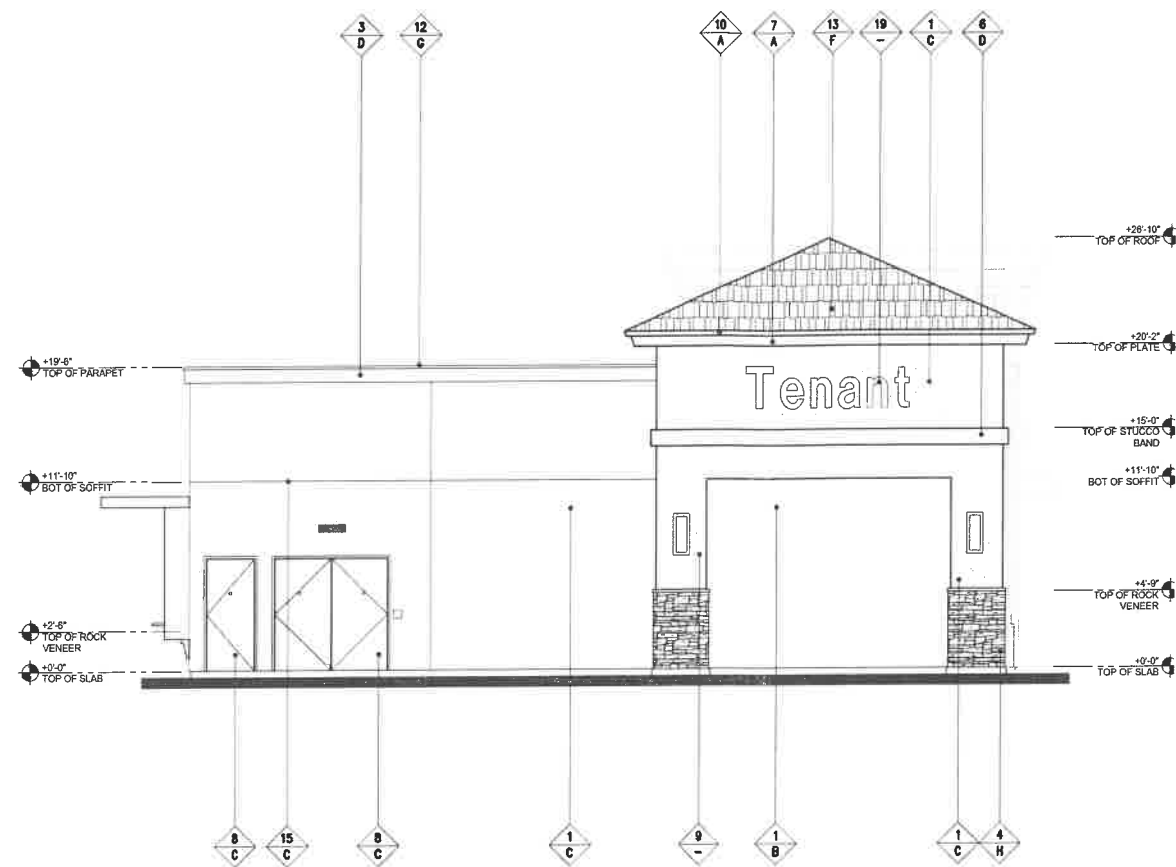
STAMP:

Fuel Station/C-Store/Carwash for:

Greenspot Crossings - Pad 1

27890 GREENSPOT ROAD
HIGHLAND, CA 92346

REVISIONS	
CONSTR.	
BID	
PLAN CHECK	
DRAWN	RJC
JOB NO.	22-096
SHEET NAME	
"C" STORE EXTERIOR ELEVATIONS	
SHEET NO.	
A-3.0	
SHEET	OF



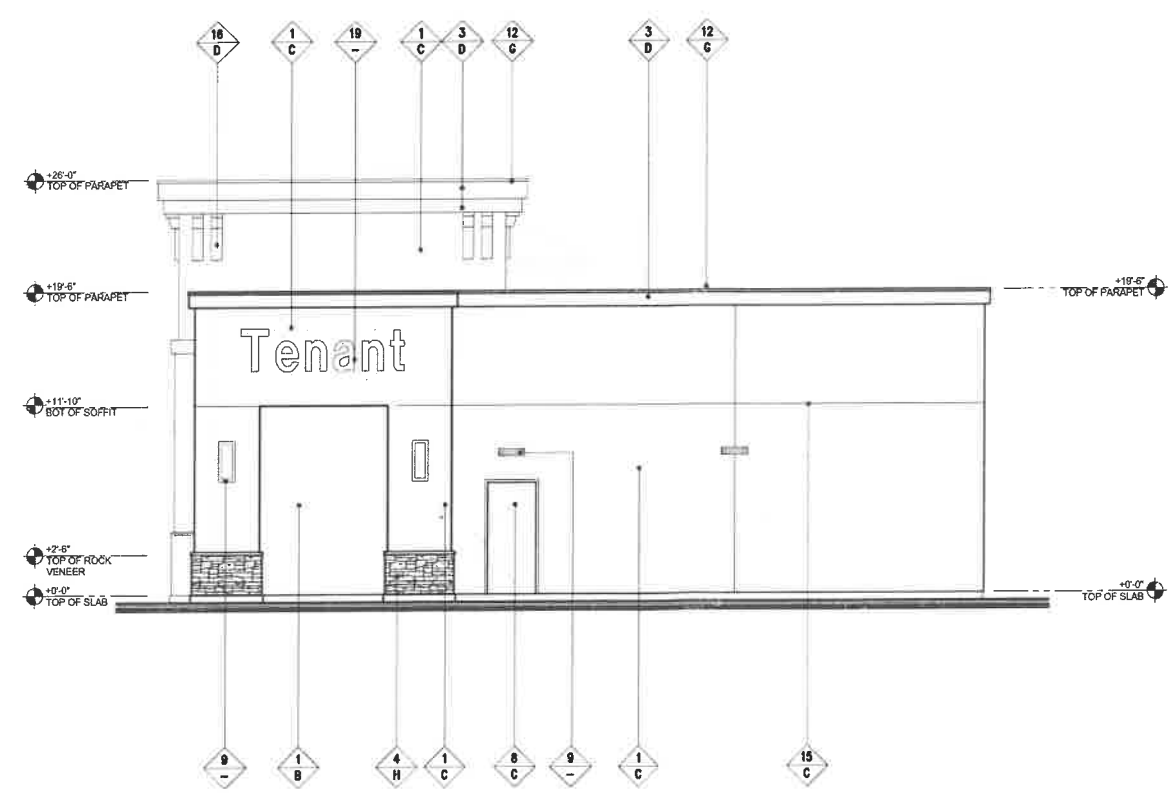
FINISH SCHEDULE	
1	FINISH MATERIAL
2	STUCCO SYSTEM
3	METAL CANYON
4	STUCCO CORNICE
5	STONE VENEER - INSTALL PER MFR. SPECS.
6	ALUMINUM STOREFRONT SYSTEM
7	STUCCO TRIM
8	FASCIA
9	HOLLOW METAL DOOR AND FRAME
10	EXTERIOR WALL SCOECE
11	FASCIA TRIM
12	DRIVE-THRU WINDOW
13	METAL COPING
14	CONCRETE FLAT ROOF TILES - "CHARCOAL BLEND"
15	INTERIALLY ILLUMINATED ADDRESS
16	STUCCO REVEAL
17	WOOD CORBELS
18	ELECTRICAL EQUIP.
19	INTERIALLY ILLUMINATED ADDRESS
20	SIGN SPACE UNDER SEPARATE PERMIT
21	BRICK VENEER - INSTALL PER MFR. SPECS.
22	PIPE BOLLARD
FINISH COLOR	
A	SHERWIN WILLIAMS - SW7048 - URBAN BRONZE
B	SHERWIN WILLIAMS - SW7045 - INTELLECTUAL GRAY
C	SHERWIN WILLIAMS - SW7102 - WHITE FLOUR
D	SHERWIN WILLIAMS - SW9100 - UMBER RUST
E	ANODOZED TO MATCH - DARK BRONZE
F	CHARCOAL BLEND
G	PAINT TO MATCH - SW9100 - UMBER RUST
H	ELDORADO STONE - RUSTIC LEDGE
I	POWDER COAT TO MATCH - DARK BRONZE
J	PAINT TO MATCH - SW7048 - URBAN BRONZE
K	PAINT TO MATCH - DARK BRONZE
L	PAINT TO MATCH - INTELLECTUAL GRAY
M	
N	

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STAMP:

"C" STORE LEFT ELEVATION - (WEST VIEW) SCALE: 3/16"=1'-0" 1



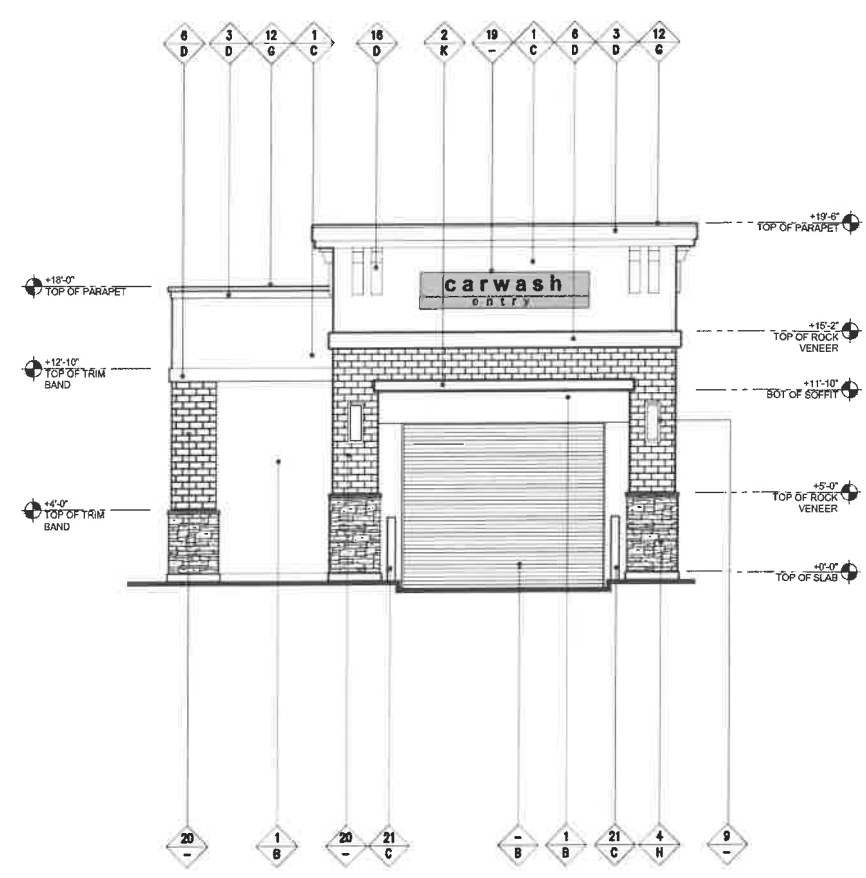
Fuel Station/C-Store/Carwash for :
Greenspot Crossings - Pad 1
27890 GREENSPOT ROAD
HIGHLAND, CA 92346

REVISIONS	
CONSTR.	
BID	
PLAN CHECK	
DRAWN	RJC
JOB NO.	22-096
SHEET NAME	

'C' STORE
EXTERIOR
ELEVATIONS

SHEET NO. A-3.1
SHEET - OF -

"C" STORE RIGHT ELEVATION - (EAST VIEW) SCALE: 3/16"=1'-0" 2



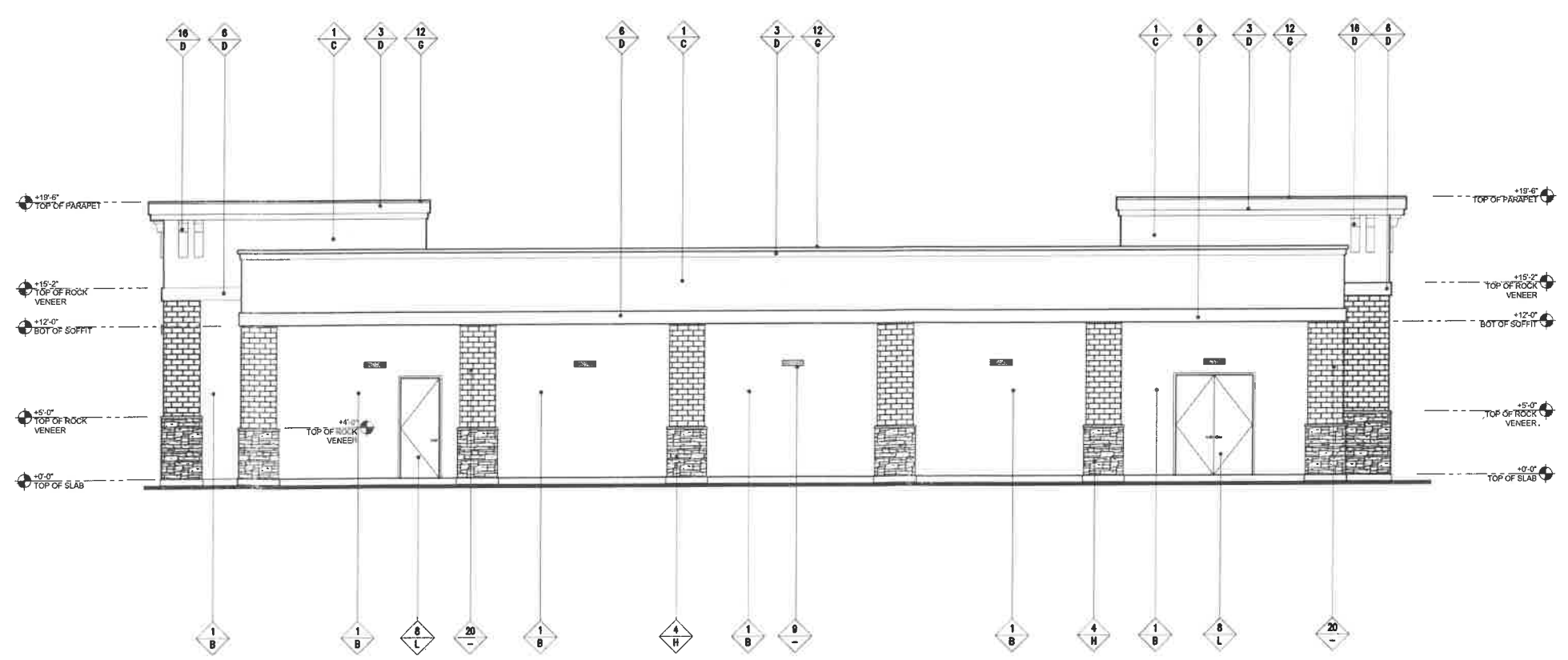
FINISH SCHEDULE	
1	FINISH MATERIAL
2	STUCCO SYSTEM
3	METAL CORNICE
4	STONE VENEER - INSTALL PER MFR. SPECS.
5	ALUMINUM STOREFRONT SYSTEM
6	STUCCO TRIM
7	FASCIA
8	HOLLOW METAL DOOR AND FRAME
9	EXTERIOR WALL SOUNCE
10	FASCIA TRIM
11	DRIVE-THRU WINDOW
12	METAL COPING
13	CONCRETE FLAT ROOF TILES - "CHARCOAL BLEND"
14	INTERNALLY ILLUMINATED ADDRESS
15	STUCCO REVEAL
16	WOOD CORBELS
17	ELECTRICAL EQUIP
18	INTERNALLY ILLUMINATED ADDRESS
19	SIGN SPACE UNDER SEPARATE PERMIT
20	BRICK VENEER - INSTALL PER MFR. SPECS.
21	PIPE ROLLARD
FINISH COLOR	
A	SHERWIN WILLIAMS - SW7045 - URBAN BRONZE
B	SHERWIN WILLIAMS - SW7045 - INTELLECTUAL GRAY
C	SHERWIN WILLIAMS - SW7102 - WHITE FLOUR
D	SHERWIN WILLIAMS - SW9100 - UMBER RUST
E	ANODIZED TO MATCH - DARK BRONZE
F	CHARCOAL BLEND
G	PAINT TO MATCH - SW9100 - UMBER RUST
H	ELDOHADO STONE - RUSTIC LEDGE
I	POWDER COAT TO MATCH - DARK BRONZE
J	PAINT TO MATCH - SW7045 - URBAN BRONZE
K	PAINT TO MATCH - DARK BRONZE
L	PAINT TO MATCH - INTELLECTUAL GRAY
M	
N	

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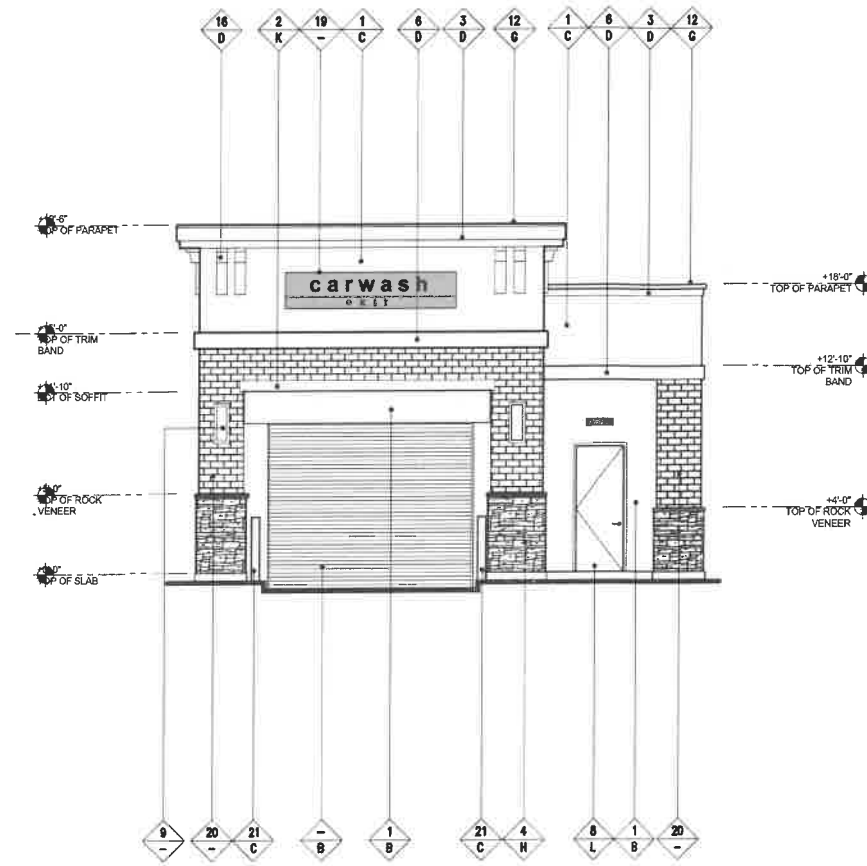
CARWASH ENTRANCE ELEVATION - (EAST VIEW) SCALE: 3/16"=1'-0" 1



CARWASH LEFT SIDE ELEVATION - (SOUTH VIEW) SCALE: 3/16"=1'-0" 2

Fuel Station/C-Store/Carwash for:
Greenspot Crossings - Pad 1
27890 GREENSPOT ROAD
HIGHLAND, CA 92346

REVISIONS	
CONSTR.	
BID	
PLAN CHECK	
DRAWN	RJC
JOB NO.	22-096
SHEET NAME	
CARWASH EXTERIOR ELEVATIONS	
SHEET NO.	A-4.0
SHEET	OF



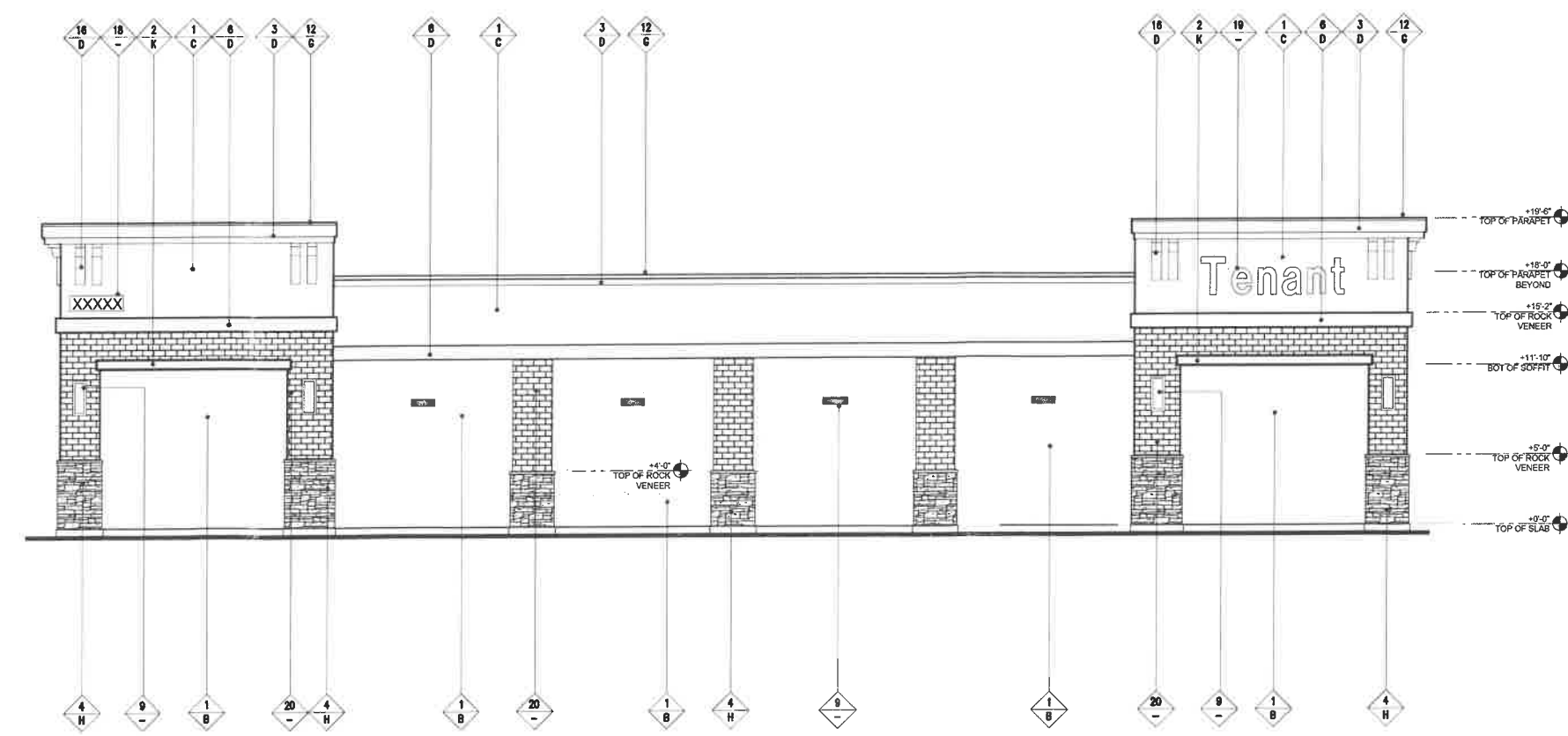
FINISH SCHEDULE	
FINISH MATERIAL	
1	STUCCO SYSTEM
2	METAL CANOPY
3	STUCCO CORNICE
4	STONE VENEER - INSTALL PER MFR. SPECS.
5	ALUMINUM STOREFRONT SYSTEM
6	STUCCO TRIM
7	FASCIA
8	HOLLOW METAL DOOR AND FRAME
9	EXTERIOR WALL SCIENCE
10	FASCIA TRIM
11	DRIVE-THRU WINDOW
12	METAL COPING
13	CONCRETE FLAT ROOF TILES - "CHARCOAL BLEND"
14	INTERNALLY ILLUMINATED ADDRESS
15	STUCCO REVEAL
16	WOOD CORBELS
17	ELECTRICAL EQUIP.
18	INTERNALLY ILLUMINATED ADDRESS
19	SIGN SPACE UNDER SEPARATE PERMIT
20	BRICK VENEER - INSTALL PER MFR. SPECS.
21	PIPE BOLLARD
FINISH COLOR	
A	SHERWIN WILLIAMS - SW7048 - URBAN BRONZE
B	SHERWIN WILLIAMS - SW7045 - INTELLECTUAL GRAY
C	SHERWIN WILLIAMS - SW7102 - WHITE FLOUR
D	SHERWIN WILLIAMS - SW5100 - UMBER RUST
E	ANODIZED TO MATCH - DARK BRONZE
F	CHARCOAL BLEND
G	PAINT TO MATCH - SW5100 - UMBER RUST
H	ELDORADO STONE - RUSTIC LEDGE
I	POWDER COAT TO MATCH - DARK BRONZE
J	PAINT TO MATCH - SW7048 - URBAN BRONZE
K	PAINT TO MATCH - DARK BRONZE
L	PAINT TO MATCH - INTELLECTUAL GRAY

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STAMP:

CARWASH EXIT ELEVATION - (WEST VIEW) SCALE: 3/16"=1'-0" 1



CARWASH RIGHT ELEVATION - (NORTH VIEW) SCALE: 3/16"=1'-0" 2

Fuel Station/C-Store/Carwash for :
Greenspot Crossings - Pad 1
27890 GREENSPOT ROAD
HIGHLAND, CA 92346

REVISIONS

CONSTR.

BID

PLAN CHECK

DRAWN RJC

JOB NO. 22-096

SHEET NAME

CARWASH EXTERIOR ELEVATIONS

SHEET NO.

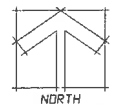
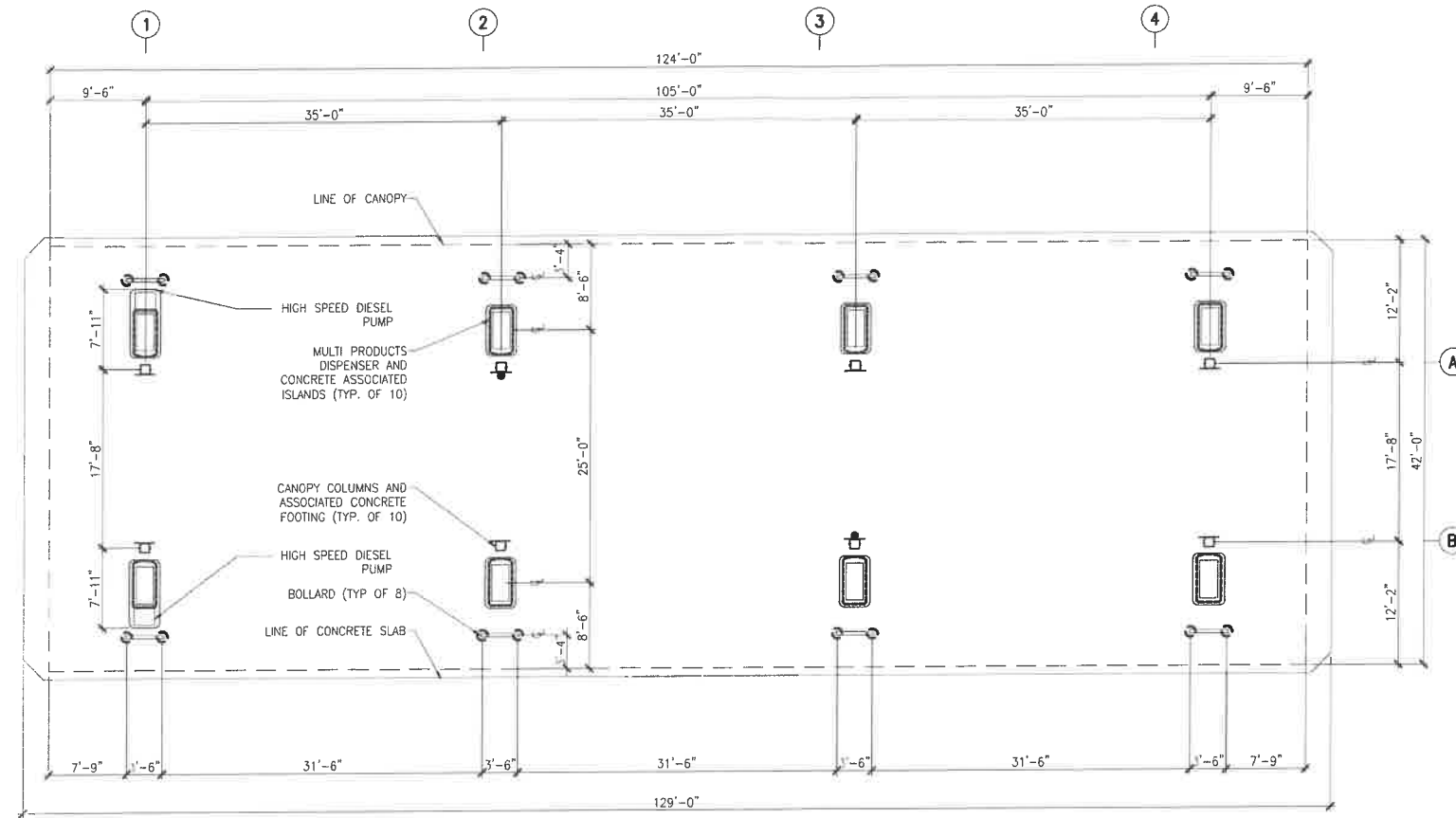
A-4.1

SHEET - OF -



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STAMP:



FUEL STATION FLOOR PLAN SCALE: 1/8"=1'-0" 1

Fuel Station/C-Store/Carwash for :

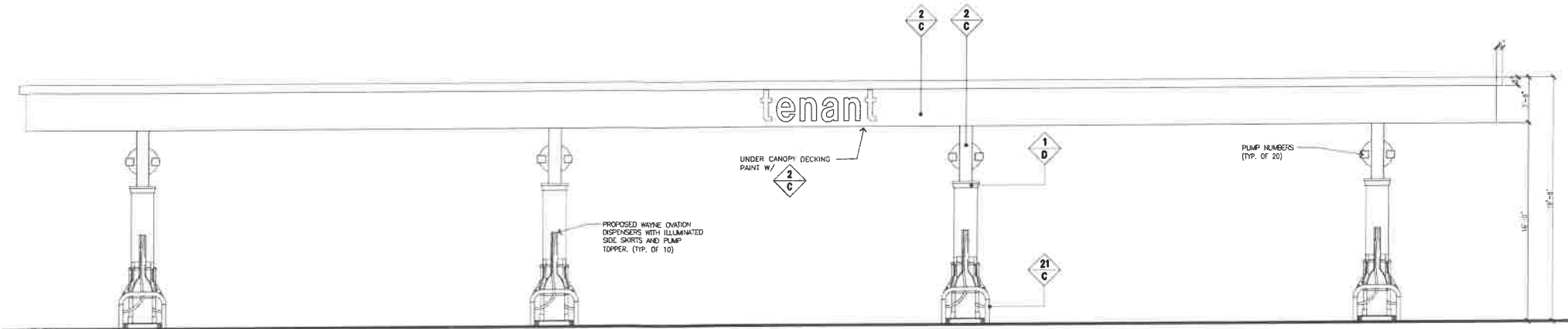
Greenspot Crossings - Pad 1

27890 GREENSPOT ROAD
HIGHLAND, CA 92346

REVISIONS	
CONSTR.	
BID	
PLAN CHECK	
DRAWN	RJC
JOB NO.	22-096
SHEET NAME	

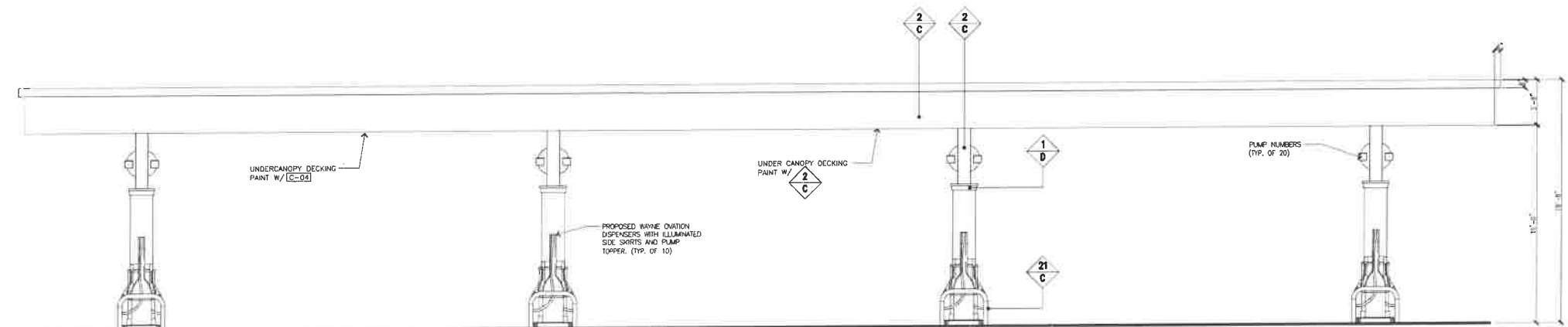
FUEL STATION
FLOOR PLAN

SHEET NO.
CA-A1.1
SHEET - OF -



A PROPOSED SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

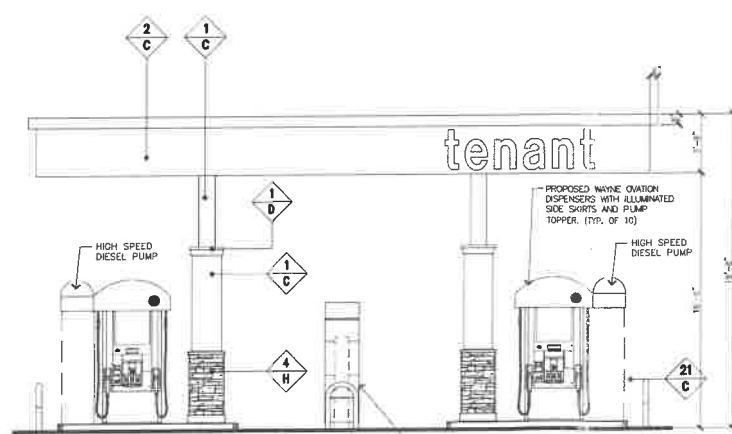


B PROPOSED NORTH ELEVATION

SCALE: 3/16" = 1'-0"

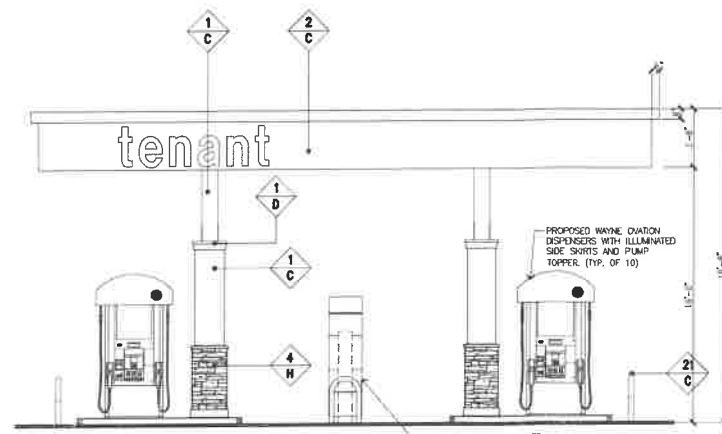
FUEL STATION CANOPY ELEVATIONS

SCALE: 3/16" = 1'-0" 1



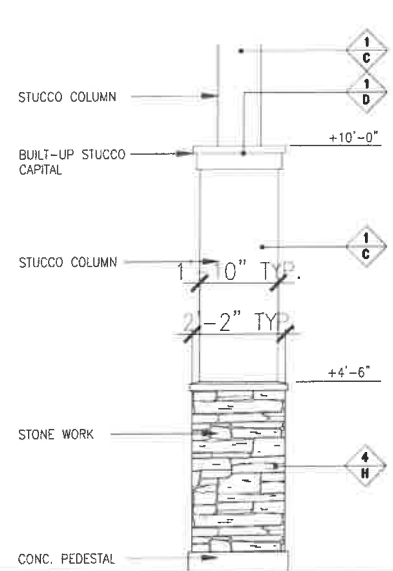
C PROPOSED WEST ELEVATION

SCALE: 3/16" = 1'-0"



D PROPOSED EAST ELEVATION

SCALE: 3/16" = 1'-0"



DETAIL

SCALE: NTS 3

FINISH SCHEDULE

FINISH MATERIAL	FINISH COLOR
1 STUCCO SYSTEM	A SHERWIN-WILLIAMS - SW7048 - URBAN BRONZE
2 METAL CANOPY	S SHERWIN-WILLIAMS - SW7045 - INTELLECTUAL GRAY
3 STUCCO CORNICE	C SHERWIN-WILLIAMS - SW7192 - WHITE FLOUR
4 STONE VENEER - INSTALL PER MFR. SPECS.	D SHERWIN-WILLIAMS - SW5100 - UMBER RUST
5 ALUMINUM STOREFRONT SYSTEM	E ANODIZED TO MATCH - DARK BRONZE
6 STUCCO TRIM	F CHARCOAL BLEND
7 FASCIA	G PAINT TO MATCH - SW5100 - UMBER RUST
8 HOLLOW METAL DOOR AND FRAME	H ELDERADO STONE - RUSTIC LEDGE
9 EXTERIOR WALL SCIENCE	I POWDER COAT TO MATCH - DARK BRONZE
10 FASCIA TRIM	J PAINT TO MATCH - SW7045 - URBAN BRONZE
11 DRIVE-THRU WINDOW	K PAINT TO MATCH - DARK BRONZE
12 METAL COPING	L PAINT TO MATCH - INTELLECTUAL GRAY
13 CONCRETE FLAT ROOF TILES - "CHARCOAL BLEND"	
14 INTERNALLY ILLUMINATED ADDRESS	
15 STUCCO REVEAL	
16 WOOD CORBELS	
17 ELECTRICAL EQUIP.	
18 INTERNALLY ILLUMINATED ADDRESS	
19 SIGN SPACE UNDER SEPARATE PERMIT	
20 BRICK VENEER - INSTALL PER MFR. SPECS	
21 PIPE BOLLARD	

Fuel Station/C-Store/Carwash for:

Greenspot Crossings - Pad 1

27890 GREENSPOT ROAD
HIGHLAND, CA 92346

REVISIONS

CONSTR.

BID

PLAN CHECK

DRAWN RJC

JOB NO. 22-096

SHEET NAME

**FUEL STATION CANOPY
EXTERIOR ELEVATIONS**

SHEET NO.

CA-A1.4

SHEET - OF -

FUEL STATION CANOPY ELEVATIONS

SCALE: 3/16" = 1'-0" 2



FINISH SCHEDULE	
1	FRESH MATERIAL
2	STUCCO SYSTEM
3	METAL CANOPY
4	STONE VENEER - INSTALL PER MFR. SPECS
5	ALUMINUM STONEFRONT SYSTEM
6	STUCCO TRIM
7	FASOIA
8	EXTERIOR METAL DOOR AND FRAME
9	EXTERIOR WALL BOUNCE
10	FASOIA TRIM
11	DRIVE THRU WINDOW
12	METAL COPING
13	CONCRETE FLAT ROOF TILES - "CHARCOAL BLEND"
14	INTERNALLY ILLUMINATED ADDRESS
15	STUCCO REVEAL
16	WOOD CORBELS
17	ELECTRICAL EQUIP.
18	INTERNALLY ILLUMINATED ADDRESS
19	ROOF SPACE UNDER SEPARATE PERMITS
20	BRICK VENEER - INSTALL PER MFR. SPECS
21	PIPE COLLARS
22	FRESH COLOR
23	SHERWIN WILLIAMS - SW7045 - URBAN BRONZE
24	SHERWIN WILLIAMS - SW7045 - INTELLECTUAL GRAY
25	SHERWIN WILLIAMS - SW7042 - WHITE FLOUR
26	SHERWIN WILLIAMS - SW7042 - UMBER RUST
27	PAINT TO MATCH - DARK BRONZE
28	CHARCOAL BLEND
29	PAINT TO MATCH - SW7042 - UMBER RUST
30	ELCROADO STONE - RUSTIC LEDGE
31	POWDER COAT TO MATCH - DARK BRONZE
32	PAINT TO MATCH - SW7045 - URBAN BRONZE
33	PAINT TO MATCH - DARK BRONZE
34	PAINT TO MATCH - INTELLECTUAL GRAY

FRONT ELEVATION - (SOUTH VIEW) SCALE: 3/16"=1'-0" 1



REAR ELEVATION - (NORTH VIEW) SCALE: 3/16"=1'-0" 2

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STAMP:

Fuel Station/C-Store/Carwash for:

Greenspot Crossings - Pad 1

27890 GREENSPOT ROAD
HIGHLAND, CA 92346

REVISIONS	
CONSTR.	
BID	
PLAN CHECK	
DRAWN	RJC
JOB NO.	22-096
SHEET NAME	
'C' STORE EXTERIOR ELEVATIONS	

SHEET NO.

A-3.0

SHEET - OF -



FINISH SCHEDULE	
1	FINISH MATERIAL
2	STUCCO SYSTEM
3	METAL CANOPY
4	STUCCO CORNICE
5	STONE VENEER - INSTALL PER MFR. SPECS
6	ALUMINUM STOREFRONT SYSTEM
7	STUCCO TRIM
8	FASCIA
9	HOLLOW METAL DOOR AND FRAME
10	EXTERIOR WALL SOUNGE
11	FASCIA TRIM
12	DRIVE THRU WINDOW
13	METAL COPING
14	CONCRETE FLAT ROOF TILES - CHARCOAL BLEND
15	EXTERNALLY ILLUMINATED ADDRESS
16	STUCCO REVEAL
17	WOOD CORBELS
18	ELECTRICAL EQUIP
19	EXTERNALLY ILLUMINATED ADDRESS
20	SCAFFOLD UNDER SEPARATE PERMIT
21	BRICK VENEER - INSTALL PER MFR. SPECS
22	PIPE BOLLARD
23	FINISH COLOR
A	SHERWIN WILLIAMS - SW7048 - URBAN BRONZE
B	SHERWIN WILLIAMS - SW7045 - INTELLECTUAL GRAY
C	SHERWIN WILLIAMS - SW7002 - WHITE FLOUR
D	SHERWIN WILLIAMS - SW9102 - UNDER RUST
E	PAINT TO MATCH - DARK BRONZE
F	CHARCOAL BLEND
G	PAINT TO MATCH - SW9100 - UMBER RUST
H	ELODRADO STONE - RUSTIC LEDGE
I	POWDER COAT TO MATCH - DARK BRONZE
J	PAINT TO MATCH - SW7048 - URBAN BRONZE
K	PAINT TO MATCH - DARK BRONZE
L	PAINT TO MATCH - INTELLECTUAL GRAY
M	
N	

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STAMP:

C-STORE LEFT ELEVATION - (WEST VIEW) SCALE: 3/16" = 1'-0" 1



C-STORE RIGHT ELEVATION - (EAST VIEW) SCALE: 3/16" = 1'-0" 2

Fuel Station/C-Store/Carwash for :
Greenspot Crossings - Pad 1
27890 GREENSPOT ROAD
HIGHLAND, CA 92346

REVISIONS	
CONSTR.	
BID	
PLAN CHECK	
DRAWN	RJC
JOB NO.	22-096
SHEET NAME	
C-STORE EXTERIOR ELEVATIONS	
SHEET NO.	A-3.1
SHEET	OF



FINISH SCHEDULE

1	FINISH MATERIAL
2	STUCCO SYSTEM
3	METAL CANYON
4	STUCCO CORNICE
5	STONE VENEER - INSTALL PER MFR. SPECS
6	ALUMINUM STOREFRONT SYSTEM
7	STUCCO TRIM
8	FASCIA
9	HOLLOW METAL DOOR AND FRAME
10	EXTERIOR WALL SCORING
11	FASCIA TRIM
12	DRIVE THRU WINDOW
13	METAL COPING
14	CONCRETE FLAT ROOF TILES - "CHARCOAL BLEND"
15	EXTERNALLY ILLUMINATED ADDRESS
16	STUCCO REVEAL
17	WOOD CLIMBERS
18	ELECTRICAL EQUIP.
19	EXTERNALLY ILLUMINATED ADDRESS
20	FINISH SPACE UNDER SEPARATE PERMIT
21	BRICK VENEER - INSTALL PER MFR. SPECS
22	PIPE BOLLARD
23	FINISH COLOR
24	SHERWIN WILLIAMS - SW7048 - URBAN BRONZE
25	SHERWIN WILLIAMS - SW7048 - INTELLECTUAL GRAY
26	SHERWIN WILLIAMS - SW7032 - WHITE FLOOR
27	SHERWIN WILLIAMS - SW5100 - UMBER RUST
28	ADJUSTED TO MATCH - DARK BRONZE
29	CHARCOAL BLEND
30	PART TO MATCH - SW5100 - UMBER RUST
31	ELEGANT STONE - RUSTIC LEDGE
32	POWDER COAT TO MATCH - DARK BRONZE
33	PART TO MATCH - SW7048 - URBAN BRONZE
34	PART TO MATCH - DARK BRONZE
35	PART TO MATCH - INTELLECTUAL GRAY
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 email: spmarch007@gmail.com

STAMP:

CARWASH ENTRANCE ELEVATION - (EAST VIEW) SCALE: 3/16"=1'-0" 1



CARWASH LEFT SIDE ELEVATION - (SOUTH VIEW) SCALE: 3/16"=1'-0" 2

Fuel Station/C-Store/Carwash for:

Greenspot Crossings - Pad 1

27890 GREENSPOT ROAD
HIGHLAND, CA 92346

REVISIONS	
CONSTR.	
BID	
PLAN CHECK	
DRAWN	RJC
JOB NO.	22-096
SHEET NAME	
CARWASH EXTERIOR ELEVATIONS	
SHEET NO.	A-4.0
SHEET	OF



FINISH SCHEDULE	
1	FINISH MATERIAL
2	STUCCO SYSTEM
3	METAL CANOPY
4	STONE VENEER - INSTAL PER MFR SPECS
5	ALUMINUM STOREFRONT SYSTEM
6	STUCCO TRIM
7	FASCIA
8	HOLLOW METAL DOOR AND FRAME
9	EXTERIOR WALL SCOOCE
10	FASCIA TRIM
11	DRIVE THRU WINDOW
12	METAL COPING
13	CONCRETE FLAT ROOF TILES - "CHARCOAL BLEND"
14	INTERNALLY ILLUMINATED ADDRESSES
15	STUCCO REVEAL
16	WOOD CORBELS
17	ELECTRICAL EQUIP
18	INTERNALLY ILLUMINATED ADDRESSES
19	SKILL SPACE UNDER SEPARATE PERMIT
20	BRICK VENEER - INSTAL PER MFR SPECS
21	PIPE BOLLARD
FINISH COLOR	
A	SHERWIN WILLIAMS - SW7048 - URBAN BRONZE
B	SHERWIN WILLIAMS - SW7048 - METELECTRAL GRAY
C	SHERWIN WILLIAMS - SW7122 - WHITE FLOUR
D	SHERWIN WILLIAMS - SW5130 - UNDER RUST
E	ADAPTED TO MATCH - DARK BRONZE
F	CHARCOAL BLEND
G	PART TO MATCH - SW5130 - UNDER RUST
H	ELDERADO STONE - RUSTIC LEDGE
I	POWDER GRAY TO MATCH - DARK BRONZE
J	PART TO MATCH - SW7048 - URBAN BRONZE
K	PART TO MATCH - DARK BRONZE
L	PART TO MATCH - METELECTRAL GRAY

SPM
ARCHITECT
STEVEN PAUL MURRAY
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Redlands, CA 92374
Phone (909) 307-0146
email: spmarch007@gmail.com

STAMP:

CARWASH EXIT ELEVATION - (WEST VIEW) SCALE: 3/16"=1'-0" 1

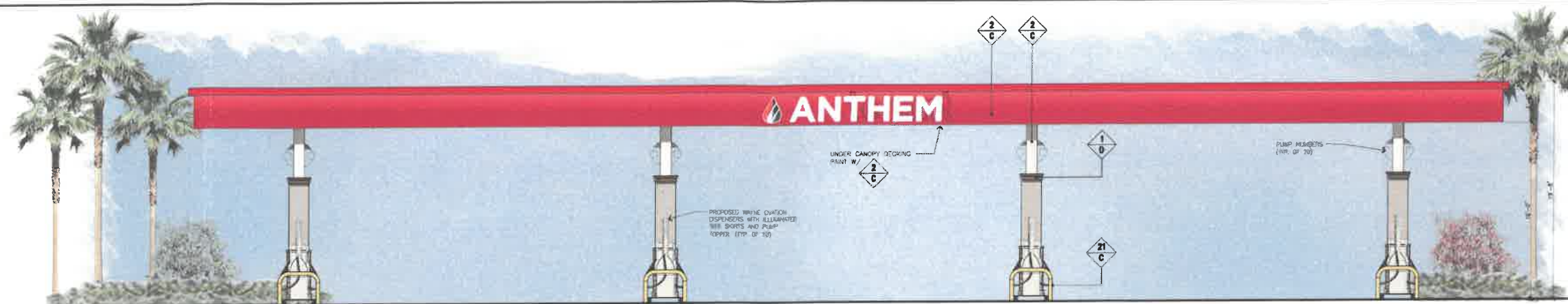


CARWASH RIGHT ELEVATION - (NORTH VIEW) SCALE: 3/16"=1'-0" 2

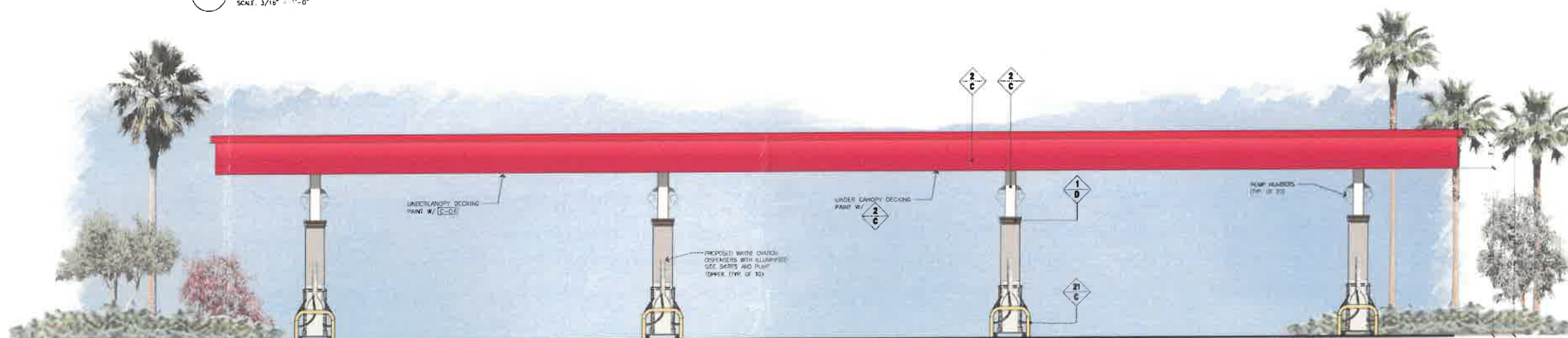
Fuel Station/C-Store/Carwash for:
Greenspot Crossings - Pad 1
27890 GREENSPOT ROAD
HIGHLAND, CA 92346

REVISIONS	
CONSTR.	
BID	
PLAN CHECK	
DRAWN	RJC
JOB NO.	22-096
SHEET NAME	

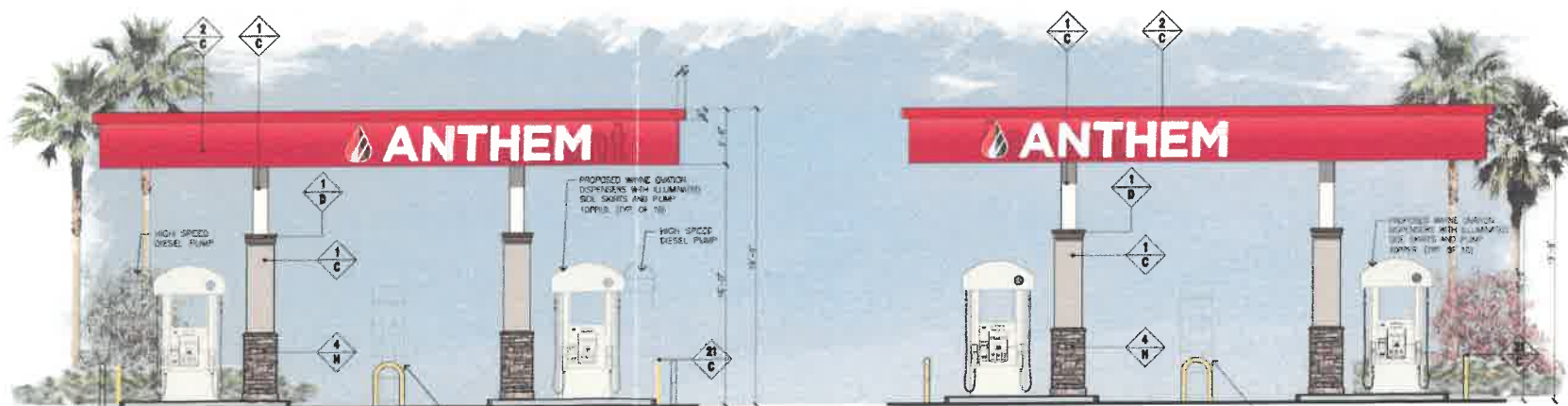
CARWASH
EXTERIOR
ELEVATIONS
SHEET NO.
A-4.1
SHEET - OF -



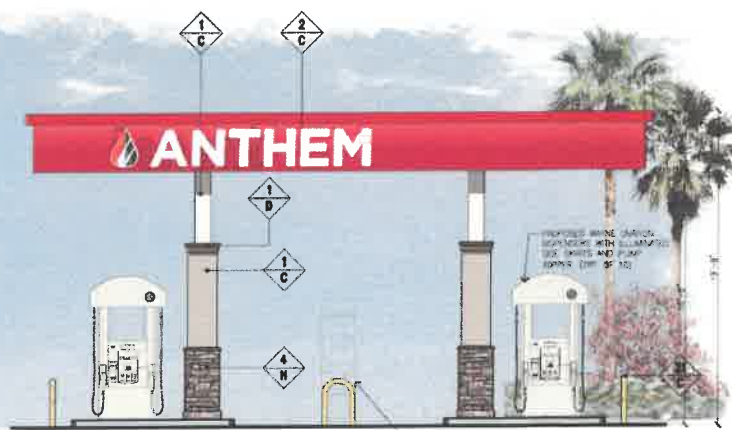
A PROPOSED SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



B PROPOSED NORTH ELEVATION
SCALE: 3/16" = 1'-0"

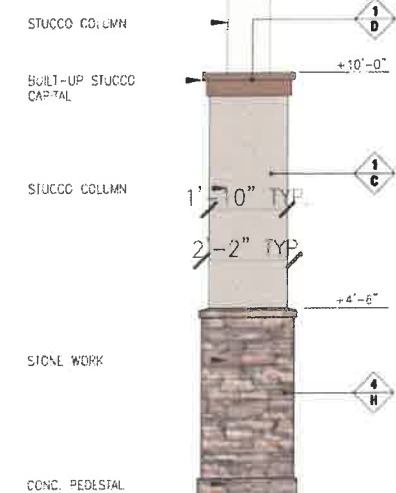


C PROPOSED WEST ELEVATION
SCALE: 3/16" = 1'-0"



D PROPOSED EAST ELEVATION
SCALE: 3/16" = 1'-0"

FUEL STATION CANOPY ELEVATIONS SCALE: 3/16" = 1'-0" 1



DETAIL SCALE: NTS 3

FINISH SCHEDULE

FINISH MATERIAL	
1. STUCCO SYSTEM	
2. METAL CANOPY	
3. STUCCO CORNICE	
4. STONE VENEER - METAL PERIMETER SPECS	
5. ALUMINUM STOREFRONT SYSTEM	
6. STUCCO TRIM	
7. FASCIA	
8. HOLLOW METAL DOOR AND FRAME	
9. EXTERIOR WALL BOARDS	
10. FASCIA TRIM	
11. DRIVE THRU WINDOW	
12. METAL CORNICE	
13. CONCRETE FLAT ROOF TILES - TO ARCHITECT BLEND	
14. INTERNALLY ILLUMINATED ADDRESS	
15. STUCCO REVEAL	
16. WOOD CORNICE	
17. ELECTRICAL EQUIP.	
18. INTERNALLY ILLUMINATED ADDRESS	
19. SIGN SPACE UNDER SEPARATE PERMIT	
20. RAIN VENEER - INSTALL PER ARCH SPECS	
21. PIPE BOLAND	
22. FINISH COLOR	
23. SHERWIN WILLIAMS - SW700 - LARKIN BRONZE	
24. SHERWIN WILLIAMS - SW700 - INTELLECTUAL GRAY	
25. SHERWIN WILLIAMS - SW700 - WHITE FLOUR	
26. SHERWIN WILLIAMS - SW700 - LARKIN BRONZE	
27. ANODIZED TO MATCH - DARK BRONZE	
28. CHARCOAL BLEND	
29. PAINT TO MATCH - SW700 - LARKIN BRONZE	
30. ELDORADO STONE - RUST CLEDGE	
31. POWDER COAT TO MATCH - DARK BRONZE	
32. PAINT TO MATCH - SW700 - LARKIN BRONZE	
33. PAINT TO MATCH - DARK BRONZE	
34. PAINT TO MATCH - INTELLECTUAL GRAY	

Fuel Station/C-Store/Carwash for:

Greenspot Crossings - Pad 1

27890 GREENSPOT ROAD
HIGHLAND, CA 92346

REVISIONS

CONSTR.

BID

PLAN CHECK

DRAWN RJC

JOB NO. 22-086

SHEET NAME

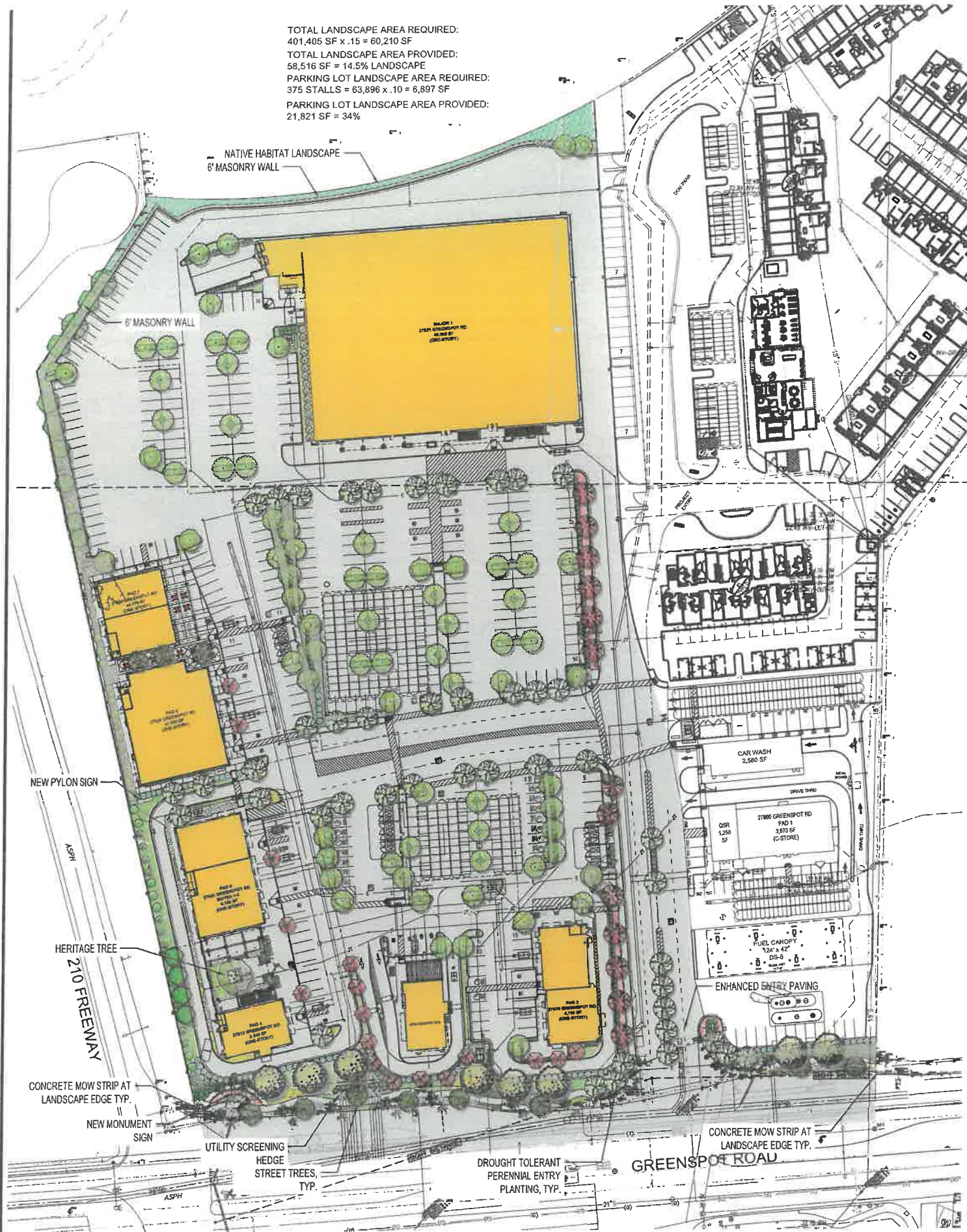
FUEL STATION CANOPY EXTERIOR ELEVATIONS

SHEET NO.

CA-A1.4

SHEET - OF -

FUEL STATION CANOPY ELEVATIONS SCALE: 3/16" = 1'-0" 2



TOTAL LANDSCAPE AREA REQUIRED:
401,405 SF x .15 = 60,210 SF
TOTAL LANDSCAPE AREA PROVIDED:
58,516 SF = 14.5% LANDSCAPE
PARKING LOT LANDSCAPE AREA REQUIRED:
375 STALLS = 63,896 x .10 = 6,897 SF
PARKING LOT LANDSCAPE AREA PROVIDED:
21,821 SF = 34%

SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	PF	QTY	REMARKS
TREES						
	Cercis occidentalis / Western Redbud	24" Box		L	17	
	Eucalyptus sideroxylon 'Rosea' / Red Ironbark	15 Gal.		L	2	
	Fraxinus angustifolia oxycarpa 'Raywood' / Raywood Ash	24" Box		M	4	
	Gleditsia triacanthos inermis 'Trueshade' / Thornless Honey Locust	24" Box		L	77	
	Juniperus chinensis 'Spartan' / Spartan Juniper	15 Gal.		L	1	
	Lagerstroemia indica x fauriei 'Natchez' / Natchez Crape Myrtle	24" Box		M	45	
	Pinus eldarica / Afghan Pine	24" Box		L	8	
	Pistacia chinensis 'Red Push' / Red Push Chinese Pistache	24" Box		L	13	
	Platanus x acerifolia 'Bloodgood' / London Plane Tree	24" Box		L	8	
	Pyrus calleryana 'Redspire' / Redspire Callery Pear	36" box		M	11	
	Quercus lobata / Valley Oak	72" Box		L	1	
	Washingtonia filifera / California Fan Palm	12 BTF		L	12	SKINNED
SHRUBS						
	Callistemon viminalis 'Little John' / Little John Weeping Bottlebrush	5 Gal.		L	360	
	Dianella revoluta 'DR5000' TM / Little Rev Flax Lily	5 Gal.		L	141	
	Dianella revoluta 'Variegated' / Variegated Flax Lily	5 Gal.		L	28	
	Dodonaea viscosa 'Purpurea' / Purple Leafed Hopseed Bush	15 Gal.		M	17	
	Eleagnus pungens / Thorny Eleagnus	5 Gal.		L	174	
	Heteromeles arbutifolia / Toyon	5 Gal.		L	51	
	Ligustrum texanum / Texas Privet	5 Gal.		M	3	
	Muhlenbergia x 'Pink Flamingo' / Pink Flamingo Muhly	5 Gal.		L	15	
	Myrtus communis 'Compacta' / Dwarf Myrtle	5 Gal.		M	62	
	Prunus caroliniana 'Compacta' / Compact Carolina Cherry Laurel	15 Gal.		M	28	Columnar
	Prunus ilicifolia / Holly Leaf Cherry	5 Gal.		VL	31	
	Rhampholepis indica / Indian Hawthorn	5 Gal.		M	22	
	Rosa floribunda 'Iceberg' / Iceberg Rose	5 Gal.		M	28	
	Rosmarinus officinalis 'Tuscan Blue' / Tuscan Blue Rosemary	5 Gal.		L	16	
	Westringia fruticosa 'Wynabbie Gem' / Wynabbie Gem Coast Rosemary	5 Gal.		L	170	
VINE						
	Clytostoma callistegioides / Violet Trumpet Vine	1 Gal.		M	10	
	Vitis californica 'Roger's Red' / California Wild Grape	5 Gal.		L	4	
SHRUB AREAS						
	Iris x 'Night Crossing' / Pacific Coast Hybrid Purple Iris	1 Gal.		M	24" o.c.	140
	Myoporum parvifolium 'Pink' / Pink Trailing Myoporum	1 Gal.		L	36" o.c.	1,205
	Rosa x 'Flower Carpet Red' / Rose	1 Gal.		M	24" o.c.	905
	Rosa x 'Flower Carpet White' / Rose	1 Gal.		M	24" o.c.	993
GROUND COVERS						
	Achillea millefolium 'ACBZ0002' / Little Moonshine Common Yarrow	1 Gal.		L	18" o.c.	1,556
	Carex turnulicola / Foothill Sedge	1 Gal.		L	30" o.c.	202
	Cotoneaster horizontalis / Rockspray Coloneaster	1 Gal.		M	48" o.c.	375
	Rosmarinus officinalis 'Prostratus' / Dwarf Rosemary	1 Gal.		L	24" o.c.	2,737
TURF						
	Synthetic Turf / Synthetic Turf over Grasscell Pavers	N/A		M		1,116 sf



CITY OF HIGHLAND	
APPROVED BY:	
PLANNING DEPARTMENT	DATE
CITY LANDSCAPE ARCHITECT	DATE
LICENSE NO.	

Wilson Davis Associates
Landscape Architecture
2825 Litchfield Dr.
Riverside, CA 92503
Ph (951) 353-2436



GREENSPOT CROSSINGS
NEC GREENSPOT RD. and 210 HWY
GREENSPOT CROSSINGS LLC
4 CORPORATE PLAZA, SUITE 210
NEUPORT BEACH, CA 92660

OVERALL CONCEPTUAL
LANDSCAPE PLAN

Drawn by: WDA
Date: 4/15/24
Revisions:

20034

PLM 1.0