



City of Highland

Patrick Sandford, Chair

Pamela Bible, Vice Chair

Gail Shelton, Member

Jeffrey Staggs, Member

Hugh Walker, Member

Historic and Cultural Preservation Special Meeting Agenda

November 13, 2025 at 4:00 PM

City Hall Donahue Council Chambers | 27215 Base Line, Highland CA 92346

Staff

Lawrence A. Mainez, Community Development Director

Kim Stater, Assistant Community Development Director

Angela Tafolla, Senior Planner

Camille Duarte, Administrative Assistant III

Mission Statement

Highland is dedicated to the betterment of the individual, the family, the neighborhood and the community. The City Council and the staff of Highland are dedicated to providing the quality of public facilities and services that its citizens are willing to fund and will do so as efficiently as possible.

In compliance with the Brown Act, any writings or documents provided to a majority of the legislative body regarding any item on this agenda, that are not exempt from disclosure under the California Public Records Act, will be made available for public inspection at City Hall, 27215 Base Line Highland, CA 92346, during normal business hours. Such documents will also be made available on the City's website at www.cityofhighland.org.

In compliance with the Americans with Disabilities Act (ADA), if you need special assistance, please contact the City Clerk's office at (909) 864-6861, ext. 226, at least 72 hours prior to the meeting for any requests for reasonable accommodations, including interpreters.

Levine Act: Pursuant to Government Code Section 84308, any party to a City proceeding must disclose on the record any campaign contributions made to a member of the City Council (or commission) in excess of \$250 in the past 12 months. This disclosure requirement includes contributions by the party's agent and aggregated contributions from persons or entities related to the party. Please make the disclosure as soon as possible, but no later than the beginning of the proceeding.

Call to Order

Pledge of Allegiance

Public Comment

To address the Historic and Cultural Preservation Board, please complete a speaker form located at the entrance and give it to the Administrative Assistant prior to the beginning of the meeting. Your name will be called when it is your turn to speak. Individual speakers are limited to 3 minutes each. For those wishing to make public comments by email, please submit your comments by 5:00 p.m. on November 13, 2025 to publiccomment@cityofhighland.org. If you are submitting a public comment pertaining to an item on the agenda, please identify the agenda item number.

Historic and Cultural Preservation Board Consent Calendar

1. Minutes - October 2, 2025 Historic and Cultural Preservation Board Special Meeting

Approve Minutes as submitted.

Business Items

2. Certificate of Appropriateness No. 25-011 A proposed change of use at 6905 Palm Avenue from an auto repair use to art studio use with accessory retail sales and exterior modifications to the structure and site. Continued from the October 2, 2025 Historic and Cultural Preservation Board Meeting.

The Historic and Cultural Preservation Board consider the applicant's request, Certificate of Appropriateness (COA 25-011) to change the existing use from Commercial auto repair to a Commercial art studio with retail sales and site and structure modifications as proposed on the plans.

3. Preparation for the 28th Annual Citrus Harvest Festival

Staff recommends the Historic and Cultural Preservation Board review and provide direction on key logistics for the Festival.

4. A status of Certificate of Appropriateness Applications for properties within the Highland Historic District.

Staff recommends the Historic and Cultural Preservation Board receives and file Staff's report.

Announcements

Adjourn

Certification

I, Camille Duarte, Administrative Assistant, or my designee, hereby certify that the foregoing agenda was posted on our website at www.cityofhighland.org and in the following designated areas: Highland Branch Library (7863 Central Avenue), Fire Station No. 1 (26974 Base Line), and City Hall (27215 Base Line) at least seventy-two (72) hours prior to the meeting per Government Code Section 54954.2.



Staff Report

to the Historic & Cultural Preservation Board/Appeals Board

Agenda
Item
No.1.

Date: November 13, 2025
From: Lawrence Mainez, Community Development Director
Prepared By: Camille Goritz, Administrative Assistant III
Subject: Minutes - October 2, 2025 Historic and Cultural Preservation Board Special Meeting

Recommendation:
Approve Minutes as submitted.

Fiscal Impact:
None.

Public Notice:
The agenda for this item was posted at the three locations per Resolution No. 2011-047 and on the City's website.

Background:
None.

Attachments:
1. HCPB 10-02-2025 Minutes

MINUTES
HISTORIC AND CULTURAL PRESERVATION BOARD SPECIAL MEETING
October 2, 2025

CALL TO ORDER

The regular meeting of the Historic and Cultural Preservation Board of the City of Highland was called to order at 5:00 p.m. by Chair Sandford at the Donahue Council Chambers, 27215 Base Line, Highland, California.

Present: Chair Patrick Sandford
 Vice Chair Pamela Bible
 Member Jeff Staggs

Absent: Member Gail Shelton
 Member Hugh Walker

Staff Present: Kim Stater, Assistant Community Development Director
 Angela Tafolla, Associate Planner
 Camille Duarte, Administrative Assistant III

All members led the Pledge of Allegiance.

COMMUNITY INPUT

None.

CONSENT CALENDAR

1. Minutes from August 7, 2025 Special Meeting.

A MOTION was made by Member Walker, seconded by Member Shelton to approve as amended. Motion carried, 4-0, with Member Staggs being absent.

BUSINESS ITEMS

Certificate of Appropriateness No. 25—011 A proposed change of use at 6905 Palm Ave. from an auto repair use to art studio with accessory retail sales and exterior modifications to the structure and site.

No vote taken. There was a lack of quorum and will need to table this item to the next meeting, November 6, 2025.

2. Selection of an Event Date, Budget Analysis, and Organizational details for the 28th annual Citrus Harvest Festival in 2026.

Senior Planner presented the staff report.

Associate Planner Tafolla gave an overview for next year's Citrus Harvest Festival which included the budget, car show, walking tour, retail, sponsorships, and food vendors.

Staff and Historic and Cultural Preservation Board members gave their feedback on the 2026 budget, walking tour, vendors, honoree, marketing, and sponsorships.

The Historic and Cultural Preservation Board received and filed Staff's report.

ANNOUNCEMENTS

Historic and Cultural Preservation Board next meeting will be scheduled November 6, 2025.

ADJOURN

There being no further business Chair Sandford declared the meeting adjourned at 5:28 p.m.

Submitted by:

Approved by:

Camille Duarte, Administrative Assistant III

Patrick Sandford, Chair



Staff Report

to the Historic & Cultural Preservation Board/Appeals Board

Agenda
Item
No.2.

Date: November 13, 2025

From: Lawrence Mainez, Community Development Director

Prepared By: Angela Tafolla, Senior Planner

Subject: Certificate of Appropriateness No. 25-011 A proposed change of use at 6905 Palm Avenue from an auto repair use to art studio use with accessory retail sales and exterior modifications to the structure and site. **Continued from the October 2, 2025 Historic and Cultural Preservation Board Meeting.**

Recommendation:

The Historic and Cultural Preservation Board consider the applicant's request, Certificate of Appropriateness (COA 25-011) to change the existing use from Commercial auto repair to a Commercial art studio with retail sales and site and structure modifications as proposed on the plans.

Fiscal Impact:

The City Council adopted a fee schedule whereby no fee will be collected for a Certificate of Appropriateness. The cost to the City is time and materials for preparation of the Staff Report and advertisement.

Public Notice:

The agenda for this item was posted at the three locations per Resolution No. 2011-047 and on the City's website.

Background:

Environmental Review:

This project is Categorically Exempt from environmental proceedings pursuant to Section 15331, Class 31, Historical Resource, of the California Environmental Quality Act (CEQA) Guidelines, since the proposed project consists of a change of use with an existing structure which does not involve an expansion of the existing building and complies with the Secretary of the Interiors Treatment of Historic Properties. The property will be adapted to a new use that maintains the relationship of distinctive material, features, spaces, and spatial relationships.

Public Notice:

As required by City Council Resolution, notice of the public meeting was posted at three (3) designated posting locations within the City. In addition, the notice was posted on the City's website, and mailed to adjacent property owners of the project site on September 16, 2025. No further notice is required

Public Comment:

Staff has not received any public comments in response to the project notice at the time of

preparing this staff report.

Background:

On October 2, 2025, the Historic and Cultural Preservation Board held a public meeting for the subject project. However, due to the lack of a quorum, the Board was unable to take action on the item. As a result, the hearing was continued to the next scheduled meeting on November 6, 2025.

Description of Site:

The site is a non-contributing property within the Highland Historic District and consists of a single commercial building situated on a 0.21-acre parcel at the southeast corner of Palm Avenue and Pacific Street (Attachment 1). The building, constructed circa 1952, was originally developed as a service station and auto repair facility. It is most notably remembered by the community as “A Transmission,” and more recently operated as “Shorty’s Garage.”

The building is representative of 20th Century Commercial style, defined by its flat roof with stepped parapets, strong horizontal emphasis, and use of utilitarian materials such as concrete block and stucco. The primary façade includes a series of wood sectional roll-up garage doors with integrated glass windows, each framed by vertical pilasters.

A cantilevered canopy supported by metal posts extends over the main pedestrian entry, a typical feature of mid-century gas stations, which helps distinguish the front entry from the vehicle service bays. The entry is composed of aluminum-frame double doors with adjacent storefront picture windows. The exterior is finished in a two-tone stucco color scheme that reflects recent improvements but maintains the building’s utilitarian character.

According to the Historic Architectural Survey Report prepared for Caltrans in 1988, the old gas station/auto repair shop is built on the site formerly occupied by a one-story brick commercial building used as a grocery store and meat market, as shown on the 1907, 1918 and 1930 Sanborn maps. The current building is “non-contributing” because it was constructed outside the Districts Period of Significance (1891-1938).

Project Review/Analysis:

The applicant proposes to change the use of the property from an auto repair facility to an art studio with secondary retail sales operating Monday thru Friday 8:00 am to 6:00 pm and Saturday thru Sunday 10:00 am to 9:00 pm. The proposed use will operate within the existing commercial structure and will be accessible to the public. No exterior structural additions are proposed.

The existing building will remain largely unaltered. The applicant proposes to remove two (2) side doors along the west elevation, which will be infilled with concrete masonry units to match the surrounding wall finish. The four (4) existing dilapidated roll-up garage doors will be replaced in-kind with new wood-framed roll-up doors with glass panels, maintaining the structure’s historic visual rhythm and proportions. The primary entry will be upgraded with new solid wood doors featuring floor-to-header glazing to provide visibility and light. Additionally, the applicant proposes to install new, non-functional fuel pumps in the original location of the former gas station pumps for aesthetic purposes. The applicant is also proposing to modify the existing grade near the building’s entry (Attachment 3 – Project Plans). This change in elevation necessitates the construction of a small set of stairs to provide access from the modified ground level to the primary entrance, while maintaining the building’s visual and structural integrity. Interior improvements will include modifications to the restroom facilities and public areas to ensure compliance with Americans with Disabilities Act (ADA)

requirements and applicable California Building Code standards for public occupancy.

The site plan includes a total of eight (8) standard parking spaces and one (1) ADA-accessible space. Per Highland Municipal Code (HMC) §16.52.040, one off-street parking space is required for every 250 square feet of gross floor area in general retail commercial use. Based on a total building size of 2,270 square feet, nine (9) spaces are required; the current proposal satisfies this requirement.

Vehicle access to the site will be provided by a single driveway located along Pacific Street. The parking lot configuration and backup dimensions will be reviewed for conformance with HMC design standards. The Fire Marshal will evaluate the adequacy of site access during Building & Safety plan check review and may require a secondary point of access depending on operational needs. To enhance security the applicant proposes installation of a 6-foot-high black decorative wrought iron fence along the perimeter.

The property is located within the Village Commercial (VC) zoning district and designated Historic Village District in the General Plan. As specified in HMC Table 16.20.030.A, art studios and retail sales are permitted uses in the VC zone, subject to approval of a Staff Review (SR) application. Because the proposal constitutes a change in use from automotive repair to a publicly accessible art studio with retail, review and approval of a Certificate of Appropriateness (COA) by the Historic and Cultural Preservation Board is also required.

Although no structural additions or major exterior alterations are proposed, the project includes minor modifications such as the removal and infill of two side doors, replacement of deteriorated roll-up garage doors with in-kind materials, and the installation of non-functional, period-style fuel pumps. As the property is a non-contributing resource within the Highland Historic District, these changes are still subject to review under the Secretary of the Interior's Standards for Rehabilitation (Attachment 4) to ensure they do not adversely impact the broader character of the district. The decorative fuel pumps, while referencing the site's historic use as a service station, are clearly non-operational and not intended to replicate a precise historical feature, thereby complying with Standard 3 which directs against creating a false sense of historical development. If the Board considers approving the proposed wrought iron perimeter fencing, Staff recommends the height be reduced to four feet (4') along the frontage of Palm Avenue and Pacific Street in accordance with HMC Section 16.40.100.C.1. The overall change in use from an automotive repair facility to an art studio with accessory retail demonstrates an appropriate adaptive reuse that retains the building's massing, form, and spatial relationships with accepted preservation practices.

Staff recommends the Historic and Cultural Preservation Board consider the proposed Certificate of Appropriateness for the change of use. If approved, the applicant will proceed with submission of a formal Staff Review application to the Planning Division for final review of site development standards and conformance with all applicable municipal requirements.

Attachments:

1. Area Map
2. Site Photos
3. Project Plans
4. Secretary of the Interior's Standards for Rehabilitation
5. Findings & Conditions of Approval

ATTACHMENT 1

Area Map



ATTACHMENT 2

Site Photos





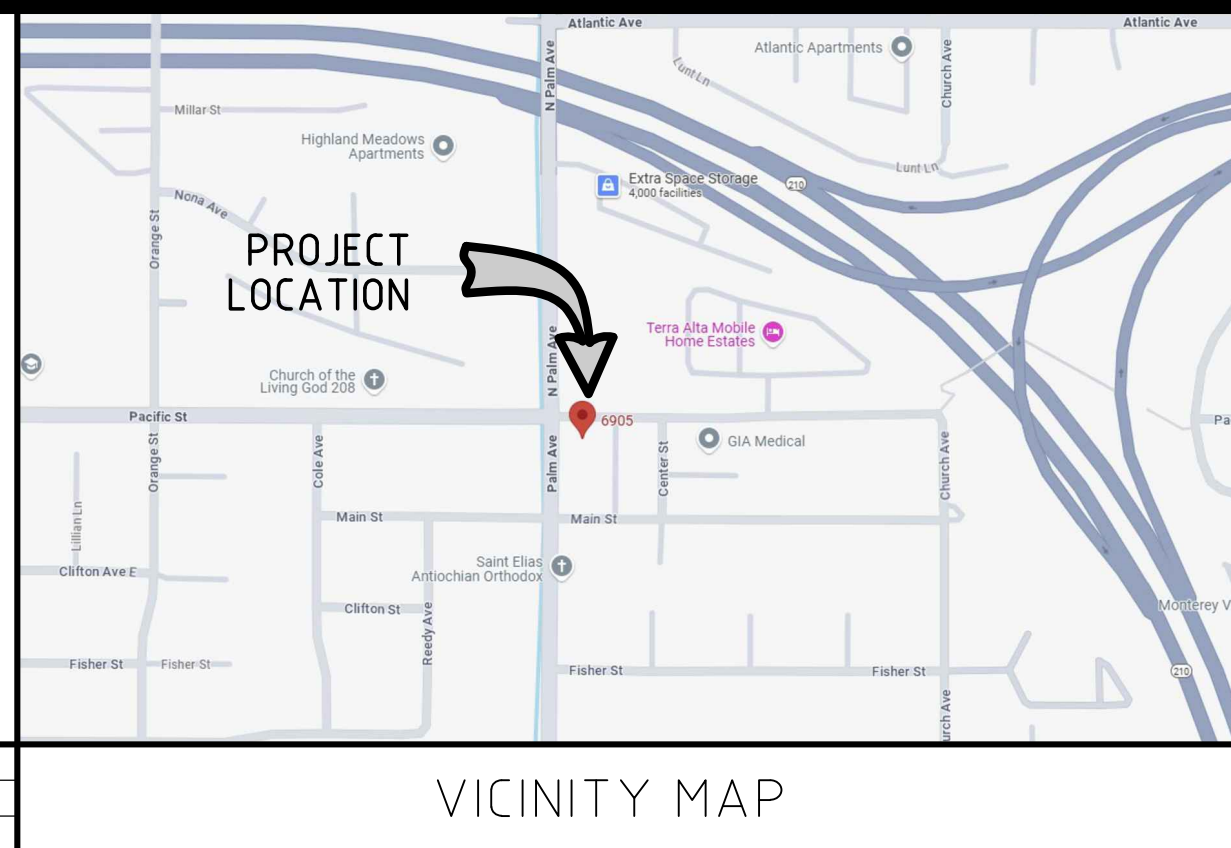


ATTACHMENT 3

Project Plans

Shorty's Garage

6905 Palm Avenue
Highland, Ca 92346
[c/o Ron baskettt]



- Job-Site Requirements (As Applicable):
- A. Approved temporary sanitary facilities (i.e. chemical toilets shall be on the construction site prior to request for first inspection). (Health and Safety Code, Section 5416)
- B. Contractor and/or owner shall provide a trash bin to insure proper clean-up of all building materials.
- C. Storage of building materials or debris shall be confined to the lot for which the permit is issued. Adjacent vacant properties may not be utilized for this purpose unless written permission of the owner is on file with this office. The public right-of-way shall be maintained in a clear condition at all times.
- D. Address numerals shall comply with Local City & Fire Department Ordinance. You may request details of applicable Ordinance(s) at the Building Department.
- E. CONSTRUCTION HOURS:
Monday - Friday 7:00 a.m. - 6:00 p.m.
Saturday 8:00 a.m. - 6:00 p.m.
Government Holidays 8:00 a.m. - 6:00 p.m.
Violation of the above work hours may be citable under Local Municipal Code.
- F. School Tax Fees, as applicable, must be paid prior to the issuance of the building permit.
- G. The Traffic Uniform Mitigation Fees (TUMF), as applicable, must be paid at time of issuing the building permit.
- H. Block walls, trash enclosures, temporary power poles, pools, spas, site lighting, signage, awnings, etc. require separate permits.
- I. General contractors and/or owner-builders shall submit a completed Sub-Contractor list to the Building & Safety Department prior to requesting a final inspection. Absolutely no Sub-Contractor lists will be accepted unless all required information is provided on the appropriate City forms.

Assessor's Parcel Number : 1200-351-07-0000
Building Owner : Voodoo Nation LLC

Tenant :
c/o "Shorty's Garage"
(Project Coordinator) Ron Baskettt
909-229-4744

Site Address: 6905 Palm Ave. Highland, CA 92346-4902

Mail Address: 26535 Indian Service Road Highland, CA 92346-1713

Legal Desc.: Lot Number: 1.2 Block: A District: 12 City, Municipality, Township: HIGHLAND Subdivision Name: HIGHLAND Brief Description: HIGHLAND TOWNSITE LOT 1 AND N 157 FT LOT 2 BLK A

Lot Number: 1.2
Tract Number: N/A
Census Tract: 0074.09
County: SAN BERNARDINO COUNTY

Lot Size: 0.21 acre / 9,150 sq.ft.
Use: Garage (Existing) [S-1]
Proposed Use: Mercantile [M]
Year Built: 1955
Zone: Village Commercial Zone (Existing)

Type of Construction (Existing): VB, Non-Sprinklered
No. of Stories (Existing): 1 Story
Building Footprint (Existing): 2,270 sq.ft. (ACTUAL)

Occupancy (Existing & Proposed): Existing S-1 / Proposed M
Occupant Load (gross): 2,270 / 60 (gross) = 38 (See Sheet A-1 for Existing)
Parking: (1 / 250 sq.ft.) 2,270 / 250 = 9.08 Spaces Required

REVISIONS

DATE:	BY:

A.W. STRICKLER DESIGN
IN COOPERATION WITH
Jonathan L. Zane Architecture
Jonathan L. Zane, Architect
California License #C-12166
1000 N. GARDEN ST., SUITE 200
COSTA MESA, CA 92626-5600
909.376.5268



DATE: 7/02/2025

SUBMITTALS
DATE: 7/02/25 PHASE: 1st CK-BLDG

APPLICABLE CODES:
California Building Code
2022 C.B.C. 2022 C.F.C.
2022 C.P.C. 2022 C.M.C.
2022 C.E.C. 2022 C.E.C.
2022 C.F.C. 2022 C.F.C.
2022 California Green Building Code
2022 California Energy Code (CEnC)

All new work shall comply with listed codes and all current local and state amendments.
GENERAL NOTES:
01) SYSTEM WILL ALSO COMPLY WITH ALL CITY/COUNTY ORDINANCES, CODES AND REQUIREMENTS.
02) ALL PLUMBING FIXTURES SHALL BE IN COMPLIANCE WITH CALIFORNIA GREEN CODE WATER SAVING REQUIREMENTS.

"Shorty's Garage"
A Tenant Improvement For:
LOCATED AT:
6905 Palm Ave.
Highland, CA
92346-4902

DATE: 6/18/2025

SCALE: 1" = 10'-0"

DRAWN: Art.S.

JOB: 25-004

SHEET: C-1

GENERAL NOTES (TENANT IMPROVEMENTS):

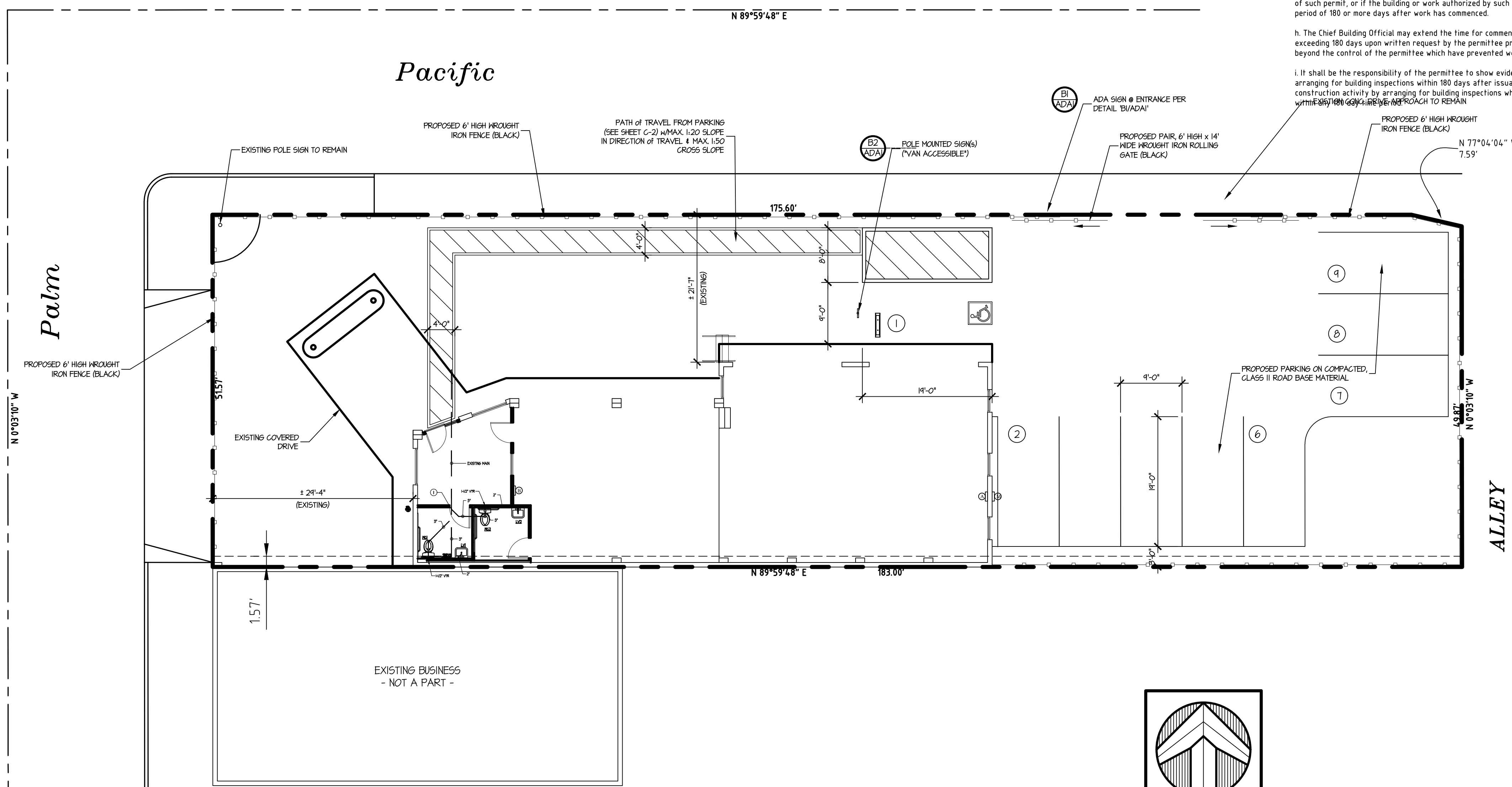
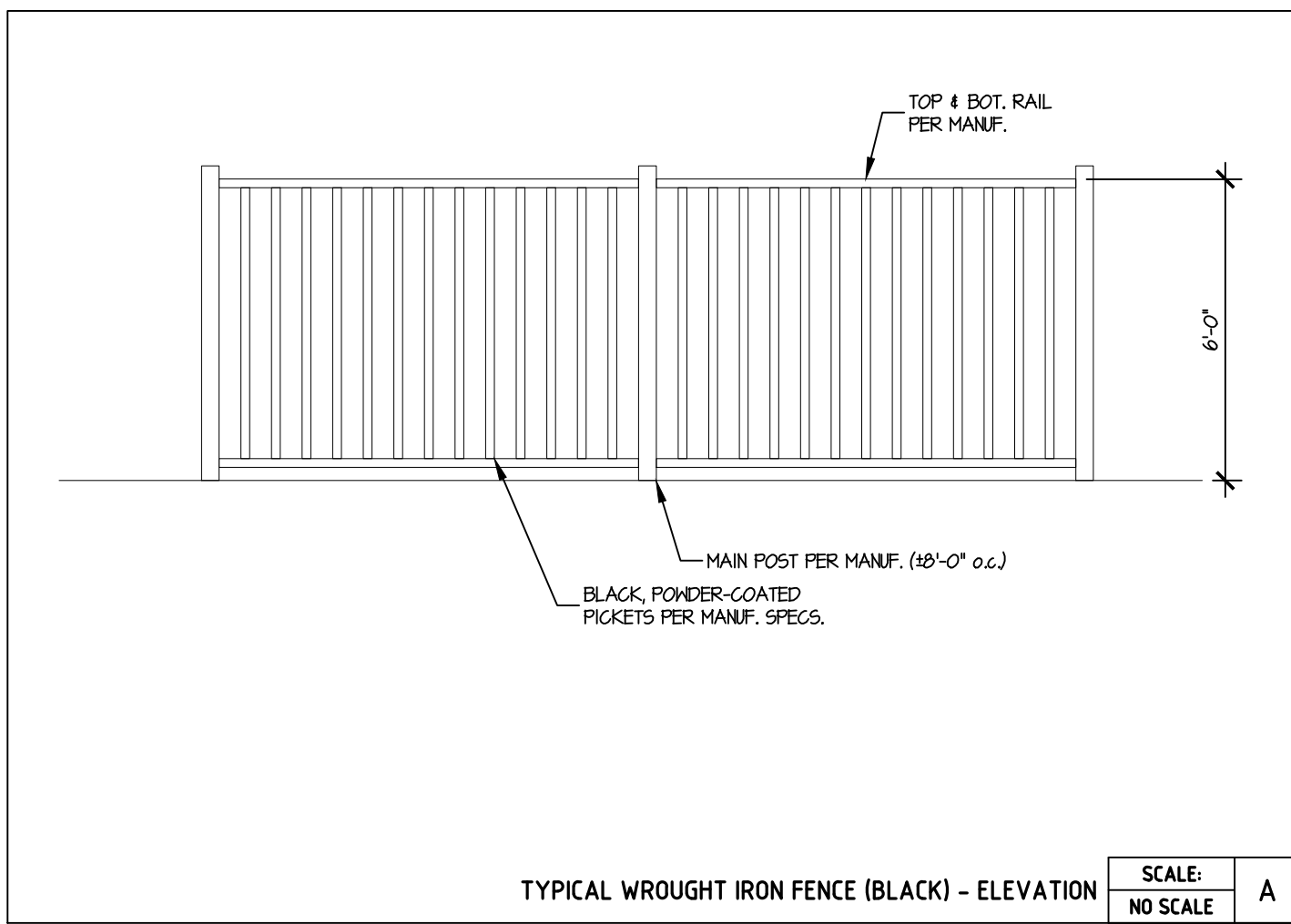
- THIS PLAN REVIEW OR APPROVAL ENCOMPASSES THE TENANT IMPROVEMENT PLANS ONLY. FIRE SPRINKLER SYSTEM(S), ALARM SYSTEM(S), UNDERGROUND FIRE LINES OR ANY OTHER FIRE PROTECTION SYSTEM OR REQUIRED FIRE DEPARTMENT PERMIT(S), REQUIRES A SEPARATE PLAN SUBMITTAL AND ARE NOT ENCOMPASSED IN THIS PLAN REVIEW OR APPROVAL.
- PLANS OF NEW OR MODIFICATIONS TO EXISTING FIRE PROTECTION, DETECTION, ALARM OR MONITORING SYSTEM(S) SHALL BE APPROVED BY THE LOCAL FIRE DEPARTMENT PRIOR TO INSTALLATION OR MODIFICATION. A SEPARATE PLAN SUBMITTAL IS REQUIRED PRIOR TO THE COMMENCEMENT OF ANY WORK. CFC, ARTICLE 10.
- IF ADDITIONS OF WALLS AND/OR OTHER TENANT IMPROVEMENTS OBSTRUCT OR EFFECT COVERAGE OR PERFORMANCE OF THE FIRE SPRINKLER SYSTEM AND/OR IF ANY MODIFICATIONS TO THE FIRE SPRINKLER SYSTEM IS NECESSARY, FIRE SPRINKLER TENANT IMPROVEMENT PLANS SHALL BE SUBMITTED TO THE LOCAL FIRE DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION OR ALTERATION(S). NFPA 13

ELECTRICAL/MECHANICAL AND PLUMBING NOTES

- PLUMBING SYSTEM and FIXTURES AS DESIGNED PER PLAN.
- MECHANICAL SYSTEM and FEATURES AS DESIGNED PER PLAN.
- ELECTRICAL SYSTEMS and FEATURES AS DESIGNED PER PLAN.

STANDARD CONSTRUCTION NOTES:

- Business License requirement for architects, engineers, contractors and sub-contractors per local ordinance for BUSINESS LICENSE REQUIREMENTS.
- It is unlawful for any person, whether as principal or agent, clerk or employee, either for himself or for any other person, or for anybody corporate, or as an officer of any corporation, or otherwise to commence or carry on any lawful business, trade, calling, profession or occupation in the city without first having procured a license from this city so to do or without complying with any and all regulations of such trade, calling, profession or occupation contained in Local Municipal Code
- New construction shall meet or exceed the minimum requirements of the current California Building Code editions that include the Building, Fire, Plumbing, Mechanical, Electrical, Green Building Standards and Energy Commission series. In cases where the Codes may conflict with the provisions in these plans or specifications, the more restrictive provisions shall govern. Call for all required inspections prior to concealing work.
- Anyone who is involved with the construction of this project shall comply with all applicable Best Management Practices (BMP) to contain or prevent any illegal discharge or storm-water pollution within the project boundary until the project is completed and accepted by the Public Works Inspector of the City.
- Recycling of construction and demolition debris is required as mandated by AB 939 and SB 1066 and as amended by Local Municipal Code
- Construction activity noise shall be limited to the hours between 7:00 a.m. and 6:00 p.m. Monday through Saturday, or as noted otherwise per Local Ordinance.
- Every permit issued under the provisions of these plans shall expire by limitation and become null and void if the building or work authorized by such permit is not commenced within 180 days from date of such permit, or if the building or work authorized by such permit is suspended or abandoned for a period of 180 or more days after work has commenced.
- The Chief Building Official may extend the time for commencement of work for a period not exceeding 180 days upon written request by the permittee providing evidence of the circumstances beyond the control of the permittee which have prevented work from commencing.
- It shall be the responsibility of the permittee to show evidence of "start of construction" by arranging for building inspections within 180 days after issuance of permit and to verify continuing construction activity by arranging for building inspections which will show the work is progressing within the 180 day period.



SITE PLAN
SCALE: 1" = 10'-0"

EXIT ACCESS / EGRESS / TRAVEL DISTANCE

For an 'M' Occupancy, w/out sprinklers
Per Table 1017.2, Exit Access Travel Distance = 200'

Per C.B.C. Sect. 1006.2.1 & Table 1006.2.1,
'M' Occupancy without Sprinkler System;
Maximum Occupant Load = 49
"75 feet Maximum Common Path of Egress Travel Distance"

Per C.B.C. Sect. 1005.3.2 Egress Components:
The capacity in inches per "Means of Egress Capacity Factor" = 0.2 inches
Occupant Load = 38 x 0.2" = 7.6" [36" DIRECT EXIT PROVIDED]

Plumbing Fixtures (Per C.P.C. Sect. 422 & Table 4-1):

Per Table 422.1	Water Closet(s)	Urinal(s)	Lavatories
MEN 1-100	(1) W.C.	1-200 (0) Urinals	(1) LAVY (1-200 Men)
WOMEN 1-100	(1) W.C.	N/A	(1) LAVY (1-200 Women)

TOTAL PROVIDED:

MEN:	(1) W.C.	N/A	(1) LAVATORIES
WOMEN:	(1) W.C.	N/A	(1) LAVATORIES

SCOPE OF WORK

Proposed, 139 sq. ft. Tenant Improvement to remove & replace (1) non-compliant restroom & add (1) additional accessible restroom.

APPLICABLE CODES

2022 C.B.C.
2022 C.M.C.
2022 C.P.C.
2022 C.E.C.
2022 C.F.C.
2022 California Green Building Code
2022 California Energy Code (CEnC)

All new work shall comply with listed codes and all current local and state amendments.

GENERAL NOTES:
01) SYSTEM WILL ALSO COMPLY WITH ALL CITY/COUNTY ORDINANCES, CODES AND REQUIREMENTS.
02) ALL PLUMBING FIXTURES SHALL BE IN COMPLIANCE WITH CALIFORNIA GREEN CODE WATER SAVING REQUIREMENTS.

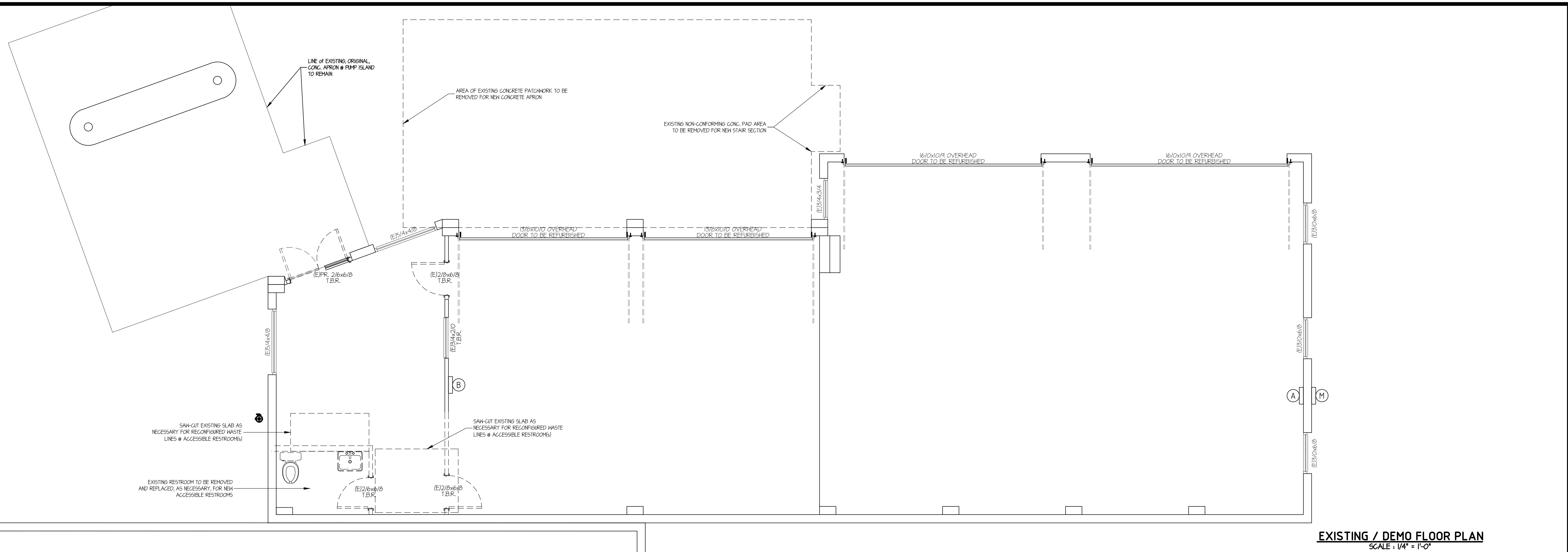
SITE DATA

C-1	SITE PLAN / COVER SHEET
A-1	EXISTING/DEMO PLAN
A-2	PROPOSED FLOOR PLAN & DETAILS
A-3	PROPOSED FLOOR PLAN - NOTES
A-3	EXISTING EXTERIOR ELEVATIONS

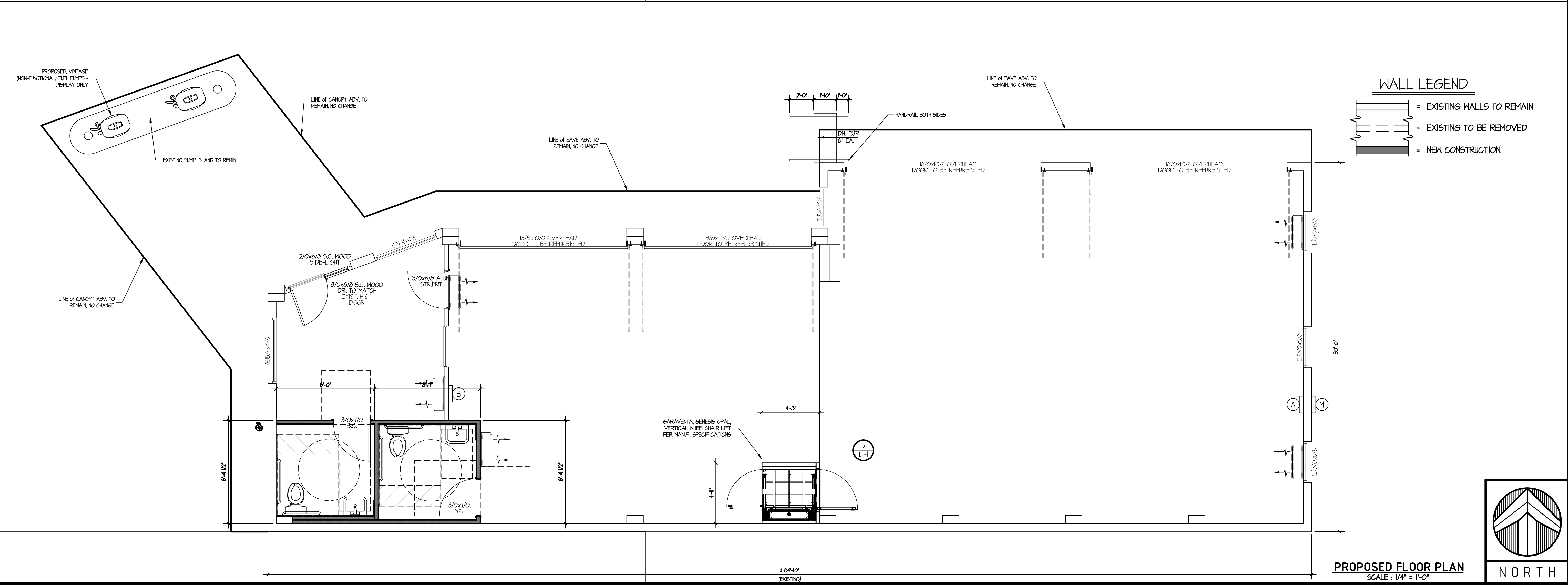
SHEET INDEX

NOTICE: The designs and ideas indicated by these drawings were created for the use of this project only and are the sole property of Arthur W. Strickler Designer. These designs may not be used for any other purpose whatsoever or reproduced without the written consent of Arthur W. Strickler & Jonathan L. Zane, Architect.

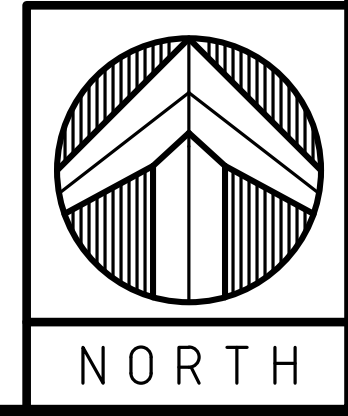
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EXISTING / DEMO FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"



REVISIONS	
DATE:	BY:

A.W. STRICKLER DESIGN
IN COOPERATION WITH
Jonathan L. Zane Architecture
Jonathan L. Zane, Architect
California License #C-1046
1000 10th St., Suite 100
Costa Mesa, CA 92626-5000
909.376.5268

REGISTERED ARCHITECT
JONATHAN L. ZANE
NO. C-11186
REV. 31-25
STATE OF CALIFORNIA

DATE:	PHASE
7/02/25	1st CK_BLDG

APPLICABLE CODES:
California Building Code:
2022 C.B.C. 2022 C.F.C.
2022 C.F.C. 2022 C.M.C.
2022 C.E.C. 2022 C.E.C.
2022 CalGreen
2022 California Energy Code
All new work shall comply with listed codes and all current local and state amendments.

A Tenant Improvement For:
"Shorty's Garage"
LOCATED AT:
6805 Palm Ave.
Highland, CA
92346-4902

DATE:	6/18/2025
SCALE:	1/4" = 1'-0"
DRAWN:	Art.S.
JOB:	25-004
SHEET:	A-1

NOTICE: The designs and ideas indicated by these drawings were created for the use of this project only and are the sole property of Arthur W. Strickler Designer. These designs may not be used for any other purpose whatsoever or reproduced without the written consent of Arthur W. Strickler & Jonathan L. Zane, Architect.

DOOR SCHEDULE

SYMBOL	QUANTITY	SIZE		TYPE						FRAME		NOTES & FINISH	
		WIDTH	HEIGHT	THICK	TYPE					MATERIAL	HARDWARE		
					H.C. METAL	S.C. WOOD	H.C. WOOD	H.C. WOOD OVERHEAD DR.	ALUM. STOREFRONT				PAIR
1	1	3'-0"	6'-8"										
2	1	3'-0"	6'-8"										
3	1	3'-0"	6'-8"										
4	1	3'-0"	6'-8"										
E1	2	± 13'-8"	± 10'-0"										
E2	2	± 16'-0"	± 10'-9"										

- NOTES:**
- DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.
 - PROVIDE SIGN OVER DOOR, W/MIN. 1" HIGH (BLACK) LETTERING OVER WHITE OR CONTRASTING BACKGROUND; THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED.
 - NOTE: SIGN SHALL BE POSTED, BOTH SIDES OF ROLL-UP DOOR.
 - SEE DETAIL 1' SHEET ADA3 FOR DOOR MANEUVERING CLEARANCE & REQUIREMENTS
 - EXISTING DOOR(S) TO BE REFURBISHED TO MATCH HISTORIC RECORDS
 - EXISTING DOOR(S) TO COMPLY WITH ALL H.C. ACCESSIBILITY REQUIREMENTS, FIELD VERIFY COMPLIANCE
 - NEW DOOR PER OWNER SPECS.
 - EXISTING DOOR W/FLUSH THRESHOLD
 -
- HARDWARE:**
- PANIC HARDWARE WITH LOCKING MECHANISM & FULL TRIM
 - LEVER TYPE W/ STORE-ROOM LOCK AS SPECIFIED PER OWNER
 - NON-LATCHING, STOREFRONT DOOR W/ LOCKING HARDWARE PER MANUFACTURER & FISH-FALL GUARD
 - LEVER TYPE, NON LOCKING AS SPECIFIED PER OWNER
 - LEVER TYPE W/ PRIVACY LOCK AS SPECIFIED PER OWNER
 - NON-LATCHING DOOR W/FULL TRIM & PUSH PLATE
 - DOOR HARDWARE PER MANUF. W/ LOCKING HARDWARE
 - not used
 - (EXISTING) PANIC HARDWARE WITH LOCKING MECHANISM & FULL TRIM
- ABBREVIATIONS:**
- ADU ABOVE FINISHED FLOOR
 ADV. ABOVE FINISHED GRADE APPROXIMATE
 BOT. BOTTOM
 BM. BEAM
 CL.G. CEILING
 CLR. CONC.
 CS.MT. CASEMENT (WINDOW)
 DBL. DOUBLE
 D.H. DOUBLE HANG (WINDOW)
 DIM. DIMENSION
 DR. DRIVEWAY
 DR. DRIVE
 D.W. DRIVE WASHER
 EX. EXISTING
 ELEV. ELEVATION
 EX. EXIST.
 F.A. FINISHED FLOOR
 FIN. FIN. FINISHED FLOOR
 FIN. GRD. FIN. GRADE
 FIX. FIXED GLASS (WINDOW)
 GL. GLASS
 H.C. HOLLOW CORE (DOOR)
 H.S. HORIZONTAL SLIDER (WINDOW)
 IN. INSULATION
 MAX. MAXIMUM
 MIN. MINIMUM
 MT. MOUNT (MOUNTED)
 NEW
 NAT. NATURAL LIGHT
 NAT. NATURAL VENTILATION
 PKT. POCKET (DOOR)
 REM. REMOVED
 REFR. REFRIGERATOR
 REQ'd REQUIRED
 REQS. REQUIREMENTS
 S.C. SOLID CORE (DOOR)
 S.F. SQUARE FEET
 SFR. SINGLE FAMILY RESIDENCE
 S.H. SHADING COEFFICIENT PER ATTACHED TITLE 24 ENERGY ANALYSIS
 SHWR. SHOWER
 S.L. SIDE LIGHT (FRENCH DOOR)
 SLDG. GL. DR. SLIDING GLASS DOOR
 S.P. SHEAR PANEL
 SQ.FT. SQUARE FEET
 TEMP. TEMPERED (GLASS)
 TRANS. TRANSPARENT (ABOVE DOOR or WINDOW)
 TYP. TYPICAL
 T & B TOP AND BOTTOM UNDER COUNTER
 U.C. U-FACET
 U-FACT ENERGY ANALYSIS UNLESS NOTED OTHERWISE
 W/ WITH
 W/GRIDS WINDOW TO HAVE GRIDS PER EXTERIOR ELEVATIONS
 WINDOW TYPE
 X = OPERABLE PANEL
 O = FIXED PANEL
 (i.e. 5'-0" WIDE x 5'-0" TALL)
 WINDOW or DOOR SIZES PER PLAN. SEE PLAN FOR DOOR OR WINDOW TYPE PER LIST OF ABBREVIATIONS ABOVE

DOOR NOTES:

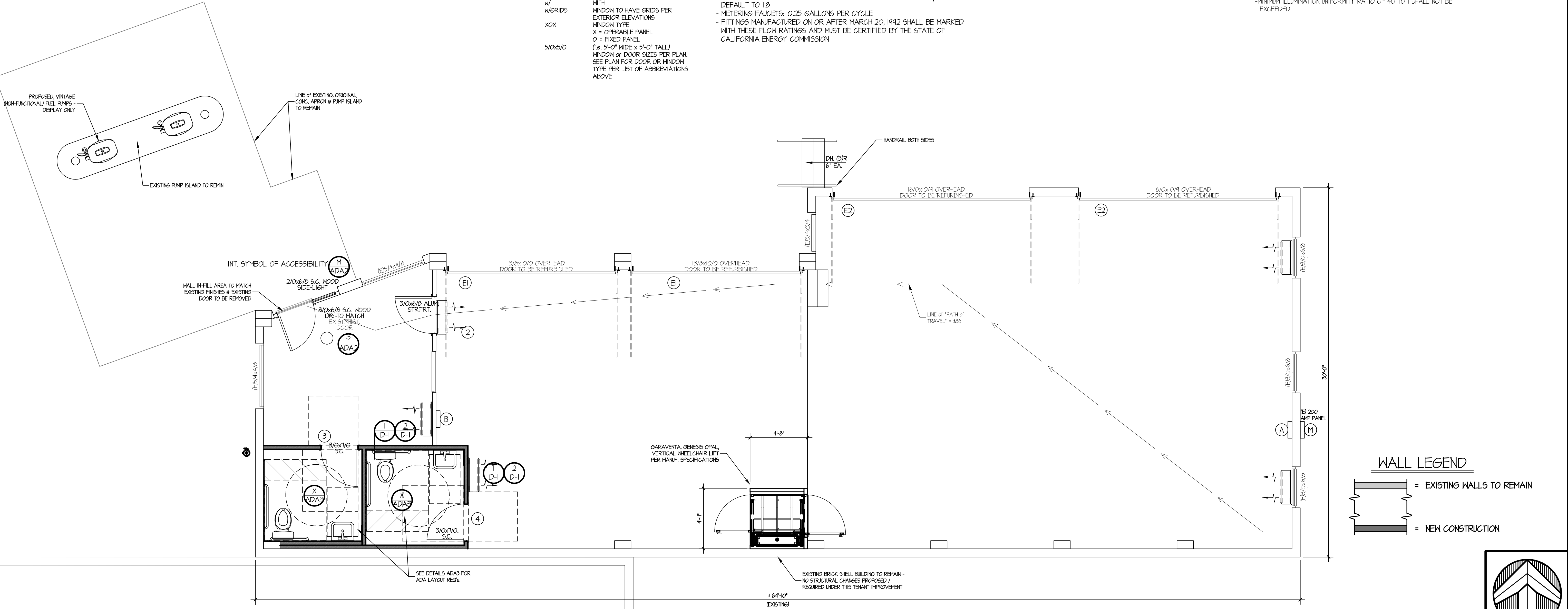
- DEADBOLTS ARE NOT PERMITTED ON EXIT DOORS. A DURABLE SIGN WITH 1" HIGH LETTERS SHALL BE PLACED OVER ALL EXIT DOORS STATING THAT THIS DOOR TO REMAIN UNLOCKED WHENEVER THE BUILDING IS OCCUPIED.
 - ALL EXITS TO BE OPENABLE FROM INSIDE WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
 - ALL DOOR HARDWARE SHALL BE LEVER TYPE, PUSH TYPE OR PANIC BAR HARDWARE.
 - ALL GLASS OVER 9 SQ. FT. IN AREA WITHIN 18" OF FLOOR OR 36" OF GRADE, AND ALL GLASS DOORS AND HALL PANELS SHALL BE LAMINATED, FULLY TEMPERED.
- THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 2-HOURS AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2102.
- EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (1 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 FOOT-CANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED.
- TACTILE EXIT SIGNS SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS (C.B.C. 1013.4):
- "EXIT" SIGN AT EACH GRADE-LEVEL EXTERIOR DOOR.
 - EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE:
 - "EXIT STAIR DOWN"
 - "EXIT RAMP DOWN"
 - "EXIT STAIR UP"
 - "EXIT RAMP UP"
 - "EXIT ROUTE" AT EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE OR AN EXIT PASSAGEWAY.
 - "EXIT ROUTE" AT EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY.
 - "TO EXIT" AT EACH EXIT DOOR THROUGH A HORIZONTAL EXIT.
- FLOW NOTES:**
- THE FOLLOWING ARE MAXIMUM FLUSH VOLUMES AND FLOW RATES
- WATER CLOSETS : 1.28 GALLONS PER FLUSH (BLOWOUT TYPE EXEMPT)
 - URINALS : 0.125 gal/flush (WALL MOUNT) 0.5 gal/flush (OTHER)
 - LAVATORY FAUCETS : 1.2 GALLONS PER MINUTE @ 60psi (SINKS & LAVS)
 - MINIMUM 0.8 GALLONS PER MINUTE @ 20 psi.
 - KITCHEN FAUCETS : 1.8 GALLONS PER MINUTE @ 60psi AND MAY TEMPORARILY INCREASE TO MAX. 2.2 GALLONS PER MINUTE @ 60 psi AND DEFAULT TO 1.8
 - METERING FAUCETS: 0.25 GALLONS PER CYCLE
 - FITTINGS MANUFACTURED ON OR AFTER MARCH 20, 1992 SHALL BE MARKED WITH THESE FLOW RATINGS AND MUST BE CERTIFIED BY THE STATE OF CALIFORNIA ENERGY COMMISSION

DOOR ACCESSIBILITY NOTES:

- MIN. DOOR STRIKE EDGE DISTANCE OF 24" @ EXTERIOR DOORS, 12" ON THE PUSH SIDE AND 18" ON THE PULL SIDE FOR ALL DOORS.
- MAX. HEIGHT OF THRESHOLD SHALL BE 1/2" WITH MAX SLOPE OF 1:12.
- DOOR OPENING FORCE APPLIED TO THE LATCH SIDE SHALL NOT EXCEED THE FOLLOWING PER SECTION 1133B.2.5.0 C.B.C.:
 - 5 LBS FOR INTERIOR AND EXTERIOR DOORS
 - 15 LBS FOR FIRE RATED DOORS
- ALL DOOR OPENINGS SHALL BE MINIMUM 32" CLEAR WITH WITH DOOR OPEN @ 90°.
- USE SINGLE EFFORT NON-GRASP TYPE DOOR HARDWARE PER SECTIONS 1003.3.1.8, 1003.3.1.9 AND 1133B.2.5.1 C.B.C.
- ALL HAND-ACTIVATED DOOR OPENING HARDWARE MEETS THE FOLLOWING REQUIREMENTS, PER SECTION 1133B.2.5.2:
 - LATCHING, OR LOCKING DOORS IN A PATH OF TRAVEL ARE OPERATED WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, BY PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.
 - IS TO BE CENTERED > 30" BUT < 44" ABOVE FLOOR.

EGRESS NOTES:

- EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED.
- EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (54 LUX).
- INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS, SECTION 2102.
- EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. (1013.3)
- EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMARY POWER LOSS. (1013.6.3)
- EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- SEE 10101.3.3 FOR EXCEPTIONS.
- DOOR HANDLES, LATCHES AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MIN. 34" AND A MAX. 44" ABOVE THE FINISHED FLOOR.
- ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION 10101.4 & 10101.9.1.2.
- THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
- THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE.
- DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- DOOR HANDLES, LATCHES, PULLS, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34" MIN. AND 44" MAX. ABOVE THE FINISHED FLOOR.
- MATERIAL OTHER THAN FOAM PLASTICS, USED AS INTERIOR TRIM SHALL HAVE A MIN. CLASS C FLAME SPREAD AND SMOKE-DEVELOPED INDEX AND SHALL NOT EXCEED 10% OF THE WALL OR CEILING AREA IN WHICH IT IS ATTACHED.
- THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING:
- aisles and unenclosed egress stairways in rooms and spaces that require two or more means of egress.
 - corridors, exit enclosures and exit passageways in buildings require to have two or more exits.
 - exterior egress components at other than the level of exit discharge until exit discharge is accomplished for buildings required to have two or more exits.
 - interior exit discharge elements, as permitted in section 1028.1.1, in buildings required to have two or more exits.
 - exterior landings, as required by section 10101.6, for exit discharge doorways in buildings required to have two or more exits.
- THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 2-HOURS AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2102.
- EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (1 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 FOOT-CANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED.



PROPOSED FLOOR PLAN - ARCHITECTURAL
SCALE: 1/4" = 1'-0"

REVISIONS

DATE:	BY:

A.W. STRICKLER DESIGN
IN COOPERATION WITH
Jonathan L. Zane Architecture
Jonathan L. Zane, Architect
California License # 51016
10101.4 & 10101.9.1.2
909.376.5268

APPROVED ARCHITECT
JONATHAN L. ZANE
NO. C11186
REV. 31-25
STATE OF CALIFORNIA

DATE: 11/02/2025
SUBMITTALS PHASE
DATE: 7/02/25 1st CK_BLDG

APP(CA)BIA CODES:
California Building Code
2022 C.B.C. 2022 C.F.C.
2022 C.P.C. 2022 C.M.C.
2022 C.E.C.

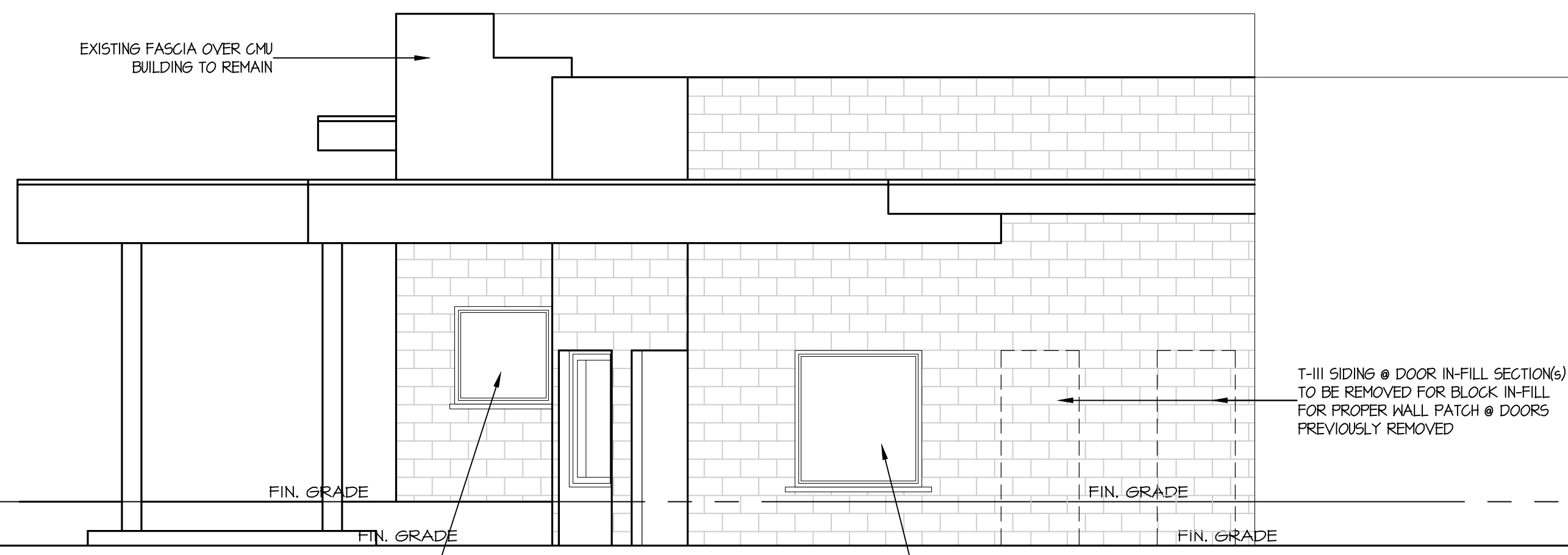
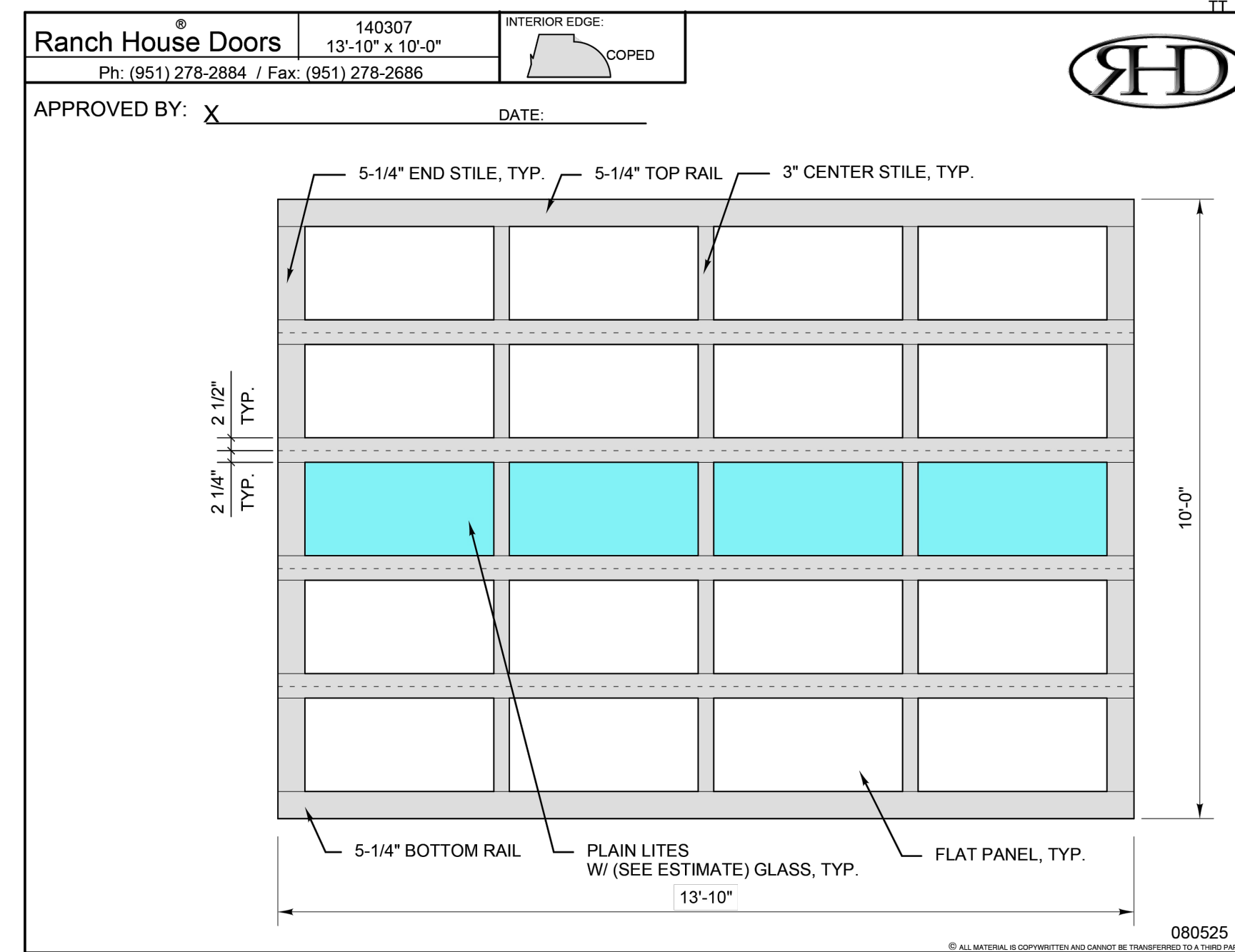
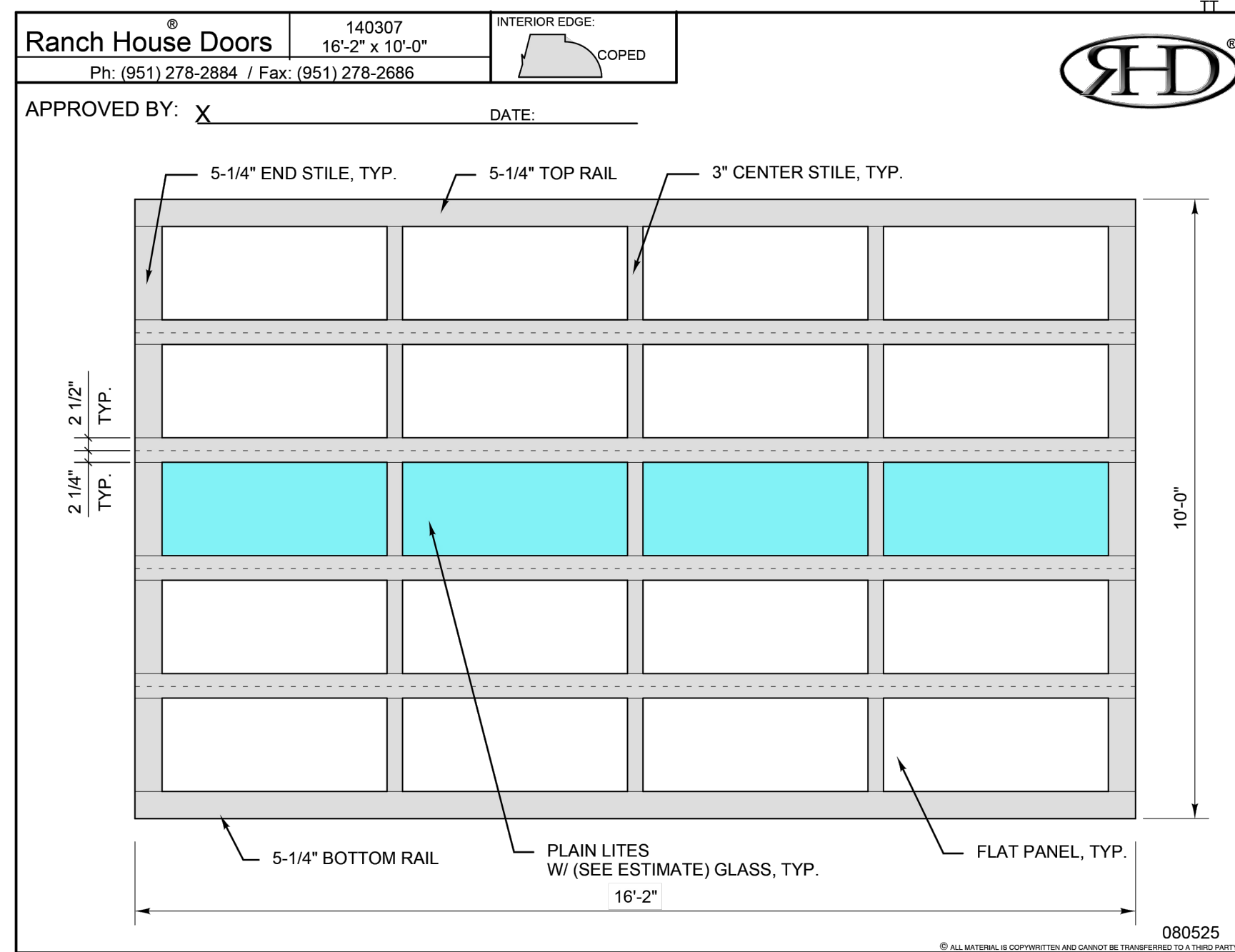
2022 CalGreen
2022 California Energy Code
All new work shall comply with listed codes and all current local and state amendments.

A Tenant Improvement For:
"Shorty's Garage"
LOCATED AT:
6805 Palm Ave.
Highland, CA
92346-4902

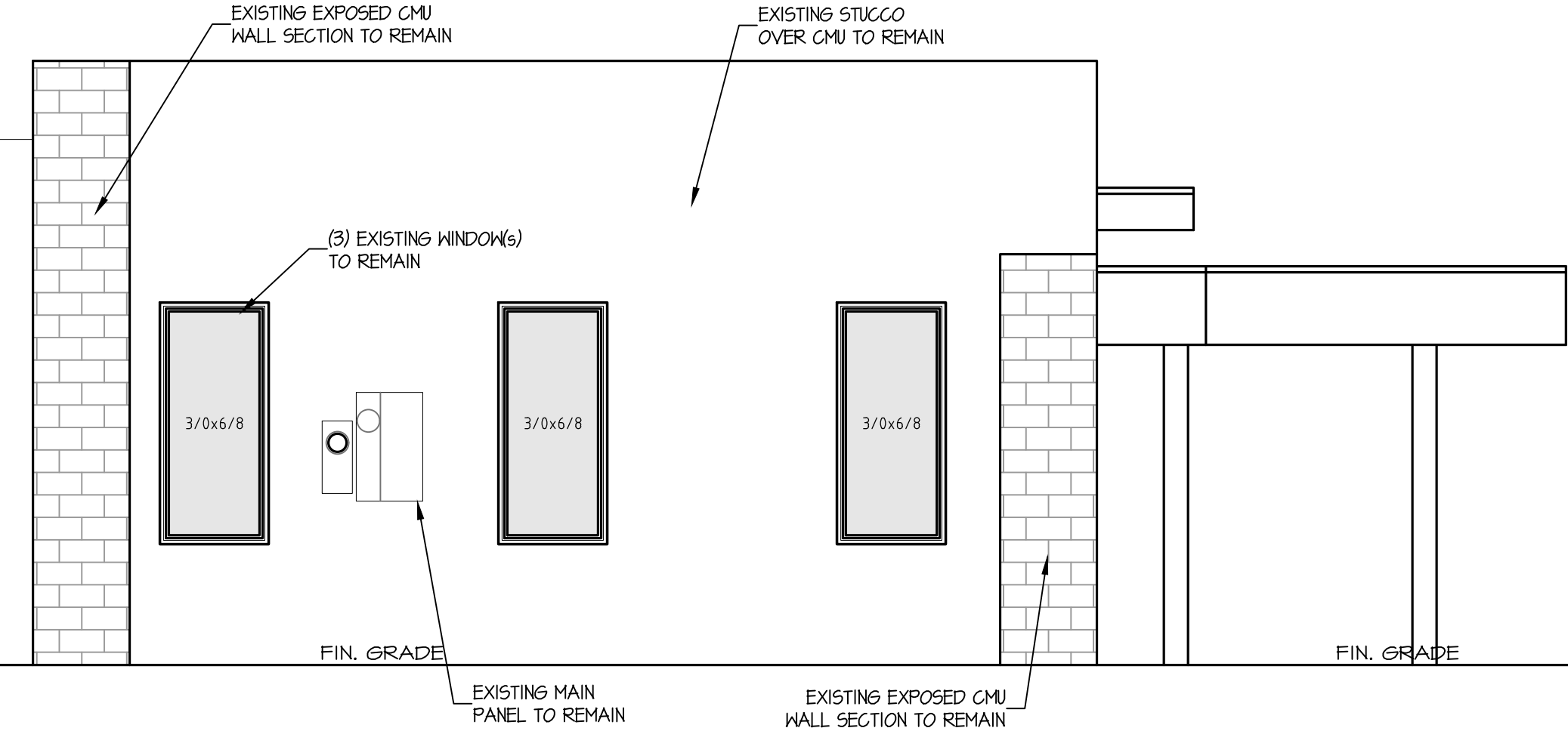
DATE: 6/18/2025
SCALE: 1/4" = 1'-0"
DRAWN: Art.S.
JOB: 25-004
SHEET: A-2

NORTH

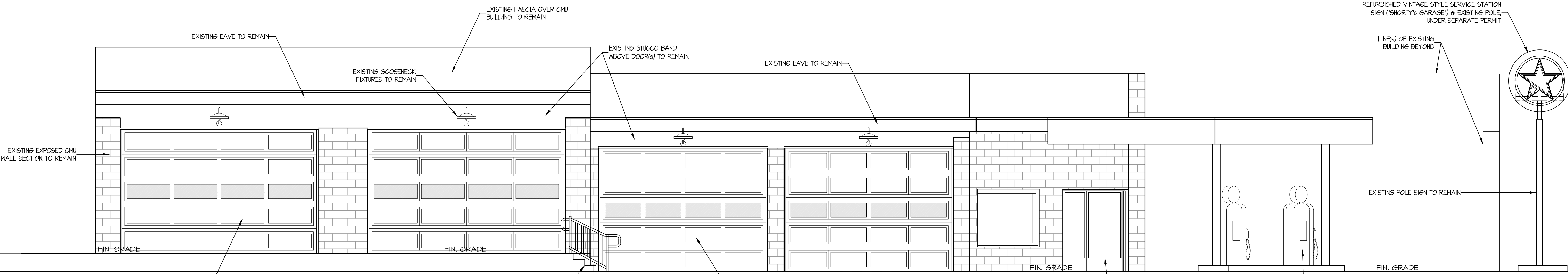
NOTICE: The designs and ideas indicated by these drawings were created for the use of this project only and are the sole property of Arthur W. Strickler, Designer. These designs may not be used for any other purpose whatsoever or reproduced without the written consent of Arthur W. Strickler & Jonathan L. Zane, Architect.



EXISTING RIGHT SIDE (WEST) ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING LEFT SIDE (EAST) ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING FRONT (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS	
DATE:	BY:

A.W. STRICKLER DESIGN
IN COOPERATION WITH
Jonathan L. Zane, Architect
California License #C-11046
4838 NORTH LA CACOMA DRIVE
CANTON, CA 92524
(909) 376-5268

PROFESSIONAL ARCHITECT
JONATHAN L. ZANE
NO. C-11046
REN-31-25
STATE OF CALIFORNIA

DATE: 1/02/2025
SUBMITTALS
DATE: 1/02/25
PHASE
1st ck-BLDG

APPLICABLE CODES:
2022 C.B.C. 2022 C.P.C.
2022 C.F.C. 2022 C.E.C.
2022 CalGreen
2022 California Energy Code
All new work shall comply with listed codes and all current local and state amendments.

A Tenant Improvement For:
"Shorty's Garage"
LOCATED AT:
6905 Palm Ave.
Highland, CA
92346-4902

DATE: 6/18/2025
SCALE:
DRAWN: Art.S.
JOB: 25-004
SHEET: **A-3**

ATTACHMENT 4

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior is responsible for establishing professional standards and providing advice on the rehabilitation and protection of all cultural resources listed in or eligible for listing in the National Register of Historic Places.

The Secretary of the Interior's Standards for Treatment of Historic Properties apply to all proposed development grant-in-aid projects assisted through the National Historic Preservation Fund, and are intended to be applied to a wide variety of resource types, including buildings, sites, structures, objects and districts. These Standards, developed in 1992, were codified as 36 CFR Part 68 in the July 12, 1995, Federal Register (Volume 60, No. 133). They replace the 1978 and 1983 versions of 36 CFR 68 entitled, "The Secretary of the Interior's Standards for Historic Preservation Projects."

The Secretary of the Interior's Standards for the Treatment of Historic Properties may be used by anyone planning and undertaking work on historic properties, even if grant-in-aid funds are not being sought. It should be noted that another regulation, 36 CFR Part 67, focuses on "certified historic structures" as defined by the IRS Code of 1986. The "Standards for Rehabilitation" cited in 36 CFR 67 should always be used when property owners are seeking certification for federal tax benefits.

Rehabilitation:

The act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

Standards for Rehabilitation:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

NOTE:

When repair and replacement of deteriorated features are necessary; when alterations or additions to the property are planned for a new or continued use; and when its depiction at a particular period of time is not appropriate, Rehabilitation may be considered as a treatment. Prior to undertaking work, a documentation plan for Rehabilitation should be developed.

ATTACHMENT 5

Findings of Fact & Conditions of Approval

**CERTIFICATE OF APPROPRIATENESS
FINDINGS OF FACT**

Date: October 2, 2025
Applicant: VooDoo Nation, LLC
File/Index: COA-25-011
Proposal: Certificate of Appropriateness No. 25-01 a proposed change of use from a Automotive Repair use to an Art Studio with a accessory retail sales and exterior modification to the structure and site.
Location: 6905 Palm Avenue., Highland. Assessor's Parcel No. 1200-351-07

The Historic and Cultural Preservation Board shall make the following Findings of Fact prior to approval of the application:

1. With regard to a designated resource, the proposed work will neither adversely affect the significant architectural features of the designated resource nor adversely affect the character of historical, architectural, or aesthetic interest or value of the designated resource and its site.

The proposed change of use for 6905 Palm Avenue from an auto repair use to an art studio with accessory retail sales, along with proposed modifications to the structure and site, will not adversely affect the significant architectural features or the historical, architectural, or aesthetic character of the property. The project, in alignment with the Secretary of the Interior's Standards for Rehabilitation, involves minor exterior changes including the replacement of deteriorated garage doors with in-kind materials, infill of non-original side doors, and installation of decorative, non-functional fuel pumps in historically appropriate locations. These modifications retain the property's distinctive materials, industrial character, and spatial relationships. Although the property is a non-contributing structure within the Historic District, the proposed adaptive reuse is compatible with the surrounding context and supports the continued revitalization of the district. The art studio and retail component is expected to attract additional pedestrian activity and cultural engagement, which will help boost visibility and sales for adjacent businesses within the Historic Business District, further enhancing the area's economic vitality and community presence.

2. With regard to any property located within a Historic District, the proposed work conforms to the prescriptive standards and design guidelines for the District adopted by the Board and does not adversely affect the character of the district.

The proposed change of use for 6905 Palm Avenue from an auto repair facility to an art studio with accessory retail sales conforms to the prescriptive standards and design guidelines adopted by the Historic and Cultural Preservation Board for the Highland Historic District. While the property is identified as a non-contributing resource, the proposed improvements are consistent with the Village Commercial development pattern and respect the historic character of the district. The minor exterior alterations—such as in-kind replacement of roll-up garage doors and

installation of decorative, non-functional fuel pumps are compatible with the building's historic use and surrounding neighborhood. No new construction or incompatible additions are proposed, and the project maintains the site's existing orientation, scale, and materiality. As such, the project supports the district's overall character and integrity while facilitating the adaptive reuse of a long-standing commercial structure.

3. In the case of construction of a new improvement, addition, building, or structure upon a designated cultural resource site, the use and exterior of such improvements will not adversely affect and will be compatible with the use and exterior or existing designated cultural resources, improvements, buildings, natural features, and structures on said site.

The proposed project at 6905 Palm Avenue does not include the construction of any new primary buildings or substantial additions. All proposed improvements are limited to minor exterior modifications to an existing non-contributing structure within the Highland Historic District. These changes, including in-kind replacement of deteriorated garage doors, selective infill of side openings, and installation of decorative, non-functional fuel pumps, are compatible with the existing building's industrial character and scale. The improvements respect the architectural language of the original auto-related use and do not introduce features that conflict with the surrounding historic context. As such, the proposed work maintains compatibility with the site and adjacent contributing resources and will not negatively affect the integrity of the designated cultural resource site.

**CERTIFICATE OF APPROPRIATENESS
CONDITIONS OF APPROVAL**

Date: October 2, 2025
Applicant: VooDoo Nation, LLC
File/Index: COA 25-011
Proposal: Certificate of Appropriateness (COA 25-011) for the proposed change of use at 6905 Palm Avenue from an auto repair use to art studio use with accessory retail sales and exterior modifications to the structure and site.
Location: 6905 Palm Avenue, Highland, CA 92346
Assessor's Parcel No. 1200-351-07

The CERTIFICATE OF APPROPRIATENESS Application has been conditionally approved subject to the compliance with the requirements as specified below:

1. This CERTIFICATE OF APPROPRIATENESS shall become null and void:
 - a. Unless all conditions have been complied with and occupancy or use of the land or existing structures authorized by Certificate of Appropriateness (COA 25-011) has taken place within twelve (12) months after the approval of said Certificate of Appropriateness.
 - b. Where circumstances beyond the control of the Applicant cause delays which do not permit compliance with the time limitation established in this Section, the Historic and Cultural Preservation Board may grant an Extension of Time for a period of not to exceed an additional twelve (12) months. Applications for an extension of time must set forth, in writing, the reasons for granting an extension, and shall be filed together with a fee as established by the City Council, with the Planning Division thirty (30) calendar days prior to the expiration of Certificate of Appropriateness (COA 25-011).

NOTE:

All required on-site and off-site improvements, shall be completed and approved prior to final inspection of any building or structure.

The conditions listed below are continuing conditions; failure of the Applicant to comply with any/all conditions at any time, shall result in initiating revocation of the subject permit granted to use the property.

PLANNING CONDITIONS

2. Certificate of Appropriateness (COA 25-011) for the proposed change of use at 6905 Palm Avenue from an auto repair use to art studio use with accessory retail sales and exterior modifications. Said modifications includes the following: Construction of nine (9) new on-site parking spaces & one (1) ADA-accessible stall, installation of an improved parking surface material consistent with City standards, replacement of four

- (4) existing roll-up garage doors with new wood-framed roll-up doors featuring glass panels, installation of non-functional fuel pumps, replacement of the primary entry with new solid wood double doors featuring full-height glazing and installation of a new exterior stairway along the front elevation as a result of proposed grading modifications. All work shall be completed in accordance with the Secretary of the Interior's Standards for Rehabilitation and shall comply with all applicable provisions of the Highland Municipal Code.
3. The subject property shall be developed in accordance with plans approved by the Historic and Cultural Preservation Board on October 2, 2025 and shall be in compliance with all conditions of approval contained herein.
 4. Prior to the issuance of any applicable permits, the Applicant/Owner of the property shall submit to the Planning Division written evidence of agreement with all conditions of this approval.
 5. The owner/applicant shall obtain all required permits from the Planning Division, and Building and Safety Divisions.
 6. Revisions, and/or modifications to the approved materials shall be submitted to the Planning Division for review and approval. Revisions, modifications and/or deletions may require additional review by the Historic and Cultural Preservation Board, as determined by the Community Development Director.
 7. If further exterior modifications are necessary per the Building & Safety review, a supplemental Certificate of Appropriateness application and Historic Board review will be required.
 8. Indemnity, Duty to Defend and Obligation to Pay Judgments and Defense Costs, Including Attorneys' Fees, Incurred by the City. The Applicant shall defend, indemnify, and hold harmless the City, its elected officials, officers, employees, volunteers, agents, and those City agents serving as independent contractors in the role of City officials (collectively "Indemnitees") from and against any claims, damages, actions, causes of actions, lawsuits, suits, proceedings, losses, judgments, costs, and expenses (including, without limitation, attorneys' fees or court costs) in any manner arising out of or incident to the Planning Commission's actions, the City Council's actions, related entitlements, or the City's environmental review thereof. The Applicant shall pay and satisfy any judgment, award or decree that may be rendered against City or the other Indemnitees in any such suit, action, or other legal proceeding. The City shall promptly notify the Applicant of any claim, action, or proceeding and the City shall reasonably cooperate in the defense. If the City fails to promptly notify the Applicant of any claim, action, or proceeding, or if the City fails to reasonably cooperate in the defense, the Applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City or the Indemnitees. The City shall have the right to select counsel of its choice. The Applicant shall reimburse the City, and the other Indemnitees, for any and all legal expenses and costs incurred by each of them in connection therewith or in enforcing the indemnity herein provided. Nothing in this condition shall be construed to require the Applicant to indemnify Indemnitees for any

claim arising from the sole negligence or willful misconduct of the Indemnitees. In the event such a legal action is filed challenging the City's determinations herein or the issuance of the approval, the City shall estimate its expenses for the litigation. The Applicant shall deposit the said amount with the City within thirty days of being notified of the estimate cost or, at the discretion of the City, enter into an agreement with the City to pay such expenses as they become due.



Staff Report

to the Historic & Cultural Preservation Board/Appeals Board

Agenda
Item
No.3.

Date: November 13, 2025
From: Lawrence Mainez, Community Development Director
Prepared By: Angela Tafolla, Senior Planner
Subject: Preparation for the 28th Annual Citrus Harvest Festival

Recommendation:

Staff recommends the Historic and Cultural Preservation Board review and provide direction on key logistics for the Festival.

Fiscal Impact:

The Festival Account has a balance of \$444.45. Separately, the Home Tour Account has a balance of \$1,639.91. All expenses from the past year have been paid. Attached is the 2026 Citrus Harvest Festival Draft Budget.

Public Notice:

The agenda for this item was posted at the three locations per Resolution No. 2011-047 and on the City's website.

Background:

Project Review:

At its October 16, 2025 meeting, the Highland City Council approved the event date of March 28, 2026, along with the event budget. During the meeting, Council Member Saldana recommended placing an event banner on the west side of the City to help promote the event. He also offered the fence line at his personal business, Showcase Auto Glass (26411 Base Line), as a potential location for the banner. Staff added a line item in the budget to purchase the banner.

Staff recommends the board review and provide direction on the following aspects of the 28th Annual Citrus Harvest Festival:

1. Entertainment – **Unassigned**
 - Entertainment Schedule – Discuss car show timings.
 - Festival Honoree – Discuss possible candidates. Board member Bible suggested Pam Miller while Staff recommended Brett Waterman.
 - Good Neighbor Award – Discuss possible candidates.
 - Discuss Highland Music Co. as band and emcee.

2. Car Show – Board Member, Jeff Staggs

3. Home & Walking Tour – Board Member, Gail Shelton

- Discuss number of tours and times

4. Marketing – **Unassigned**

- Discuss installation of an additional banner as requested by Council member Saldana. The Board should decide size, posting location and content.
- Twisted Images Ink has confirmed they can produce a banner under 50 square feet, within a suggested total budget of \$250. Examples include sizes such as 5'x9', 3'x12', or 4'x10'.
- The Board should consider size, visibility, and location in determining how to best maximize the \$250 allocation.

Attachments:

1. 2026 CHF Contest
2. 2026 Draft CHF Entertainment Schedule
3. 2026 Budget
4. Map of 2026 Citrus Harvest Festival
5. List of Prior Festival Honorees
6. List of Prior Good Neighbor Award Recipients

ATTACHMENT 1

2026 CHF Contests

CONTEST	CATAGORIES	NO. WINNER (TOTAL)	PRIZE
COLORING	Pre-5 & K	1 st , 2 nd , & 3 rd place for each grade (2x3 = 6 total)	Ribbon & Prizes for all (6)
POETRY	Grades 1-3	1 st , 2 nd , & 3 rd place for each grade (3x3 = 9 total)	Ribbon & Prizes for all (9)
CITRUS LABEL	Grades 4-12	1 st , 2 nd , & 3 rd place for each grade (9x3 = 27 total)	Ribbon & Prizes for all (27)
BAKING	1. Cake/Cupcake/Bread/Muffin 2. Cookie/Bar 3. Pie/Tart 4. Jam/Jelly	Adults – 1 st , 2 nd , & 3 rd place for each category (12 total) Kids – 1 st , 2 nd , 3 rd (No Jams) (9 total)	Ribbon for all (21) Prizes for 1 st place only
GOOD NEIGHBOR AWARD	1-Best Landscaping 1-Best Restoration	(2 total)	Plaques (2)
UGLY DOG	1-Ugliest	1 st place, 2 nd & 3 rd (3 total)	Ribbons (3)
PIE EATING	1 – ages 5-11 1 – ages 12-18	1 st place (2 total)	Ribbons (2)

ATTACHMENT 2

2026 Draft CHF Entertainment Schedule

DRAFT EVENT SCHEDULE

2026 HIGHLAND CITRUS HARVEST FESTIVAL

- 10:10 am Highland Senior Center Aerobics Club
- 10:50 am St. Adelaide Academy Cheerleaders/Band - ?
- [11:00 am Aztec Dancers performing at Main Street & Palm Avenue]
- 11:20 am Baking Contest Winners Announced
- 11:30 am Art Contests. Coloring, Poetry, Citrus Label Winners Announced
- 11:50 am Band
- 12:30 pm Presentation of Festival Honoree
- 12:45 pm Band
- 1:30 pm Best Neighbor Awards Announced
* Best Historic District Landscaping Restoration –
* Best Historic Home Restoration –
- 1:45 pm Car Show Trophies Awarded
- 2:00 pm Ugly Dog Contest
- 2:15 pm Pie Eating Contest
- 2:30 pm Ballet Folklorico Cultural - ?

ATTACHMENT 3

2026 Budget

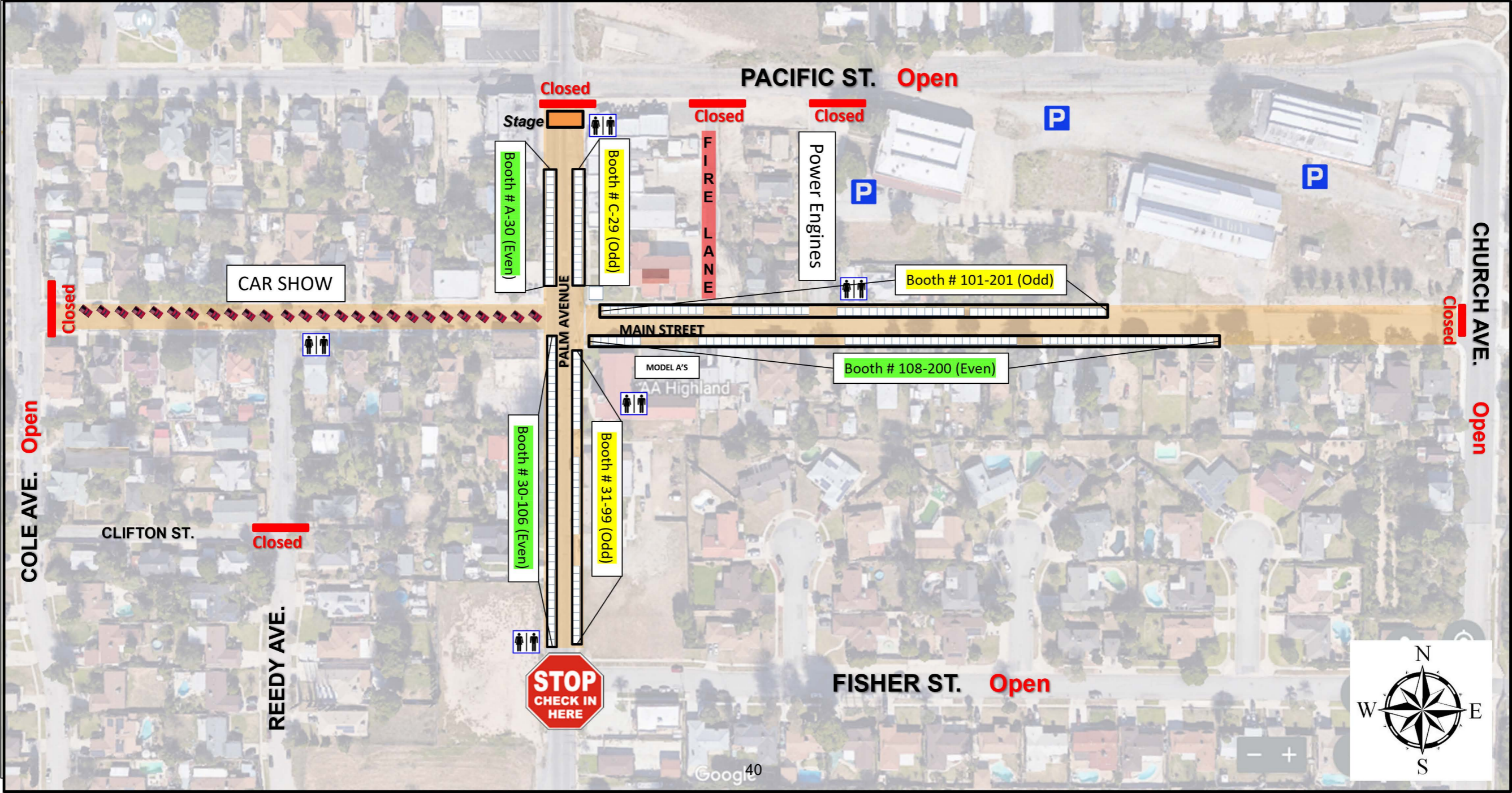
2026 CHF Budget

Item/Description	2025 Budget	2025 expenditures	2026 Budget
Advertising - Redlands Daily Facts / SB Sun	1,250.00	1,250.00	1,250.00
Advertising - East Highlands Ranch Newsletter	700.00	680.00	700.00
Peach Jar School District Electronic Newsletter	500.00	450.00	-
Hot 103.9 Radio Advertisement	1,400.00	1,250.00	-
Facebook/Instagram Meta Ads Manager			1,000.00
Historic Demonstrators/Exhibitors (5 x \$200 ea) (2 x \$300 WAPA/ Heritage Hills)	1,700.00	1,750.00	1,750.00
Entertainment DJ & MC	1,500.00	1,700.00	1,700.00
Citrus Valley Music Boosters & Beattie Middle School	250.00	-	500.00
Balloons street decorations	1,250.00	1,207.00	1,250.00
Insurance	1,800.00	1,717.00	1,800.00
Hanging Banner - West end of town (new)	-	-	250.00
Street Banner over Base Line (date modification) (replacement banner)	-	-	1,200.00
Portable toilets - add wash stations to all 4 locations for 2026 CHF	2,500.00	1,041.00	2,000.00
Posters Boards, Flyers, print marketing materials	600.00	200.00	300.00
Mobile Stage (rental)	1,100.00	1,143.00	1,420.00
Paper materials, copying, postage	500.00	250.00	250.00
Tables w/ umbrella & chairs for food court & stage area	800.00	740.00	900.00
Signs for parking & festival activities	-	-	-
Contest ribbons (126) & Plaques (1 Honorees + 2 Home Restoration)	550.00	117.82	550.00
Kid's activities	300.00	350.00	400.00
Miscellaneous supplies	400.00	496.00	500.00
Staff shirts (2 x \$25)	50.00	-	-
Contest materials	300.00	398.84	300.00
Car show dash plaques	570.00	687.88	700.00
TOTAL	\$ 18,020.00	\$ 15,428.54	\$ 18,720.00

Festival Revenue	Projected	Received	Projected
Sponsorship	12000.00	9800.00	12000.00
Retail vendor Booth spaces	3500.00	3000.00	3500.00
Food vendor booth spaces	2600.00	3400.00	3500.00
TOTAL	\$ 18,100.00	\$ 16,200.00	\$ 19,000.00

ATTACHMENT 4

Map of 2025 Citrus Harvest Festival



PACIFIC ST. **Open**

Closed

Closed

Closed

Stage

Booth # A-30 (Even)

Booth # C-29 (Odd)

FIRE LANE

Power Engines

Booth # 101-201 (Odd)

CAR SHOW

MAIN STREET

Booth # 108-200 (Even)

MODEL A'S

AA Highland

Booth # 30-106 (Even)

Booth # 31-99 (Odd)

CLIFTON ST.

Closed

REEDY AVE.

STOP
CHECK IN
HERE

FISHER ST. **Open**

COLE AVE. **Open**

CHURCH AVE. **Open**



ATTACHMENT 5

List of Prior Festival Honorees

Citrus Harvest Festival Honorees

- 2004 Kay Beattie
- 2005 Kim Clinton Adams Wilson
- 2006 Jo Meade
- 2007 Rick Hartmann
- 2008 Don & Elizabeth Kiel
- 2009 Bill Calvert
- 2010 George & Pauline Murillo
- 2011 Bud & Margaret Wright
- 2012 Laurie Frymire, Dennis Johnson, & Ross Jones
- 2013 Arnott Family
- 2014 Kim Stater (**Chamber Sponsored Festival**)
- 2015 Charles Kiel (**Chamber Sponsored Festival**)
- 2016 Nancy Alexander
- 2017 Charles Roberts
- 2018 Jodi Scott & Margaret Hill
- 2019 Curtis Allen
- 2022 San Manuel Band of Mission Indians
- 2023 Sam Racadio & Highland Community News (Hector Hernandez)
- 2024 Pamela Bible
- 2025 Bauer Pottery – Janek Boniecki
- 2026 TBD

ATTACHMENT 6

List of Prior Good Neighbor Award Recipients

Good Neighbor Award Winners

2022

- Most improved landscaping – Pythian
- Most improved property – Highland Community Cross Church

2023

- Best Exterior Restoration – Highland Community Cross Church
- Best Exterior Restoration – 27180 Pacific Street
- Best Landscaping – Highland Baptist Temple
- Best Landscaping – 27417 Main Street

2024

- Best Landscaping – 6986 Church Ave.
- Best Exterior Restoration – Shorty's Garage – 6905 Palm Ave.

2025

- Best Landscaping - 27206 Nona
- Best Exterior Restoration - 6676 Cole Ave.

2026

- TBD



Staff Report

to the Historic & Cultural Preservation Board/Appeals Board

Agenda
Item
No.4.

Date: November 13, 2025
From: Lawrence Mainez, Community Development Director
Prepared By: Angela Tafolla, Senior Planner
Subject: A status of Certificate of Appropriateness Applications for properties within the Highland Historic District.

Recommendation:

Staff recommends the Historic and Cultural Preservation Board receives and file Staff's report.

Fiscal Impact:

There is no fiscal impact related to this Project other than City Staff's time to research the individual projects/properties and to prepare the Report.

Public Notice:

The agenda for this item was posted at the three locations per Resolution No. 2011-047 and on the City's website.

Background:

Description of Site:

The City's Historic District consists of 102 contributing properties and 32 noncontributing properties and is generally bounded by Nona Avenue to the north, Church Avenue to the east, Clifton Avenue to the south and Orange Street to the west. All 134 properties within the Historic District were considered when reviewing Certificate of Appropriateness projects.

Project Review/Analysis:

Attachment 1 includes a table of approved Certificates of Appropriateness which have not yet been completed or are partially completed.

Attachments:

1. Certificate of Appropriateness Log

Certificate of Appropriateness Applications Not Yet Completed

File Number	Address	Description of Project	Approved	Expires	Status
COA 23-005	6956 Palm Avenue	Bank Building re-roof and waterproofing	10/25/23		<i>Approved. Permit issued on 11/01/23. Temp power issued 1/2024. 2/25/25 2nd plan check submitted for structural observation report. 3/3/25 completed framing and roof support.</i>
COA 24-004	27268 Main St.	Garage reconstruction & Addition	8/15/24		<i>Received 6/03/2024 HCPB Approved on 8/15/2024. Building & Safety 1st Plan check submitted on 10/11/24. Corrections picked up by applicant on 11/6/24. Applicant is working on corrections met with staff on 7/8/25. No Change to report.</i>
COA-25-001	6944 Palm Ave.	Olov Lindberg - Old Fire Station building Seismic retrofit	2/6/25	2/6/26	<i>Received 1/7/25 HCPB Approved on 2/6/25. No Building & Safety activity to date. No Change to report.</i>
COA 25-004	27225 Nona Ave.	Rachel Moore – Solar installation on rear garage	5/01/25	6/1/26	<i>HCPB Approved on 5/1/25 No Building and Safety Activity to date. No Change to report.</i>
COA 25-011	6905 Palm Ave.	VooDoo Nation (Shorty's Garage) – Change of Use			<i>Received 8/14/25. HCPB continued from 10/2/25 to 11/6/25.</i>

COA 25-012	27171 Pacific St.	Detached storage room conversion to ADU.			<i>Received 10/1/25. Pending plan corrections. HCPB not yet scheduled.</i>
COA 25-013	6955 Palm Ave.	Request to remove Church bell tower.			<i>Received 10/1/25. HCPB scheduled for 11/6/25.</i>