



City of Highland

Patrick Sandford, Chair

Pamela Bible, Vice Chair

Gail Shelton, Member

Jeffrey Staggs, Member

Hugh Walker, Member

Historic and Cultural Preservation Special Meeting Agenda

December 4, 2025 at 5:00 PM

City Hall Donahue Council Chambers | 27215 Base Line, Highland CA 92346

Staff

Lawrence A. Mainez, Community Development Director

Kim Stater, Assistant Community Development Director

Angela Tafolla, Senior Planner

Camille Duarte, Administrative Assistant III

Mission Statement

Highland is dedicated to the betterment of the individual, the family, the neighborhood and the community. The City Council and the staff of Highland are dedicated to providing the quality of public facilities and services that its citizens are willing to fund and will do so as efficiently as possible.

In compliance with the Brown Act, any writings or documents provided to a majority of the legislative body regarding any item on this agenda, that are not exempt from disclosure under the California Public Records Act, will be made available for public inspection at City Hall, 27215 Base Line Highland, CA 92346, during normal business hours. Such documents will also be made available on the City's website at www.cityofhighland.org.

In compliance with the Americans with Disabilities Act (ADA), if you need special assistance, please contact the City Clerk's office at (909) 864-6861, ext. 226, at least 72 hours prior to the meeting for any requests for reasonable accommodations, including interpreters.

Levine Act: Pursuant to Government Code Section 84308, any party to a City proceeding must disclose on the record any campaign contributions made to a member of the City Council (or commission) in excess of \$500 in the past 12 months. This disclosure requirement includes contributions by the party's agent and aggregated contributions from persons or entities related to the party. Please make the disclosure as soon as possible, but no later than the beginning of the proceeding.

Call to Order

Pledge of Allegiance

Public Comment

To address the Historic and Cultural Preservation Board, please complete a speaker form located at the entrance and give it to the Administrative Assistant prior to the beginning of the meeting. Your name will be called when it is your turn to speak. Individual speakers are limited to 3 minutes each. For those wishing to make public comments by email, please submit your comments by 5:00 p.m. on December 4, to publiccomment@cityofhighland.org. If you are submitting a public comment pertaining to an item on the agenda, please identify the agenda item number.

Business Items

1. Certificate of Economic Hardship by Community Cross Church requesting the reconsideration of Certificate of Appropriateness (COA 25-031) permitting the demolition of an existing church bell tower at a non-contributing religious institution located at 6955 Palm Avenue. Assessor's Parcel Number 1200-351-31.

Approve a Certificate of Economic Hardship to Community Cross Church permitting removal of a church bell tower. The Board hereby finds that the demolition/removal of the tower cannot be rehabilitated in a manner which would allow a reasonable use of or return from the property to the property owners (HMC 16.32.090.E)

2. Preparation for the 28th Annual Citrus Harvest Festival

Staff recommends the Historic and Cultural Preservation Board review and provide direction on key logistics for the Festival.

3. Certificate of Appropriateness No. 25-012 to allow the conversion of an approximately 892 square foot non-contributing garage to a detached Accessory Dwelling Unit (ADU) on a site with a contributing Historic District residence.

1. Approve COA 25-012, for the conversion of an approximately 892 square foot non-contributing garage to a detached Accessory Dwelling Unit (ADU), subject to Conditions of Approval, and;

2. Adopt the Findings of Fact.

Announcements

Adjourn

Certification

I, Camille Duarte, Administrative Assistant, or my designee, hereby certify that the foregoing agenda was posted on our website at www.cityofhighland.org and in the following designated areas: Highland Branch Library (7863 Central Avenue), Fire Station No. 1 (26974 Base Line), and City Hall (27215 Base Line) at least seventy-two (72) hours prior to the meeting per Government Code Section 54954.2.



Staff Report

to the Historic & Cultural Preservation Board/Appeals Board

Agenda
Item
No.1.

Date: December 4, 2025

From: Lawrence Mainez, Community Development Director

Prepared By: Kim Stater, Assistant Community Development Director

Subject: Certificate of Economic Hardship by Community Cross Church requesting the reconsideration of Certificate of Appropriateness (COA 25-031) permitting the demolition of an existing church bell tower at a non-contributing religious institution located at 6955 Palm Avenue. Assessor's Parcel Number 1200-351-31.

Recommendation:

Approve a Certificate of Economic Hardship to Community Cross Church permitting removal of a church bell tower. The Board hereby finds that the demolition/removal of the tower cannot be rehabilitated in a manner which would allow a reasonable use of or return from the property to the property owners (HMC 16.32.090.E)

Fiscal Impact:

There is no fiscal impact to the City related to the subject proposal. The Applicant will be subject to the applicable Building & Safety permit fees to demolish the feature.

Public Notice:

The agenda for this item was posted at the three locations per Resolution No. 2011-047 and on the City's website.

Background:

On November 20, 2025, the Historic and Cultural Preservation Board (Board) denied Certificate of Appropriateness (COA 25-013) to demolish a bell tower at the Highland Community Cross Church, noting that the architectural feature was prominent and significant to the spatial relationship of the Church to its neighborhood and the streetscape along Palm Avenue (Attachment 1 - HCPB Staff Report dated November 20, 2025).

On November 21, 2021, the Church applied for a Certificate of Economic Hardship, a process available when an applicant feels that the denial of a COA will cause an immediate extreme hardship and the damage to them is unreasonable in comparison to the benefit conferred to the community. The Church provided proof of the hardship and additional background information, including a cost estimate to retain the tower from a licensed engineer outlining the necessary work to keep the tower, assessed value of the church, and ownership (Attachment 2 - Economic Hardship Justification).

The cost estimate to remove and rebuild the bell tower ranges from \$118,500 to \$167,500 plus \$10,000 to \$20,000 for related electrical, mechanical, plumbing, drainage, re-framing, re-roofing, and waterproofing. The current assessed value of the church is \$197,643. The cost to

rebuild the tower could exceed the total value of the church. The church is a registered non-profit organization. The congregation does not have the funds available to rebuild the bell tower and the church's insurance provider is mandating a repair or removal to remediate the structural deficiency caused by a 1947 fire. If the Hardship is denied, the church may be forced to sell the building and seek an alternative facility. At the November 20, 2025, meeting, the pastor and congregation members noted the value of the church's religious and social services. They value the structure and its prominent location in the Historic District and will continue to keep the property in good repair and contribute positively to the community and the City's historic goals and objectives.

Attachments:

1. 1. November 20, 2025 Report
2. 2. Hardship Justification

ATTACHMENT 1

HCPB Staff Report, November 20, 2025



Staff Report

to the Historic & Cultural Preservation Board/Appeals Board

Agenda
Item
No.1.

Date: November 20, 2025
From: Lawrence Mainez, Community Development Director
Prepared By: Camille Goritz, Administrative Assistant III
Subject: Certificate of Appropriateness (COA 25-013) a request to remove/demolish an existing church bell tower located on a non-contributing religious institution within the Highland Historic District.

Recommendation:

Staff recommends that the Historic and Cultural Preservation Board deny the applicant's request, Certificate of Appropriateness (COA 25-013) to remove the existing bell tower on a non-contributing religious institution.

Fiscal Impact:

The City Council adopted a fee schedule whereby no fee will be collected for a Certificate of Appropriateness. The cost to the City is time and materials for preparation of the Staff Report and advertisement.

Public Notice:

The agenda for this item was posted at the three locations per Resolution No. 2011-047 and on the City's website.

Background:

Public Notice:

As required by City Council Resolution, notice of the public meeting was posted at three (3) designated posting locations within the City. In addition, the notice was posted on the City's website and mailed to the surrounding property owners. No further notice is required.

Public Comment:

Staff has not received any public comments at the time of preparing this staff report.

Description of Site:

The subject property is the Highland Community Cross Church, located at the southeast corner of Palm Avenue and Main Street, within the Highland Historic District (Attachment 1 – Area Map). The lot is approximately 0.5 acres in size and contains the church building along with associated parking and landscaped areas.

The church was originally constructed in 1886 by the Highland Congregational Church at the corner of Church Street and Base Line. In 1905, the building was relocated to its current site and underwent significant alterations. Architect Arthur B. Benton, who designed both the First Bank of Highland at the southwest corner of Palm Avenue and Main Street and the Mission Inn

in Riverside, prepared plans for the addition. As part of the relocation, the building was rotated 90 degrees, and a new sanctuary was constructed perpendicular to the original structure. The earlier church building was remodeled into Sunday School rooms.

The remodeled church featured shingle cladding and was distinguished by a tall tower with a pointed, four-sided roof topped by a large finial. The entrance porch included a medium gable roof and visible structural elements, reflecting the design of early twentieth-century Episcopal churches inspired by vernacular English Gothic architecture.

On January 23, 1947, the church suffered heavy fire damage due to an electrical fire. While the structure was repaired, it was also extensively remodeled during that time, including the modernization of the tower. The current architectural appearance of the building reflects the 1947 remodel.

Due to the loss of original architectural features and materials during the fire reconstruction, the building has been classified as a non-contributing resource within the Highland Historic District (Attachment 2 – Photos).

Project Review:

The Applicant is requesting approval of a Certificate of Appropriateness (COA 25-013) for the removal of the existing bell tower from the Highland Community Cross Church, located at the southeast corner of Palm Avenue and Main Street. The bell tower is a structural element integrated into the church building and is situated above the primary entrance. The request includes demolition of the bell tower due to long-term structural deterioration and the financial burden associated with its repair and ongoing maintenance (Attachment 3 – Highland Community Cross Church of the Nazarene Project Description and Justification). The Applicant has submitted a structural observation report and narrative outlining the condition of the tower and the justification for removal based on costs and feasibility (Attachment 4 – Engineering Observation Report).

Visual simulations have also been provided to show the church with and without the bell tower from various vantage points along Palm Avenue (Attachment 5 – Before and After Visual Simulation Photos). No replacement element or architectural feature is proposed as part of this request.

Analysis:

Although the Highland Community Cross Church is classified as a non-contributing structure within the Highland Historic District, the proposed removal of its longstanding bell tower must still be reviewed for its impact on the character of the District as a whole.

According to the Secretary of the Interior's Standards for Rehabilitation, "New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property." Additionally, the Standards note that "the existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture" (Attachment 6 – Secretary of the Interior's Standards for Rehabilitation).

The bell tower has been a documented and defining feature of the site since at least 1905 and remains a recognizable component of the church's presence at the intersection of Palm Avenue and Main Street. Its removal would permanently alter the structure's silhouette and diminish the visual continuity and sense of place within the Historic District.

Staff recommends denial of the request, as the proposal does not align with the preservation goals outlined in the Secretary of the Interior's Standards and would detract from the overall integrity of the District. This recommendation is subject to the Findings of Fact.

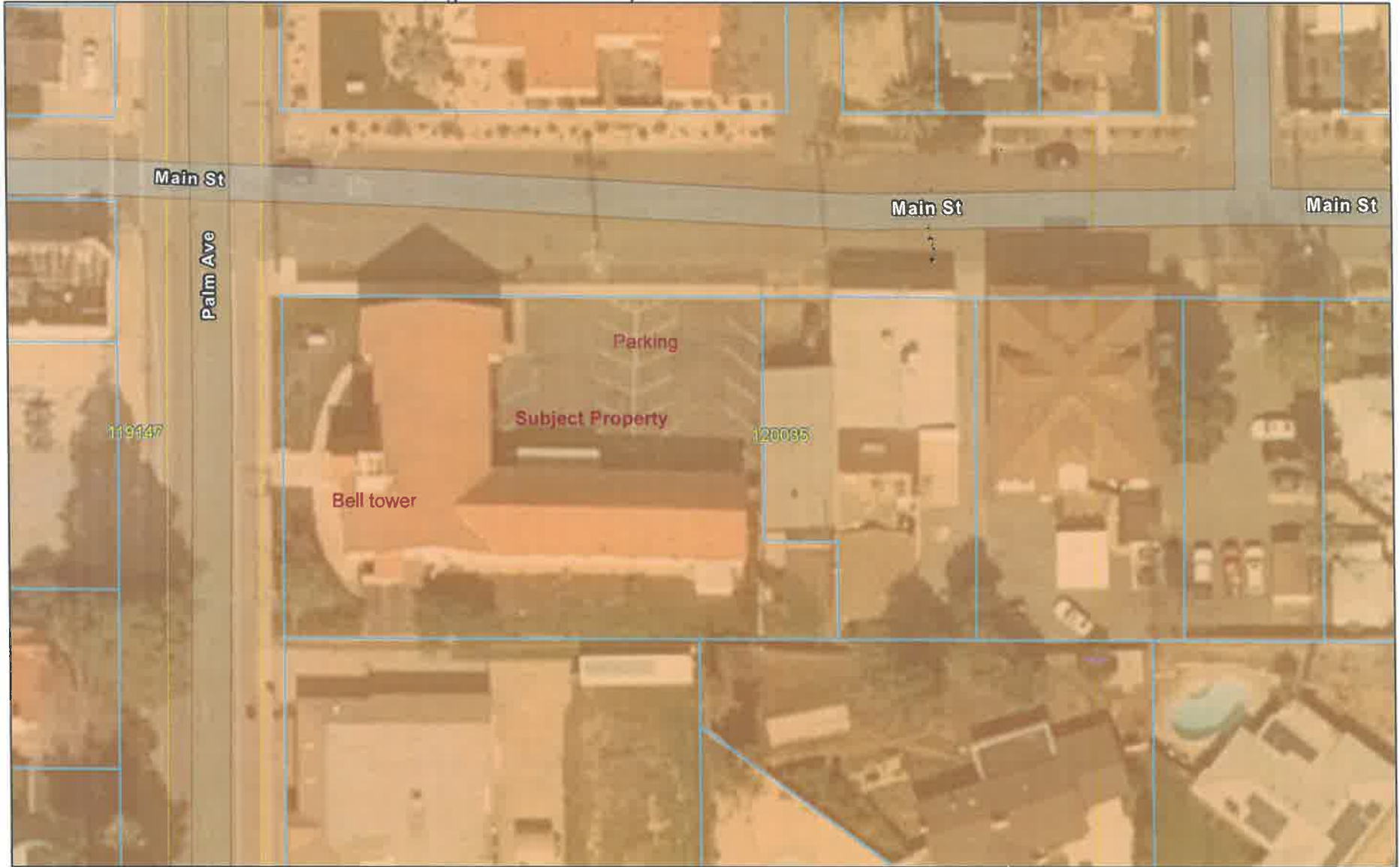
Attachments:

1. Area Map
2. Photos
3. Highland Community Cross Church of the Nazarene Project Description and Justification
4. Engineering Observation Report by the Eden Group
5. Before and After Visual Simulation Photos
6. Secretary of the Interior's Standards for Rehabilitation
7. Findings of Fact

ATTACHMENT 1

Area Map

6955 Palm Avenue, Highland CA 92346
Highland Community Cross Church of the Nazarene

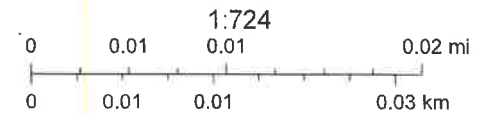


9/12/2025

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- Townships

APN 120-035-131

Owner: Highland Community Cross Church of the Nazarene



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, County of San Bernardino.

Area: 0.51 acre

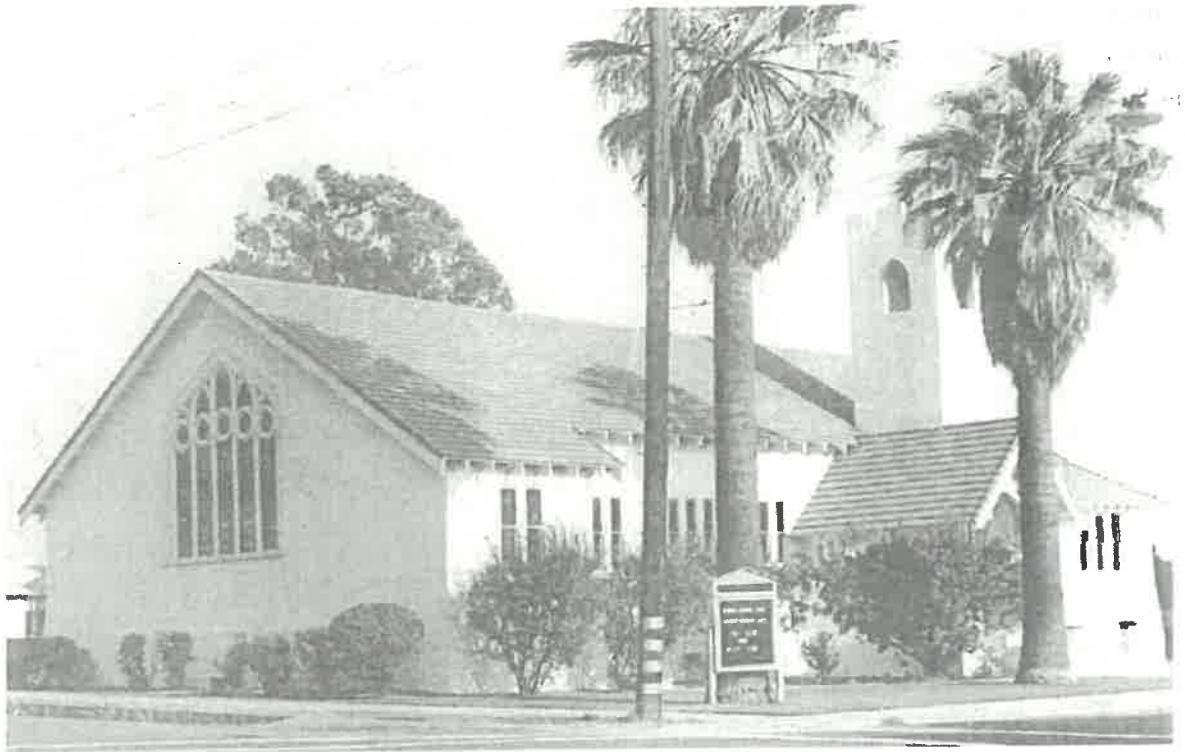
ATTACHMENT 2

Photos

1905

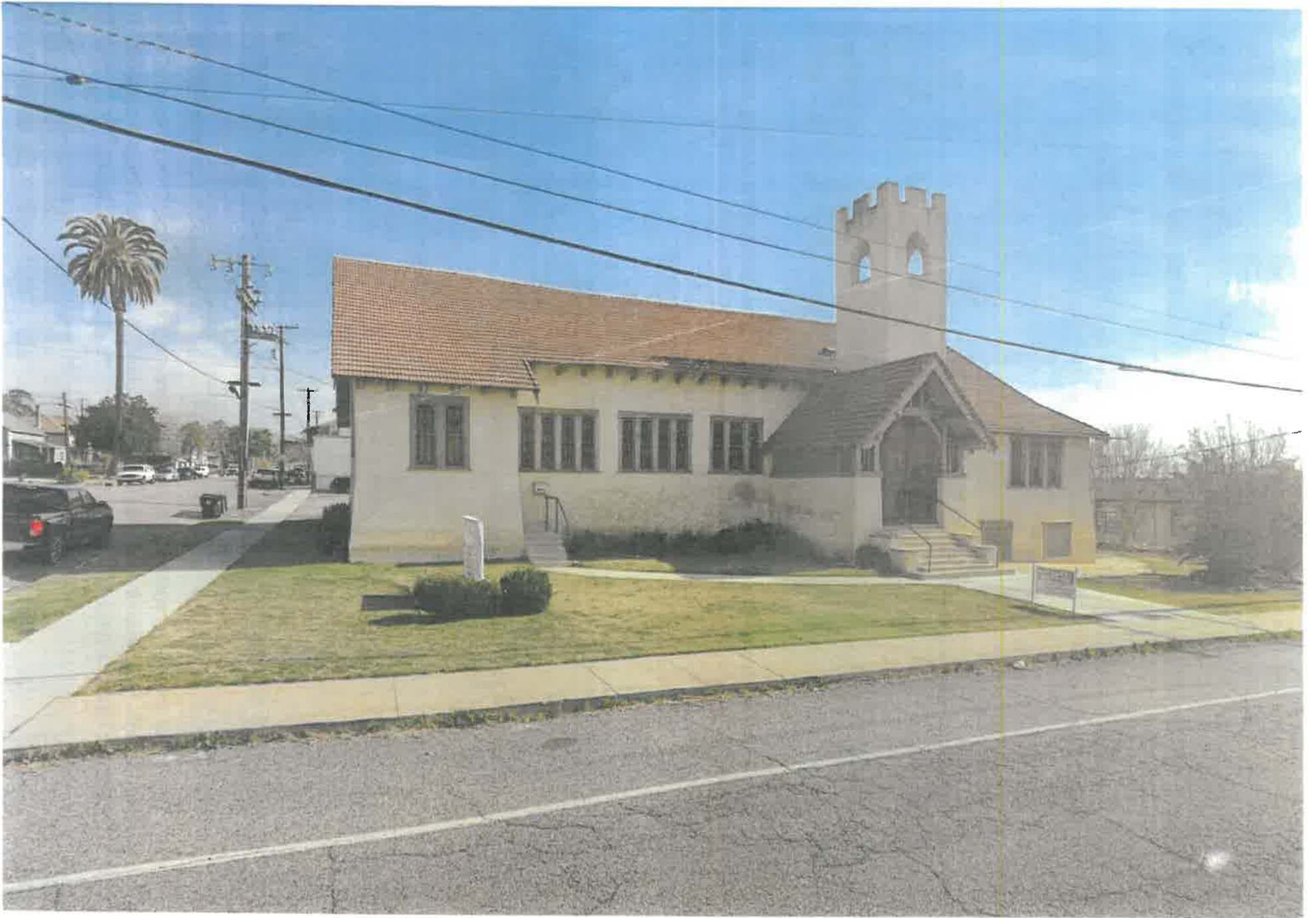


In 1947, an electrical wire caused a fire in the church, and two-thirds of the building burned. Take note of the steeple in this photo and the next.



This is the rebuilt Congregational Church. The Highland Congregational Church occupied this building until 1963, when they moved to their new church building at the northeast corner of Palm and Atlantic Avenues.

Photo courtesy H.C.C. records.



ATTACHMENT 3

Highland Community Cross Church of the Nazarene
Project Description and Justification

HIGHLAND COMMUNITY CROSS CHURCH OF THE NAZARENE

PROJECT DESCRIPTION AND JUSTIFICATION FOR CERTIFICATE OF APPROPRIATENESS

September 23, 2025

Highland Community Cross Church of the Nazarene (HCC) is located at 6955 Palm Avenue in the City of Highland Historic District (HHD). The City of Highland Development Code (2.20.090.G) requires that the following findings be made for issuance of a Certificate of Appropriateness (COA) for any proposed modification to buildings with the HHD:

1. With regard to a designated resource, the proposed work will neither adversely affect the significant architectural features of the designated resource nor adversely affect the character of historical, architectural, or aesthetic interest or value of the designated resource and its site;
2. With regard to any property located within an historic district, the proposed work conforms to the prescriptive standards and design guidelines for the district adopted by the board, and does not adversely affect the character of the district;
3. In the case of construction of a new improvement, addition, building or structure upon a designated cultural resource site, the use and exterior of such improvements will not adversely affect and will be compatible with the use and exterior of existing designated cultural resources, improvements, buildings, natural features, and structures on the site.

This write-up provides a project description and justification for a COA for the removal of the bell tower on the HCC sanctuary.

The original building was constructed in 1886 at an off-site location, moved to the current location in 1896 and significantly remodeled in 1905 as “a shingle-clad edifice, dominated by the tall tower with its pointed, four-sided roof capped by a large finial.” (1988 and 2001 Historic Architectural Survey Report). As part of the remodel in 1905 the building was rotated 90 degrees and moved to the south from its original location, and a major new addition, containing the statuary was constructed. The original church was converted to Sunday School rooms. The church was heavily damaged by a fire in 1947. The building was “extensively remodeled during the repair work, including the addition of a tile roof, modernization of the tower, addition of a large wing on the east, and the sheathing of the entire building in stucco. The present appearance of the building, therefore, dates from the 1947 remodeling and bears little resemblance to the A.B. Benton church of 1905.” (1988

and 2001 Historic Architectural Survey Report). The building was determined to be “Non-Contributing” to the HHD by both 1988 and 2001 Historic Architectural Survey Reports.

As noted, the church suffered significant fire damage during the 1947 fire, including the bell tower. When the remodel was completed in 1947, the bell tower was not adequately repaired, and additionally the bell tower was covered with stucco. The additional weight of the stucco has resulted in structural integrity issues for the bell tower and foundation. The bell tower now has a significant lean to the east.

HHC retained The Eden Group (TEG) to conduct a site inspection and prepare an Engineering Observation Report to assess the viability and cost of either correcting the structural deficiencies, or the need to remove the bell tower for safety reasons. TEG concluded that “The fire damage observed in the tower is beyond repair and would require the tower to be rebuilt.” And further in the report, “It is my professional opinion that the tower be removed without replacement due to the extent of foundations repairs to reconstruct.” (TEG 2025). The TEG cost estimate to remove and rebuild the bell tower would range from between \$118,500 and \$167,500, both of which exceed what HCC would be able to afford.

Proposed Project

HCC is proposing to remove the existing bell tower without replacing it with a new bell tower. This will address the immediate safety concern of the stability of the bell tower and will also significantly reduce the stress placed on the foundation by the weight of the existing bell tower. Tiles from the back side of the educational wing could be used to cover the hole in the roof created by the elimination of the tower to maintain a seamless look on the roof following the bell tower removal.

HCC has prepared side by side photographic comparisons of the look of the building and its context along Palm Avenue before and after the project (Figures 1 – 4).

Figure 1 shows the look from Palm Avenue at the front of the church. The church would retain its overall architectural appearance with the removal of the bell tower.

Figure 2 shows the before and after photos looking from the south on Palm Avenue. The bell tower is visible over the existing structures on the east side of Palm Avenue and stands out as architecturally different from the adjacent properties, especially the historic period properties (gray and white trim buildings) on the west side of Palm Avenue. Elimination of the bell tower allows the church roofline to be more consistent with the adjacent structures.

Figure 3 shows the before and after photos looking from the immediate north of HCC. The church retains the look of the church with the removal of the bell tower.

Figure 4 shows the before and after photos looking from further north of HCC on Palm Avenue. The bell tower does stand out in the existing condition, but with removal, the church building is more consistent with the buildings immediately surrounding the church. The HCC roofline follows the Highland Baptist Temple church immediately north of HCC.

Findings

1. With regard to a designated resource, the proposed work will neither adversely affect the significant architectural features of the designated resource nor adversely affect the character of historical, architectural, or aesthetic interest or value of the designated resource and its site;

Compliance: The existing bell tower is completely different from the original structure constructed in 1905 described as “dominated by the tall tower with its pointed, four-sided roof capped by a large finial.” The “modernized” tower constructed in 1947 lacks any of the characteristics of the original tower, and adding the stucco has only added to a much more contemporary look. For these reasons, as well as the others previously stated, the HCC is considered a non-contributing resource for the HHD (1988 and 2001 Historic Architectural Survey Report). The removal of the bell tower would still allow the church to retain its overall character, and the scale of the building would be more in line with the surrounding structures.

The architectural classification for the HHD is described as Late 19th and early 20th century “Mission Revival, Queen Anne, Craftsman/Bungalow, and Spanish Colonial Revival.” (2001 Historic Architectural Survey Report). The HCC, when remodeled in 1947, no longer retained any of these architectural features.

The COA city code (2.20.090) states:

“In evaluating applications for **certificates of appropriateness**, the board or the city council upon appeal shall consider the existing and proposed architectural style, design, arrangement, texture, materials, and any other factors with regard to the original distinguishing architectural characteristics of the designated resource.”

The original distinguishing architectural characteristics of the HCC from 1905 were completely changed when the church was remodeled and expanded following the 1947 fire. The building is no longer shingle-clad sided, and the bell tower no longer retains any of the original architectural features of the 1905 bell tower. Removal of the “modernized” bell tower for structural and safety reasons would not impact the original

ENGINEERING OBSERVATION REPORT

PROJECT ADDRESS

6955 PALM AVE,
HIGHLAND, CA 92346

DATE

AUGUST 28, 2025



PREPARED BY

The Eden Group
(909) 415-1074
Projects@TheEdenGroup.com

08/28/2025

PREPARED FOR

Barry Jones
(619) 742-2068
bjdj44@cox.net

August 28, 2025

Mr. Barry Jones,
(619) 742-2068
bjdj44@cox.net

Subject: 6955 Palm Ave, Highland, CA 92346
Visual Structural and Site Condition Observation

Dear Mr. Jones,

Thank you for choosing The Eden Group for the engineering observation report service and site visit. We visited the site located at 6955 Palm Ave, Highland on Monday, August 11th, 2025, to visually observe the bell tower structure and surrounding site conditions. The scope of this preliminary visual observation is limited to the structural components of the building visible from the ground, balconies, decks and other safe accessible areas only. This inspection was performed in compliance with ASCE 11-99 and standard engineering practices. This observation report shall not be used as a home warranty, guarantee, insurance policy, or substitute for real estate transfer disclosures.

Introduction:

This structural observation was strictly visual as no destructive testing was performed on any parts of the structures and no uncovering of any existing members was done at this time. No observation on the structural integrity of enclosed building components or unaccessible areas were made. No seismic or structural design evaluation was conducted as part of this report. Soil conditions or stability of existing slopes were not reviewed or analyzed as part of this report.

It is my professional opinion that the damage to the bell tower would require full reconstruction and additional foundation support to bring it back to an acceptable level of safety. Due to the required cost to reconstruct and retrofit the foundation, it is best that the bell tower be removed and the roof be re-framed to cover the opening.

The Eden Group, upon request, can provide design and management services to correct the items noted in the report.

If you have any questions, please contact us at (909) 415-1074 or Projects@TheEdenGroup.com.

Sincerely,
Joseph Eden, P.E., MS, CM
CA LIC. NO. - C39955

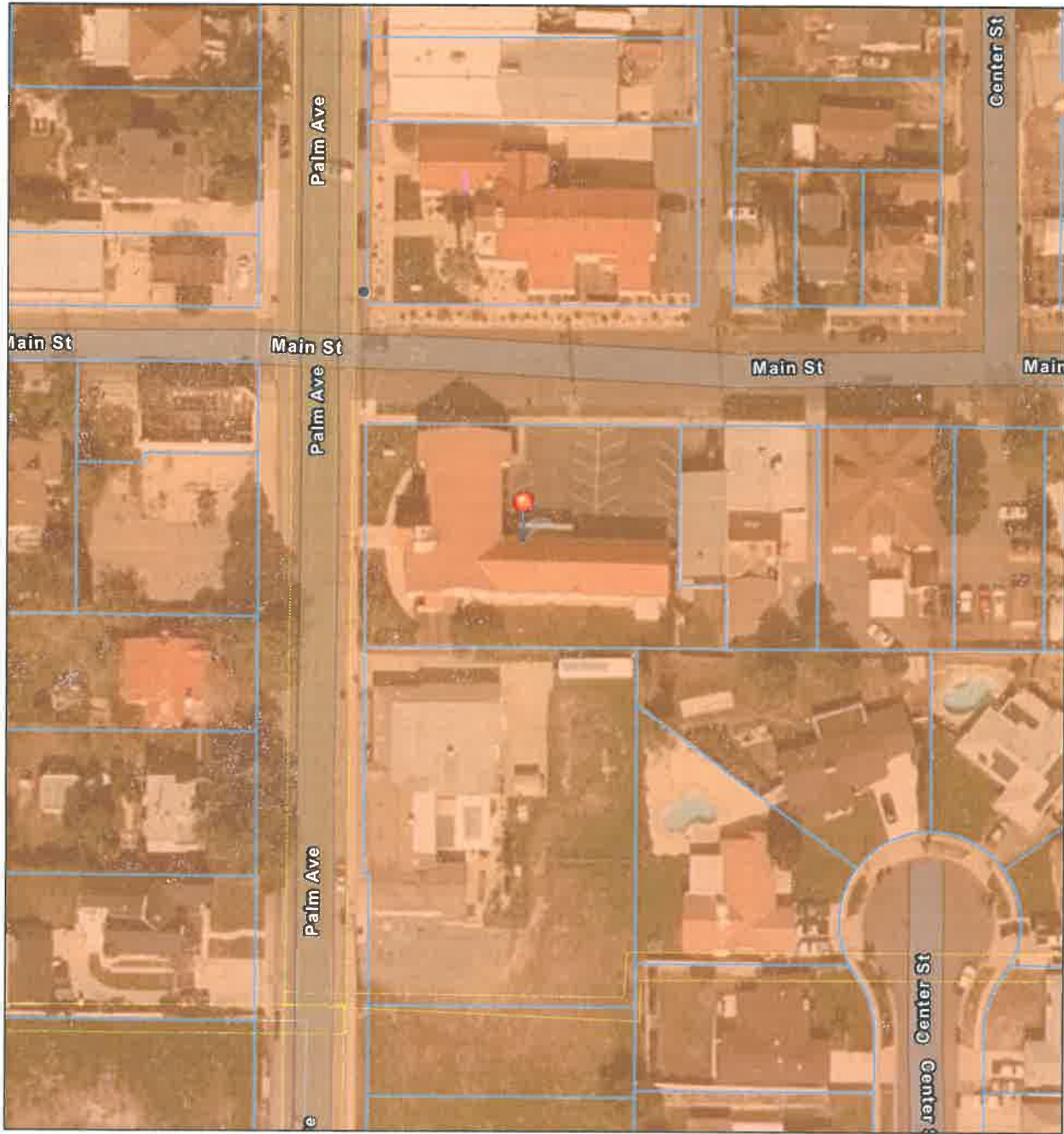









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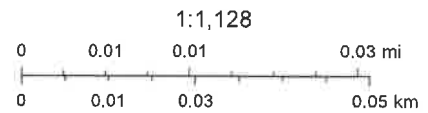
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SUBJECT PROPERTY MAP
San Bernardino County Parcel Viewer



8/19/2025, 12:15:09 PM

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-  Parcels
-  Assessor Page Index
-  City Limits
-  Townships



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, County of San Bernardino, Maxar, Microsoft

OBSERVED DRAINAGE CONDITIONS AT THE STRUCTURE

The site is observed to be relatively flat with drainage running towards both streets. The location of the irrigation system at the structure has caused staining to occur on the stucco and allows water to enter the crawlspace and foundations below. The water intrusion is enough to make areas of crawlspace this muddy and has been causing further deterioration of the existing brick foundation. The observed conditions can be seen in Figures 2 & 3 Below. It was additionally noticed that the waterproofing layer on the porch is damaged and requires repair to further limit points of entry for water into the crawlspace below. It is suggested that the irrigation be limited and a french drain around all foundations, or gutters be installed along the roof line, with downspouts routed away from foundations to further limit the water at these sensitive foundations. It can be seen in Figure 1 below that the roof line and walls are sloped and slanted signifying that movement in the foundation is occurring.



*FIGURE 1. WATER STAINING ON STUCCO, AND
PLANTER NEARBY FOUNDATION*



FIGURE 2. EXISTING FOUNDATION AT WEST WALL



FIGURE 3. EXISTING FOUNDATION AT WEST WALL



FIGURE 4. FAILED WATERPROOFING OVER EXISTING WOOD DECKING

OBSERVED BELL TOWER SUPPORT

The tower is supported at the North and West by existing brick foundation. The South face of the tower is supported by a beam. The East face which carries additional roof load from the roof is supported by the floor joists below which carry back to the beam and foundation. The beam has lateral bracing by 2 rods either end connecting to floor joists above. The tower is observed to be leaning towards the East, into the structure. This is caused by a lack of adequate foundation support on the East support of the tower and settlement of these existing foundations. Removal of the tower will reduce the load on these foundations and will slow the settlement of these foundations. The settlement has not been observed to cause detrimental effects to the existing structures safety, and as such no foundation retrofits should be required after the tower is removed. It is recommended that the foundation is routinely inspected for new cracks, further settlements, or movements to ensure the safety of the structure



FIGURE 5. VIEW OF THE NORTH FACE OF TOWER



FIGURE 6. TOWER BEAM TEMPORARY SUPPORT INSTALLED IN BASEMENT



FIGURE 7. WEST END OF TOWER SUPPORT BEAM



FIGURE 8. BEAM BRACING ROD END CONNECTION



FIGURE 9. WEST TOWER VIEW



FIGURE 10. BEAM BRACING ROD INTERSECTING COLUMN SUPPORT



OBSERVED STRUCTURAL DEFICIENCIES

The fire damage observed in the tower is beyond repair and would require the tower to be rebuilt. In the tower's framing current state the tower is at risk of collapsing due to the loss of strength of the wood from exposure to high temperatures and reduced cross sectional area from burnt material. To ensure the safety of the public and to prevent damage to the remaining structure, the tower should be removed as soon as possible. Additionally, it is noted that the East supporting wall of the Tower is leaning slightly, it is unsure if there is any direct correlation to the leaning of the tower above. However, this wall should be monitored for further movement prior to the tower being removed, and repaired upon removal of the tower.



FIGURE 11. FIRE DAMAGE AT SOUTH BELL TOWER WALL



FIGURE 12. FIRE DAMAGE AT TOP OF BELL TOWER



FIGURE 13. FIRE DAMAGE AT EAST BELL TOWER WALL



FIGURE 14. LOWER EAST SUPPORTING WALL



CONCLUSIONS AND RECOMMENDATIONS

It is my professional opinion that the tower be removed without replacement due to the extent of foundations repairs to reconstruct. Cost estimates of repair are provided below along with the estimated design fees. Furthermore, irrigation at the foundations should be limited and a foundation drainage solution should be put in place to limit saturation of soils at the foundation. At minimum a roof gutter system should be provided to pipe roof runoff away from the foundations. The existing brick foundations should be planned to be retrofitted in the near future, and be inspected routinely.

PRELIMINARY COST ESTIMATE

The preliminary estimates contained below only are based on the scope of structural repair in relation to the above report, and do not include additional allowances for additional scopes such as, but not limited to: electrical, mechanical, plumbing, drainage, roof re-framing, re-roofing, re-waterproofing, and replacement of finishes outside of the immediate area of work. The design estimates below are subject to change. The construction cost estimates provided below are based on best known data and are not a price guarantee.

ESTIMATED DESIGN SERVICES FOR RETROFIT:

Tower Retrofit Plan including framing and foundation, with seismic upgrades: \$12,500

ESTIMATED CONSTRUCTION COSTS:

Removal of Tower: \$20,000 - \$35,000

Tower Rebuild: \$55,000 - \$68,000

Foundation Retrofit: \$31,000 - \$52,000

PROFESSIONAL LIMITATIONS

Our observation was performed using the degree of care and skill ordinarily provided by other professionals in the same discipline, under similar circumstances, and similar localities.

The conclusions and recommendations contained herein, are based upon the findings and observations made at the time of the site observation. These conclusions and recommendations should be considered preliminary since they are based on visual inspections only. Further investigations and destructive testing is required as conditions can vary from what is visually observable.

ATTACHMENT 5

Before and After Visual Simulation Photos



Front of Church With Bell Tower



Front of Church Without Bell Tower

Figure 1 Front of Church With and Without Bell Tower
Highland Community Cross Church of the Nazarene



Church with Bell Tower

Church Without Bell Tower

Figure 2 View of Church From Palm Avenue Looking North
Highland Community Cross Church of the Nazarene



Church with Bell Tower



Church Without Bell Tower

Figure 3 View of Church Immediately North Looking South on Palm Avenue
Highland Community Cross Church of the Nazarene



Church with Bell Tower

Church Without Bell Tower

Figure 4 View of Church From the North Looking South on Palm Avenue
Highland Community Cross Church of the Nazarene

ATTACHMENT 6

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior is responsible for establishing professional standards and providing advice on the rehabilitation and protection of all cultural resources listed in or eligible for listing in the National Register of Historic Places.

The Secretary of the Interior's Standards for Treatment of Historic Properties apply to all proposed development grant-in-aid projects assisted through the National Historic Preservation Fund, and are intended to be applied to a wide variety of resource types, including buildings, sites, structures, objects and districts. These Standards, developed in 1992, were codified as 36 CFR Part 68 in the July 12, 1995, Federal Register (Volume 60, No. 133). They replace the 1978 and 1983 versions of 36 CFR 68 entitled, "The Secretary of the Interior's Standards for Historic Preservation Projects."

The Secretary of the Interior's Standards for the Treatment of Historic Properties may be used by anyone planning and undertaking work on historic properties, even if grant-in-aid funds are not being sought. It should be noted that another regulation, 36 CFR Part 67, focuses on "certified historic structures" as defined by the IRS Code of 1986. The "Standards for Rehabilitation" cited in 36 CFR 67 should always be used when property owners are seeking certification for federal tax benefits.

Rehabilitation:

The act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

Standards for Rehabilitation:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

NOTE:

When repair and replacement of deteriorated features are necessary; when alterations or additions to the property are planned for a new or continued use; and when its depiction at a particular period of time is not appropriate, Rehabilitation may be considered as a treatment. Prior to undertaking work, a documentation plan for Rehabilitation should be developed.

ATTACHMENT 7

Findings of Fact for Denial

**CERTIFICATE OF APPROPRIATENESS
FINDINGS OF FACT FOR DENIAL**

Date: November 6, 2025
Applicant: Highland Community Cross Church of the Nazarene
File/Index: COA 25-013
Proposal: Certificate of Appropriateness (COA 25-013) for the approval to remove/demolish the existing bell tower on the
Location: 6955 Palm Avenue, Highland, CA 92346
Assessor's Parcel No. 1200-351-31

The Historic and Cultural Preservation Board shall make the following Findings of Fact prior to approval/or denial of the application:

1. With regard to a designated resource, the proposed work will neither adversely affect the significant architectural features of the designated resource nor adversely affect the character of historical, architectural, or aesthetic interest or value of the designated resource and its site.

Although the church is classified as a non-contributing structure, it is located within the Highland Historic District, which as a whole is a designated historic resource. The proposed removal of the bell tower would adversely affect the district by eliminating a long-standing architectural feature that contributes to the overall sense of place and visual continuity of the area. Historical documentation confirms the presence of the tower on this site as early as 1905 and following the 1947 fire, reinforcing its longstanding role in the district's architectural landscape. The Secretary of the Interior's Standards for Rehabilitation specify that exterior alterations should not destroy features or spatial relationships that characterize a historic property. Removing the tower would result in a permanent change to the building's form and diminish the cohesive character of the district. Therefore, the proposed work does not satisfy this finding, as it would adversely affect the character, architectural interest, and aesthetic value of a designated historic resource.

2. With regard to any property located within a Historic District, the proposed work conforms to the prescriptive standards and design guidelines for the District adopted by the Board and does not adversely affect the character of the district.

The proposed removal of the bell tower does not conform to the Historic and Cultural Preservation Board's adopted standards and design guidelines for properties within the Highland Historic District. While the subject building is categorized as a non-contributing structure, it is still located within a designated Historic District and subject to all applicable review standards. The request to remove the bell tower would result in a permanent and visible alteration to the district's physical environment, affecting the integrity of the district's historical context. Because the removal of the bell tower does not maintain the established

character, materials, or spatial relationships that define the district as a whole, it is inconsistent with the Secretary of the Interior's Standards for Rehabilitation, which serve as the guiding reference for evaluating proposed changes to properties within the district. Therefore, the proposal would adversely affect the character of the Historic District.

3. In the case of construction of a new improvement, addition, building, or structure upon a designated cultural resource site, the use and exterior of such improvements will not adversely affect and will be compatible with the use and exterior or existing designated cultural resources, improvements, buildings, natural features, and structures on said site.

The subject property is located within the Highland Historic District, a designated cultural resource. The proposed removal of the bell tower constitutes an exterior alteration to a long-standing architectural feature that has been present on the site since at least 1905. Eliminating this element would introduce a substantial visual change that diminishes the architectural rhythm and spatial relationships established by the historic buildings throughout the Highland Historic District. Although the church structure is identified as non-contributing structure within the district, any proposed change on the site must be compatible with the district's established historical context and adjacent contributing structures. The removal of the bell tower does not support compatibility with the existing use, form, and architectural character of the site or its surrounding cultural resources and would adversely affect the district's cohesive historic environment.

ATTACHMENT 2

Certificate of Economic Hardship Justification

HIGHLAND COMMUNITY CROSS CHURCH OF THE NAZARENE
JUSTIFICATION FOR CERTIFICATE OF APPROPRIATENESS FINANCIAL HARDSHIP

November 21, 2025

Highland Community Cross Church of the Nazarene (HCC) is requesting approval of the Certificate of Appropriateness (COA) through the Financial Hardship process. The City of Highland is requesting responses to the four questions below:

1. Cost estimates of the proposed construction, alteration, demolition, or removal, and an estimate of the additional cost(s) that would be incurred to comply with the recommendations of the board for issuance of a certificate of appropriateness;
2. A report from a licensed engineer or architect with experience in rehabilitation as to the structural soundness of any structures on the property and their suitability for rehabilitation;
3. Assessed value of the property according to the two most recent assessments;
4. Form of ownership or operation of the property, whether sole proprietorship, for profit or nonprofit corporation, limited partnership, joint venture, or other;
5. Any other information that you think would be useful by the board to a determination.

Responses are provided below in support for a Financial Hardship determination through the COA process for the removal of the bell tower on the HCC sanctuary.

1. HHC retained The Eden Group (TEG) to conduct a site inspection and prepare an Engineering Observation Report to assess the viability and cost of either correcting the structural deficiencies, or the need to remove the bell tower for safety reasons. The TEG cost estimate to remove and rebuild the bell tower would range from between \$118,500 and \$167,500, both of which exceed what HCC would be able to afford. This estimate does not include "additional allowances for additional scopes such as, but not limited to: electrical, mechanical, plumbing, drainage, roof re-framing, re-roofing, re-waterproofing, and replacement of finishes outside of the immediate area of work." This could easily add \$10,000 to \$20,000 or more to the final cost. A more detailed breakdown of the cost from the Eden report is provided below.

ESTIMATED DESIGN SERVICES FOR RETROFIT:

Tower Retrofit Plan including framing and foundation, with seismic upgrades: \$12,500

ESTIMATED CONSTRUCTION COSTS:

Removal of Tower: \$20,000 - \$35,000

Tower Rebuild: \$55,000 - \$68,000

Foundation Retrofit: \$31,000 - \$52,000

2. Page 7 of TEG report states:

“The settlement has not been observed to cause detrimental effects to the existing structures safety, and as such no foundation retrofits should be required after the tower is removed. It is recommended that the foundation is routinely inspected for new cracks, further settlements, or movements to ensure the safety of the structure”

This confirms that with removal of the bell tower the church will be structurally sound.

Staff Report

To the Historic & Cultural Preservation Board



Date: December 4, 2025
From: Lawrence Mainez, Community Development Director
Reviewed By: Kim Stater, Assistant Community Development Director
Prepared By: Angela Tafolla, Senior Planner
Subject: Preparation for the 28th Annual Citrus Harvest Festival

Recommendation:

Staff recommends the Historic and Cultural Preservation Board review and provide direction on key logistics for the Festival.

Fiscal Impact:

The Festival Account has a balance of \$444.45. Separately, the Home Tour Account has a balance of \$1,639.91. All expenses from the past year have been paid. Attached is the 2026 Citrus Harvest Festival Draft Budget.

Public Notice:

The agenda for this item was posted at the three locations per Resolution No. 2011-047 and on the City's website.

Project Detail:

Staff recommends the board review and provide direction on the following aspects of the 28th Annual Citrus Harvest Festival.

1. Entertainment – Board Member, Patrick Sandford
 - Good Neighbor Award - Discuss possible candidates.
2. Car Show – Board Member, Jeff Staggs
3. Home & Walking Tour – Board Member, Gail Shelton
4. Marketing – Patrick Sandford
 - At the November 20 meeting, the Board directed Staff to follow up with Council Member Saldana regarding the banner size for the Citrus Harvest Festival to be placed along the Base Line frontage of Showcase Auto Glass. Council Member Saldana confirmed that a 4'x10' banner is the preferred size for that location.

5. Vendors – Vice Chair, Pamela Bible

Attachments:

1. 2026 CHF Contest
2. 2026 Draft CHF Entertainment Schedule
3. 2026 Budget
4. Map of 2025 Citrus Harvest Festival
5. List of Prior Festival Honorees
6. List of Prior Good Neighbor Award Recipients

ATTACHMENT 1

2026 CHF Contests

CONTEST	CATAGORIES	NO. WINNER (TOTAL)	PRIZE
COLORING	Pre-5 & K	1 st , 2 nd , & 3 rd place for each grade (2x3 = 6 total)	Ribbon & Prizes for all (6)
POETRY	Grades 1-3	1 st , 2 nd , & 3 rd place for each grade (3x3 = 9 total)	Ribbon & Prizes for all (9)
CITRUS LABEL	Grades 4-12	1 st , 2 nd , & 3 rd place for each grade (9x3 = 27 total)	Ribbon & Prizes for all (27)
BAKING	1. Cake/Cupcake/Bread/Muffin 2. Cookie/Bar 3. Pie/Tart 4. Jam/Jelly	Adults – 1 st , 2 nd , & 3 rd place for each category (12 total) Kids – 1 st , 2 nd , 3 rd (No Jams) (9 total)	Ribbon for all (21) Prizes for 1 st place only
GOOD NEIGHBOR AWARD	1-Best Landscaping 1-Best Restoration	(2 total)	Plaques (2)
UGLY DOG	1-Ugliest	1 st place, 2 nd & 3 rd (3 total)	Ribbons (3)
PIE EATING	1 – ages 5-11 1 – ages 12-18	1 st place (2 total)	Ribbons (2)

ATTACHMENT 2

2026 Draft CHF Entertainment Schedule

DRAFT EVENT SCHEDULE

2026 HIGHLAND CITRUS HARVEST FESTIVAL

10:50 am TBD

[11:00 am Aztec Dancers performing at Main Street & Palm Avenue]

11:20 am Baking Contest Winners Announced

11:30 am Art Contests. Coloring, Poetry, Citrus Label Winners Announced

11:50 am Highland Music Company

12:30 pm Presentation of Festival Honoree – Brett Waterman

12:45 pm Highland Music Company

1:30 pm Best Neighbor Awards Announced
* Best Historic District Landscaping Restoration –
* Best Historic Home Restoration –

1:45 pm Car Show Trophies Awarded

2:00 pm Ugly Dog Contest

2:15 pm Pie Eating Contest

2:30 pm TBD

ATTACHMENT 3

2026 Budget

2026 CHF Budget

Item/Description	2026 Budget	Received
Advertising - Redlands Daily Facts / SB Sun	1,250.00	
Advertising - East Highlands Ranch Newsletter	700.00	
'Peach Jar' School District Electronic Newsletter	-	
Hot 103.9 Radio Advertisement	-	
Facebook/Instagram Meta Ads Manager	1,000.00	
Historic Demonstrators/Exhibitors (5 x \$200 ea) (2 x \$300 WAPA/ Heritage Hills)	1,750.00	
Entertainment DJ & MC	1,700.00	
Citrus Valley Music Boosters & Beattie Middle School	500.00	
Balloons street decorations	1,250.00	
Insurance	1,800.00	
Hanging Banner - West end of town (new)	250.00	
Street Banner over Base Line (date modification) (replacement banner)	1,200.00	
Portable toilets - add wash stations to all 4 locations for 2026 CHF	2,000.00	
Posters Boards, Flyers, print marketing materials	300.00	
Mobile Stage (rental)	1,420.00	
Paper materials, copying, postage	250.00	
Tables w/ umbrella & chairs for food court & stage area	900.00	
Signs for parking & festival activities	-	
Contest ribbons (126) & Plaques (1 Honorees + 2 Home Restoration)	550.00	
Kid's activities	400.00	
Miscellaneous supplies	500.00	
Staff shirts (2 x \$25)	-	
Contest materials	300.00	
Car show dash plaques	700.00	

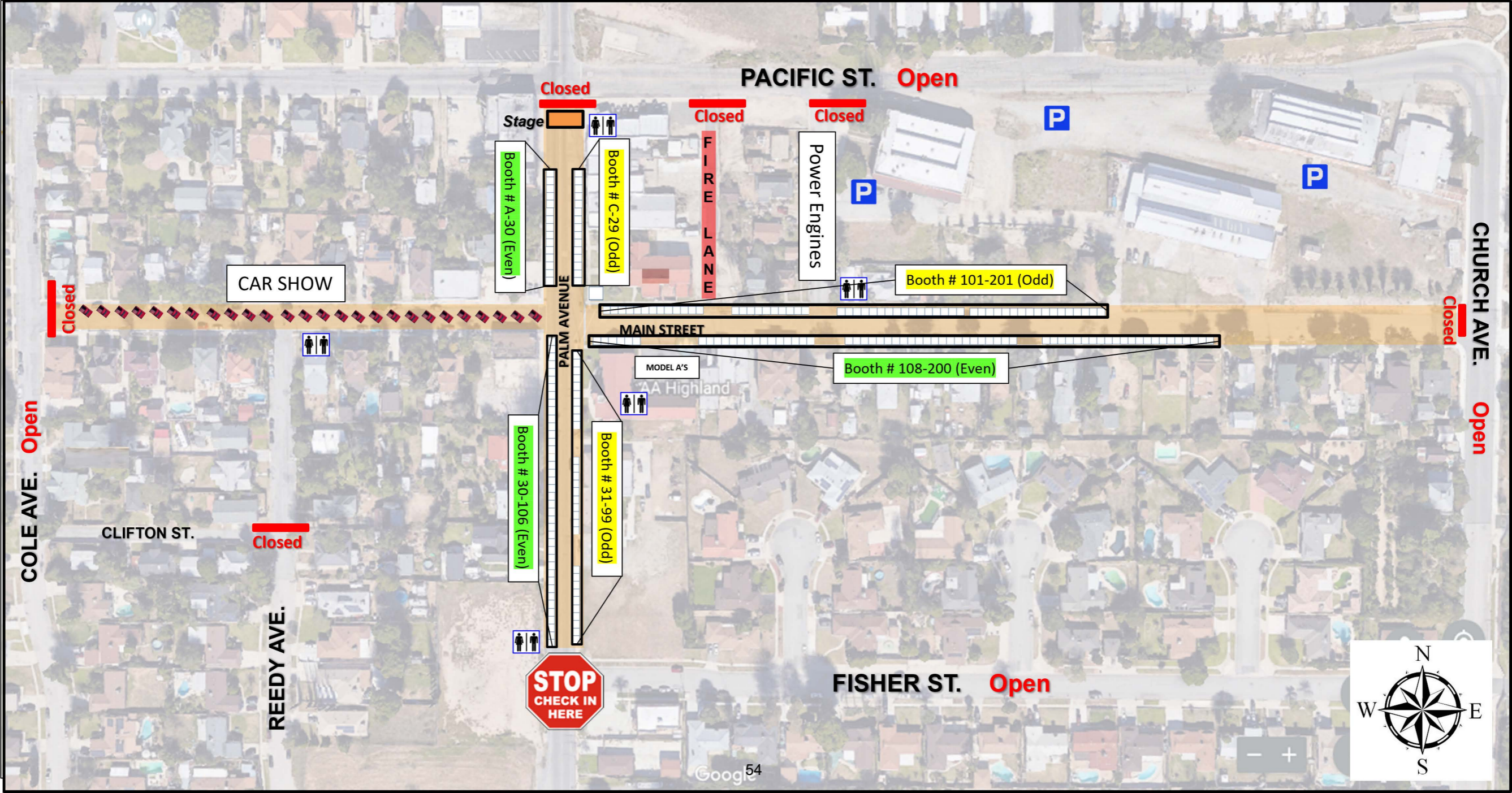
TOTAL \$ 18,720.00

Festival Revenue	Projected	Received
Sponsorship	12000.00	
Retail vendor Booth spaces	3500.00	
Food vendor booth spaces	3500.00	

TOTAL \$ 19,000.00

ATTACHMENT 4

Map of 2025 Citrus Harvest Festival



PACIFIC ST. **Open**

Closed

Closed

Closed

P

P

P

CAR SHOW

Stage

Booth # A-30 (Even)

Booth # C-29 (Odd)

FIRE LANE

Power Engines

Booth # 101-201 (Odd)

MAIN STREET

Booth # 108-200 (Even)

MODEL A'S

AA Highland

Booth # 30-106 (Even)

Booth # 31-99 (Odd)

STOP
CHECK IN
HERE

COLE AVE. **Open**

CLIFTON ST.

Closed

REEDY AVE.

CHURCH AVE. **Open**

Open

FISHER ST. **Open**



ATTACHMENT 5

List of Prior Festival Honorees

Citrus Harvest Festival Honorees

- 2004 Kay Beattie
- 2005 Kim Clinton Adams Wilson
- 2006 Jo Meade
- 2007 Rick Hartmann
- 2008 Don & Elizabeth Kiel
- 2009 Bill Calvert
- 2010 George & Pauline Murillo
- 2011 Bud & Margaret Wright
- 2012 Laurie Frymire, Dennis Johnson, & Ross Jones
- 2013 Arnott Family
- 2014 Kim Stater (**Chamber Sponsored Festival**)
- 2015 Charles Kiel (**Chamber Sponsored Festival**)
- 2016 Nancy Alexander
- 2017 Charles Roberts
- 2018 Jodi Scott & Margaret Hill
- 2019 Curtis Allen
- 2022 San Manuel Band of Mission Indians
- 2023 Sam Racadio & Highland Community News (Hector Hernandez)
- 2024 Pamela Bible
- 2025 Bauer Pottery – Janek Boniecki
- 2026 Brett Waterman

ATTACHMENT 6

List of Prior Good Neighbor Award Recipients

Good Neighbor Award Winners

2022

- Most improved landscaping – Pythian
- Most improved property – Highland Community Cross Church

2023

- Best Exterior Restoration – Highland Community Cross Church
- Best Exterior Restoration – 27180 Pacific Street
- Best Landscaping – Highland Baptist Temple
- Best Landscaping – 27417 Main Street

2024

- Best Landscaping – 6986 Church Ave.
- Best Exterior Restoration – Shorty's Garage – 6905 Palm Ave.

2025

- Best Landscaping - 27206 Nona
- Best Exterior Restoration - 6676 Cole Ave.

2026

- TBD

Staff Report

To the Historic & Cultural Preservation Board



Date: December 4, 2025
From: Lawrence Mainez, Community Development Director
Reviewed By: Kim Stater, Assistant Community Development Director
Prepared By: Angela Tafolla, Senior Planner
Subject: Certificate of Appropriateness No. 25-012 to allow the conversion of an approximately 892 square foot non-contributing garage to a detached Accessory Dwelling Unit (ADU) on a site with a contributing Historic District residence.

Recommendation:

1. Approve COA 25-012, for the conversion of an approximately 892 square foot non-contributing garage to a detached Accessory Dwelling Unit (ADU), subject to Conditions of Approval, and;
2. Adopt the Findings of Fact.

Fiscal Impact:

The City Council adopted a fee schedule whereby no fee will be collected for a Certificate of Appropriateness. The cost to the City is time and materials for preparation of the Staff Report and advertisement.

Public Notice:

The agenda for this item was posted at the three locations per Resolution No. 2011-047 and on the City's website.

Project Detail:

Environmental Review:

This project is Categorically Exempt from environmental review pursuant to Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation) of the California Environmental Quality Act (CEQA) Guidelines. Although the garage structure proposed for conversion is considered as non-contributing, it is located within the Highland Historic District and subject to Historic Board review. The project involves the interior conversion of an existing detached garage to an Accessory Dwelling Unit (ADU), with minor exterior modifications. No expansion of the building footprint is proposed. All work will be completed in a manner consistent with the Secretary of the Interior's Standards for Rehabilitation and will not adversely affect the character of the surrounding Historic District.

Public Notice:

As required by City Council Resolution, notice of the public meeting was posted at three (3) designated posting locations within the City. In addition, the notice was posted on the City's website, and mailed to property owners within 300 feet of the project site. No further notice is required.

Public Comment:

Staff has not received any public comments in response to the project notice at the time of preparing this staff report.

Description of Site:

The subject property is a 13,334 square foot residential lot located on the south side of Pacific St., approximately 30 feet west of Cole Ave. within the Highland Historic District (Attachment 1). The site contains three structures: a contributing two-story single-family residence with an attached garage, a detached garage to the rear, and a non-contributing detached garage/storage structure located west of the residence along Pacific Street. The main residence, constructed in 1894, is identified as a contributing resource in the 1988 Historic Architectural Survey Report prepared for Caltrans. Built as the parsonage for the nearby Methodist Episcopal Church, the house features simplified Classical detailing, paired two-over-two wood windows with muntins, a low-pitched roof with wide overhangs, and a wraparound porch.

All structures share a unified color scheme of canary yellow with white trim and brown asphalt roofing (Attachment 2). The detached storage structure, approximately 26'x34', proposed for conversion to an ADU has T1-11 vertical siding, a single roll-up garage door, a horizontal aluminum sliding window, and access through a rear entry door. An attached storage area and wash room are also connected to the structure, although these spaces are not part of the proposed conversion. The site is additionally improved with a circular driveway providing access from Pacific Street.

Background:

The applicant has submitted documentation, including the County of San Bernardino Assessors Record confirming that the 892-square-foot detached storage structure was legally reconstructed in the early 1980s (Permit No. 298834). Although the structure is not considered a contributing element of the residence or historic district due to its age and reconstruction era, it remains subject to Historic and Cultural Preservation Board review because it is located within the boundaries of the Highland Historic District. The current request involves converting this storage structure into an Accessory Dwelling Unit (ADU) in accordance with State and local ADU regulations, as well as the design guidelines applicable to properties within the historic district.

Project Review/Analysis:

As mentioned above the subject property is located within the Highland Historic District and contains a contributing single-family residence constructed in 1894, identified in the 1988 Caltrans Historic Architectural Survey Report. The west side of the property consist of a detached structure that was legally reconstructed in the early 1980s under County of San Bernardino Permit No. 298834. This structure, while located within the historic district, is not identified as contributing due to its age and period of reconstruction. The applicant is requesting to convert this 892 square foot detached storage structure into an Accessory Dwelling Unit (ADU).

The proposed scope of work includes the removal of the existing roll-up garage door and

installation of four new windows. Two of these windows will be added to the north elevation facing Pacific Street, which currently lacks any openings, helping to soften the street facing façade. On the east elevation, one existing window will be relocated, and a second window will be added, both of which will be visible from the public right-of-way. The new windows will be vinyl units with wood trim to provide a compatible finished appearance that relates to the previously installed windows and surrounding neighborhood context. The existing T1-11 vertical siding will be replaced with new lapped siding painted to match the color scheme of the main residence. No changes are proposed to the structure's roofline or overall footprint. The existing rear door will remain the primary access point, and an attached storage area and washroom located at the rear of the building are excluded from the proposed ADU conversion.

Pursuant to Section 16.32.060(C) of the Highland Municipal Code, proposed work within the Historic District must not adversely affect the character of the district or diminish any historic architectural features. In accordance with the Secretary of the Interior's Standards for Rehabilitation, all exterior alterations, even on non-contributing structures, must preserve the surrounding district's spatial relationships and avoid creating a false sense of historical development. The proposed changes are minor and consistent with previous alterations approved during the 1980s reconstruction, and do not obscure or mimic earlier historic features inappropriately.

The project maintains the structure's subordinate role in relation to the contributing main residence. As no historically significant materials are being removed, and the design avoids the introduction of unrelated architectural elements, the conversion adheres to the general intent of the Secretary's Standards.

Therefore, Staff recommends approval of the proposed project, subject to the conditions of approval (Attachment 6) and Findings of Fact (Attachment 7).

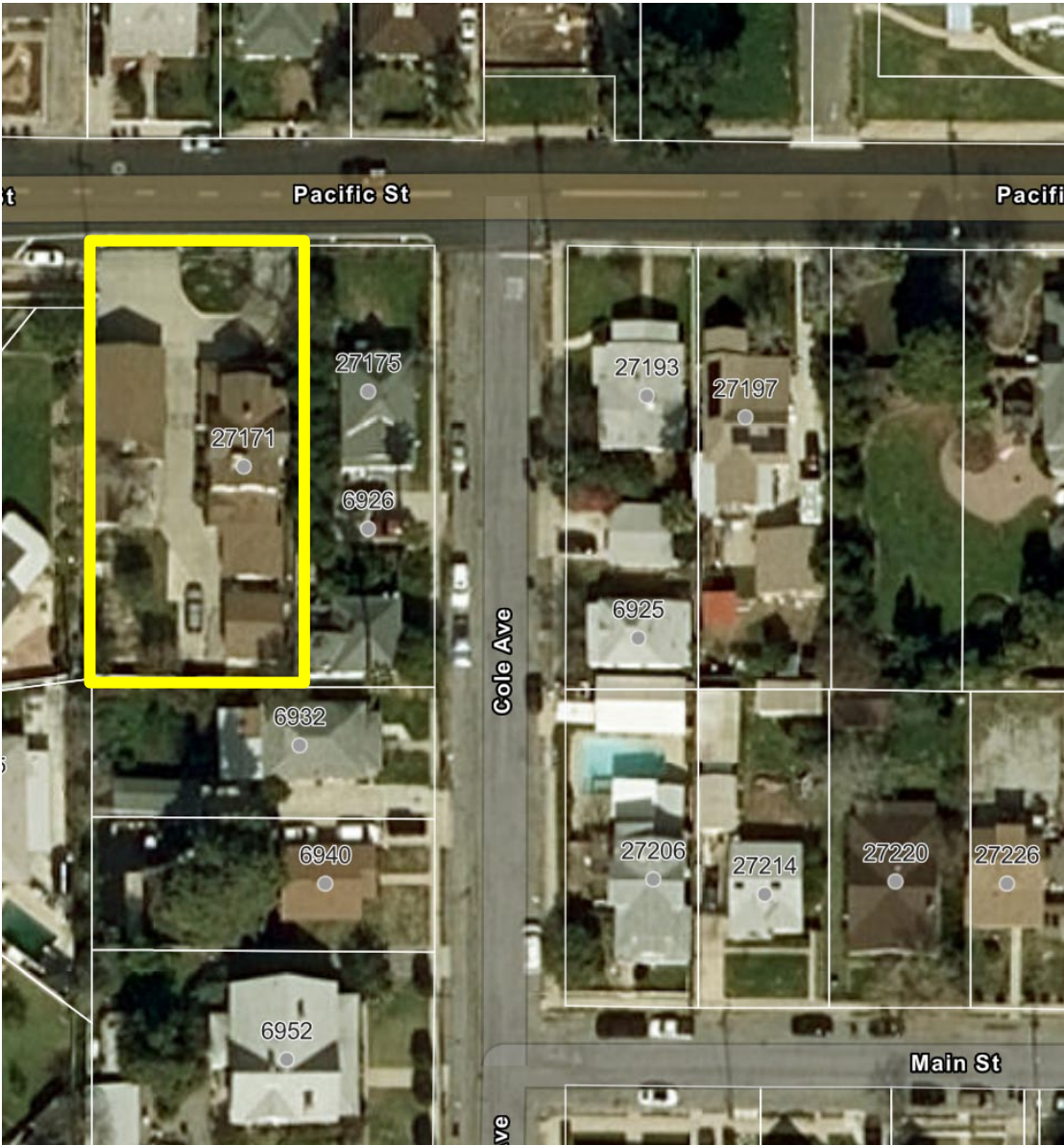
Attachments:

1. Aerial Map
2. Photos
3. Project Plans
4. Secretary of the Interior's Standards for Rehabilitation
5. Conditions of Approval
6. Findings of Fact

ATTACHMENT 1

Aerial Map

Aerial Location Map



ATTACHMENT 2

Photos



ATTACHMENT 3

Project Plans

HERSRATING VERIFICATION IS REQUIRED FOR:-
 -QII
 -INDOOR AIR QUALITY
 VERIFIED RCA
 -FAN EFFICACY/ WATTS
 -VERIFIED HEAT PUMP RATED CAPACITY

CONTACT OAKRIDGE ENERGY FOR HERS VERIFICATION @
 909-793-9444

GENERAL INFORMATION:

TOTAL SITE AREA: 13,334 SF
 (E.) RESIDENCE/GAR. FOOTPRINT: 1,655SF
 (E.) GARAGE= 406SF
 (E.) STORAGE= 382 SF
 (N.) ADDITION CONVERSION= 892 SF

OCCUPANCY: R-3

BUILDING CONSTRUCTION: TYPE V B

PROPOSED LAND USE: NO CHANGE

NO FIRE SPRINKLERS PROPOSED

APN# 1191-472-01

LOT COVERAGE:

BLDG. FOOTPRINT: 3,335SF = 25%

SHEET INDEX:

- A-1.0 Title Sheet/Site Plan
- A-2.0 Proposed Floor Plan/Roof Plan
- A-3.0 Elevations/ Electrical Plan
- S-1.0 Structural Plans/Details
- T-2.4 Title 2.4 Calls
- G-1.0 Green Notes
- G-2.0 Green Notes

SCOPE OF WORK:

CONSTRUCT 892 SF WORKSHOP TO
 ADU CONVERSION. REMODEL
 BATHROOM.

STANDARD CONSTRUCTION NOTES:

ALL NEW CONSTRUCTION SHALL MEET THE MIN.
 REQUIREMENTS OF THE:

CALIFORNIA PLUMBING CODE (CPC) - 2022 EDITION
 CALIFORNIA MECHANICAL CODE (CMC) - 2022 EDITION
 CALIFORNIA ELECTRIC CODE (CEC) - 2022 EDITION;
 AND
 CALIFORNIA RESIDENTIAL CODE (CRC 2022)
 2022 CALIFORNIA FIRE CODE
 CA GREEN CODE STANDARDS CODE- 2022

Designer:
OakRidge
 Design & Development, Inc.
 PO Box #8, Yucaipa, CA 92399
 Phone: 909.793.9444 email:oakridge@oakridge.com

Owner / Applicant:
 Victoria Volk-Souza
 2771 Pacific St
 Highland, CA

Job Title:
ADU Conversion

Sheet Title:
TITLE SHEET - SITE PLAN

Issues:

Scale:

Date:

Drawn By:
 C.S.

Sheet Number

A-1.0

RESIDENTIAL ENERGY STANDARDS COMPLIANCE

ENVELOPE MANDATORY MEASURES:

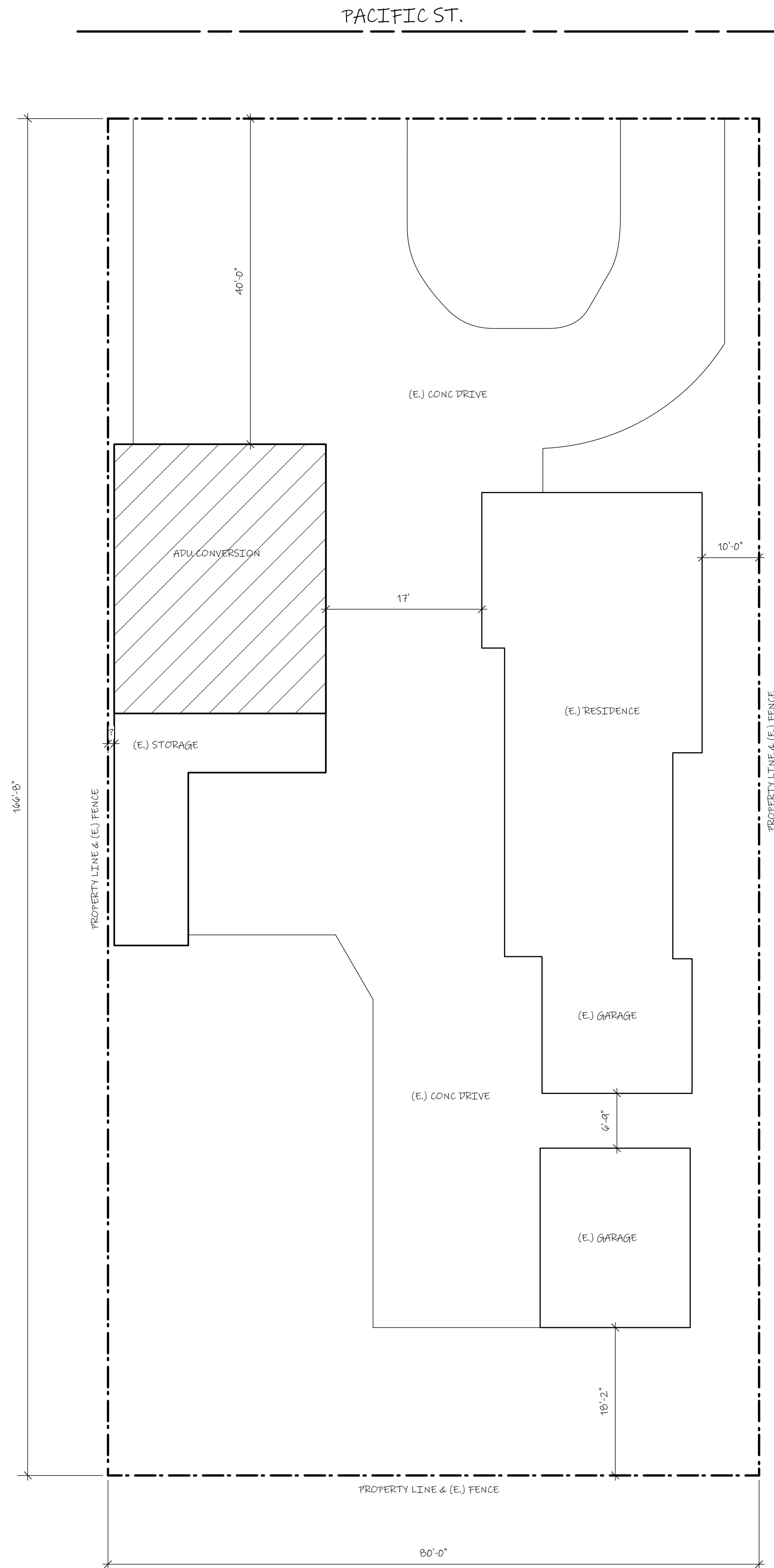
INSTALLED INSULATING MATERIAL SHALL HAVE BEEN CERTIFIED BY THE MANUFACTURER TO COMPLY WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATING MATERIAL.

ALL INSULATING MATERIALS SHALL BE INSTALLED IN COMPLIANCE WITH THE FLAME SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF SECTIONS 1712 AND 1713 OF THE UBC.

ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED.

SITE CONSTRUCTED DOORS, WINDOWS AND SKYLIGHTS SHALL BE CAULKED BETWEEN THE UNIT AND THE BUILDING, AND SHALL BE WEATHERSTRIPPED (EXCEPT FOR UNFRAMED GLASS DOORS AND FIRE DOORS).

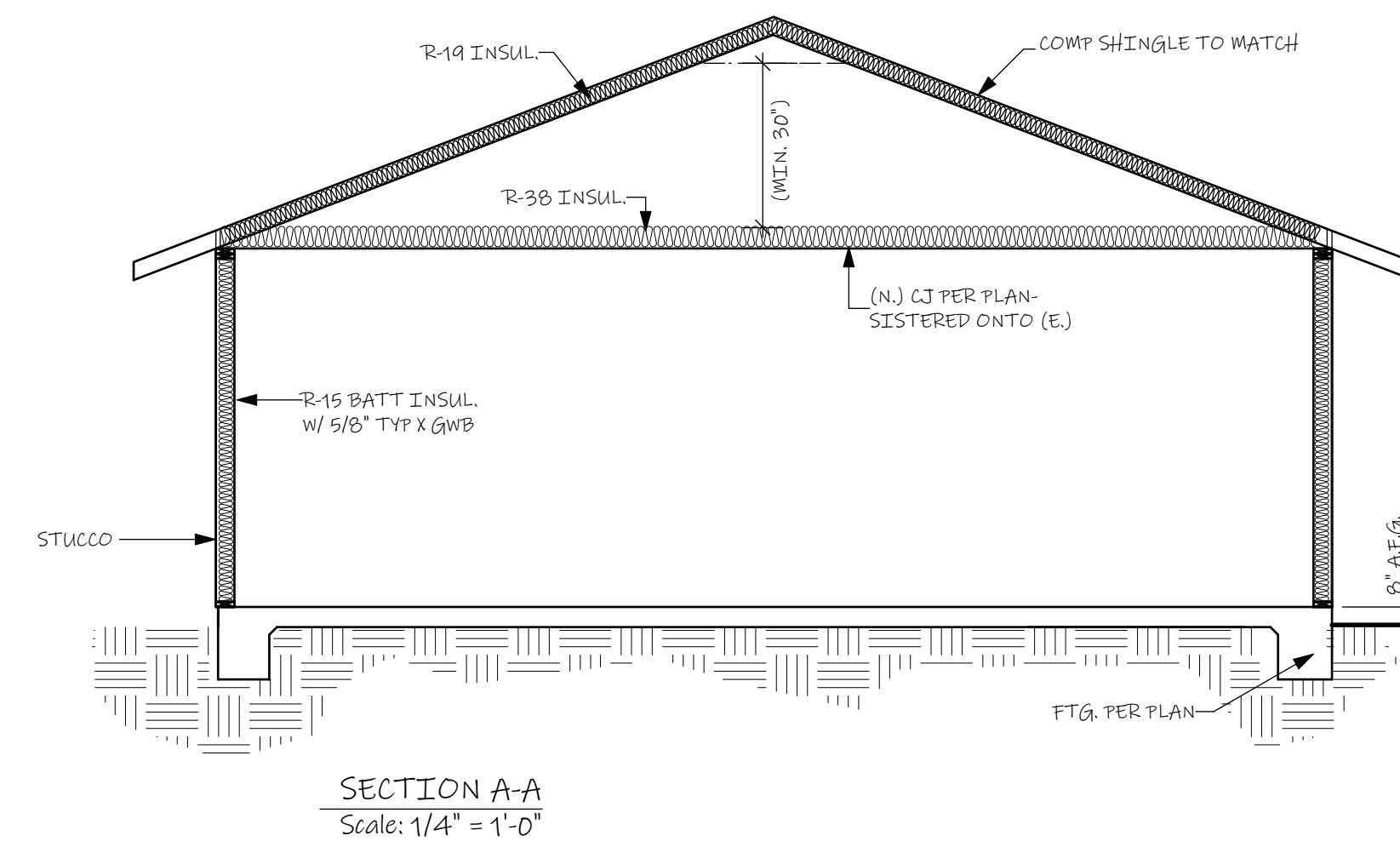
MANUFACTURED DOORS AND WINDOWS INSTALLED SHALL HAVE AIR INFILTRATION RATES CERTIFIED BY THE MANUFACTURER PER 2-5316 (A)1. AFTER JULY 1, 1993, MANUFACTURED FENESTRATION PRODUCTS MUST BE LABELED FOR U-VALUE ACCORDING TO NFRC PROCEDURES



WINDOW SCHEDULE		30 U-FACTOR, 23 SCH6 (MIN.)					REMARKS
SYMBOL	QTY	FRM	WIDTH	HEIGHT	HEAD HGT		
1	2	VL	4'-0"	4'-0"	6'-8"		HOR. SLIDER
2	2	VL	5'-0"	4'-0"	6'-8"		HOR. SLIDER

WINDOWS SHALL COMPLY WITH R310.1 & R310.2.2

DOOR SCHEDULE									REMARKS
SYMBOL	QTY	SIZE	PAIR	DR MATL	DR FIN	FRM MATL	FRM FIN		
1	2	3'-0"x6'-8"		FG	FF	FG	P	EXT. ENTRY DOOR	
2	3	2'-6"x6'-8"		WD	P	WD	P	INT DOOR	
3	1	3'-0"x6'-8"		WD	P	WD	P	EXT DOOR	
4	2	6'-6"x6'-8"	XXX	WD	P	WD	P	CLOSET SLIDERS	



SECTION A-A
Scale: 1/4" = 1'-0"

PROJECT NOTES

WEATHERSTRIP DOORS AND WINDOWS
CAULK AND SEAL JOINTS AND PENETRATIONS

WATER CLOSET SHALL USE NO MORE THAN 1.28 GAL/FLUSH

COORDINATE WITH OWNER RE: ALL FINISHES AND FLOORING MATERIALS & COLORS.

PROVIDE MILDEW INHIBITOR PAINT TO ALL BATHROOMS & LAUNDRY AREA.

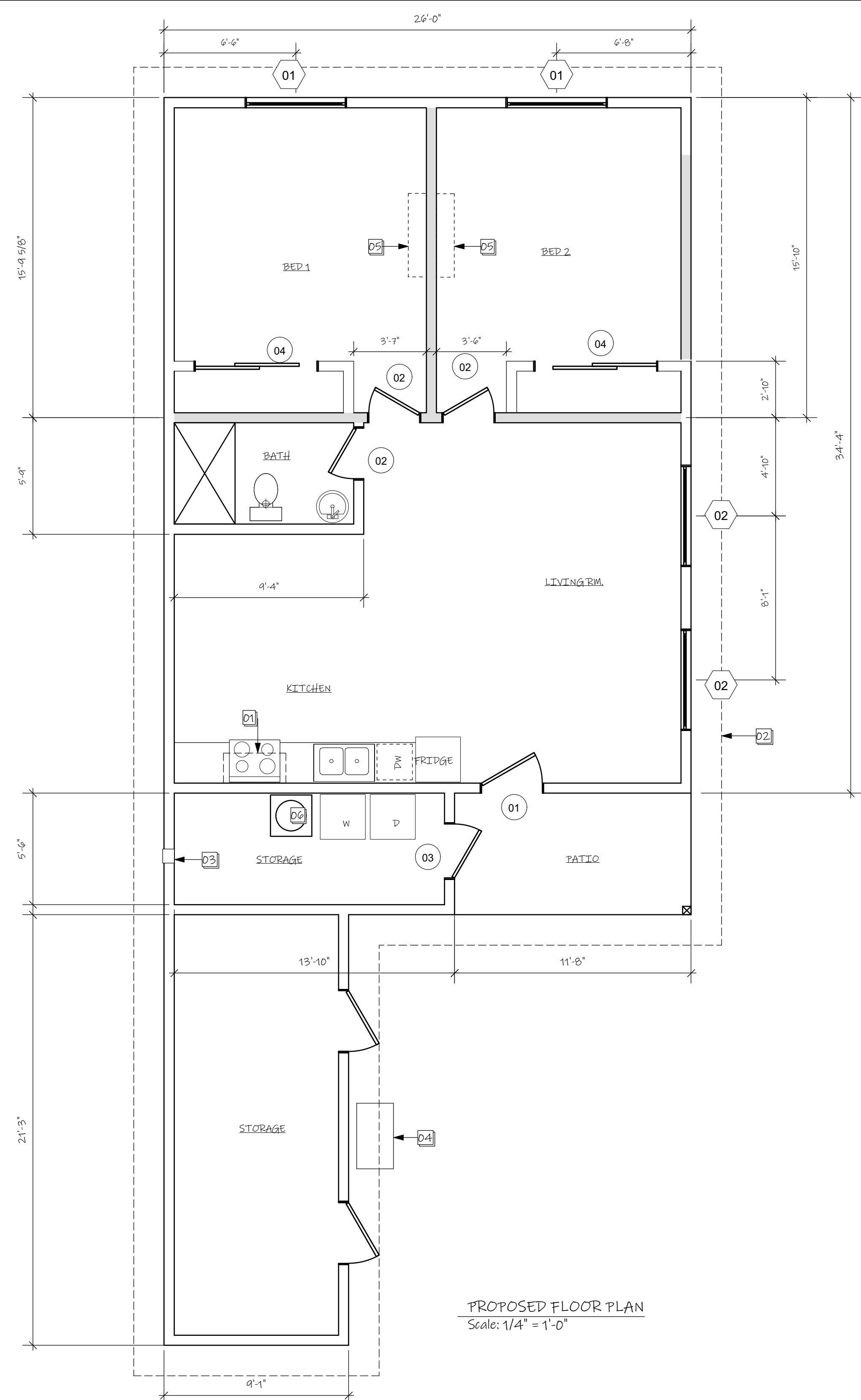
ALL CEILING ARE 9'-0" +/-

ALL BATHROOMS SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:
FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE THE BUILDING.
CAL GREEN CODE 4.506.1

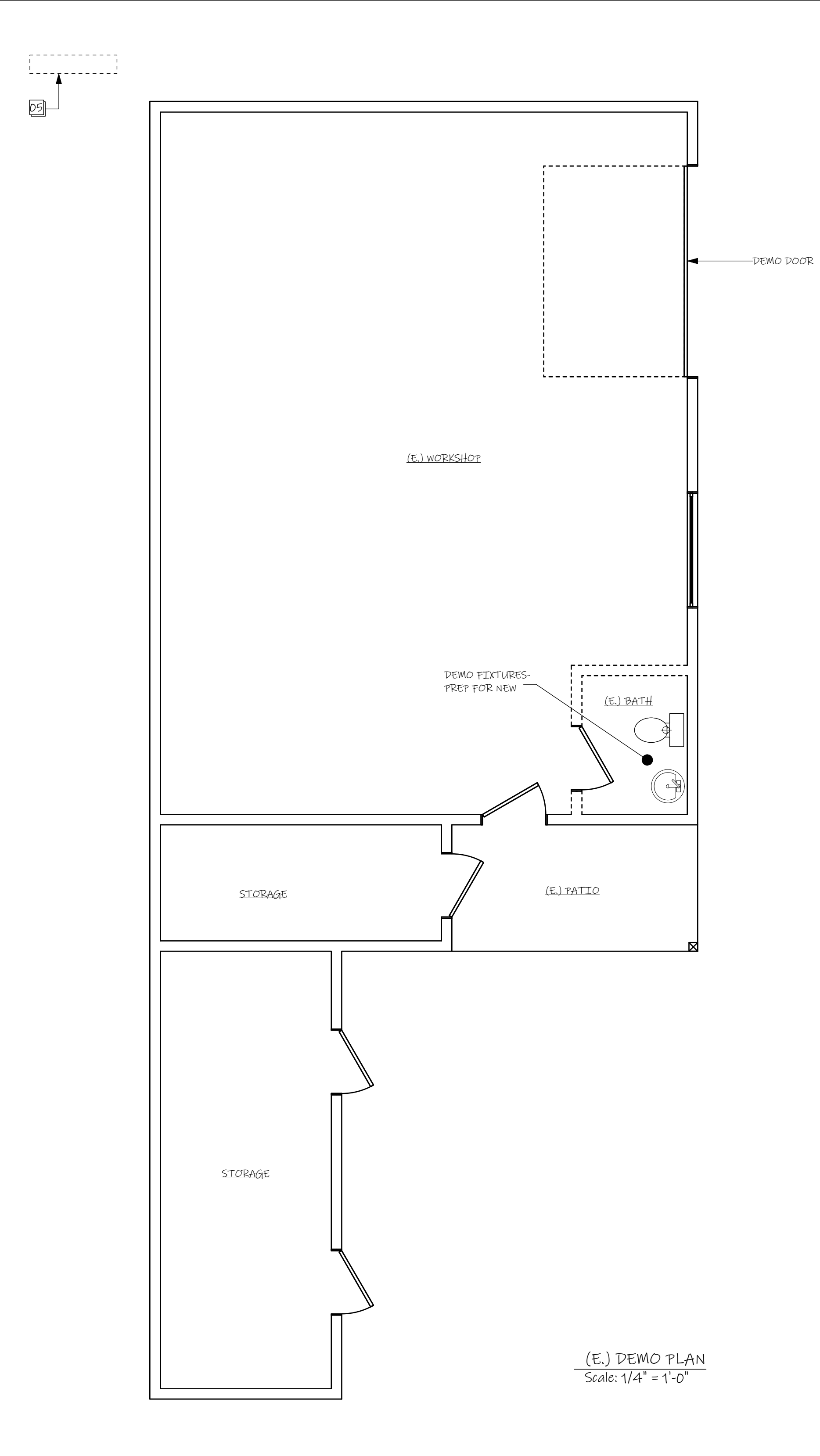
Designer:
OakRidge
Design & Development, Inc.
PO Box #8, YuccaValley, CA 92309
Phone: 909.793.9444 email: oakridge@oakridge.com

- KEYNOTES**
- 01 RANGE HOOD MIN. 100 CFM
 - 02 DASHED LINE OF ROOF ABOVE STUCCOED W/ A RAIN GUTTER & DOWNSPOUTS
 - 03 MAKE UP AIR VENT
 - 04 CONDENSOR ON CONC. PAD
 - 05 MINI SPLIT H/P AIR CONDITIONER
 - 06 HEAT PUMP WATER HEATER- 50 GALLON BRADFORD WHITE

Owner / Applicant:
Victoria Volk-Sonza
2771 Pacific St
Highland, CA



PROPOSED FLOOR PLAN
Scale: 1/4" = 1'-0"



(E.) DEMO PLAN
Scale: 1/4" = 1'-0"

- LEGEND**
- (N) 2x4 STUD WALL @ 16" OC W/ R-13 WALL INSUL
 - (E) 2x4 STUD WALL @ 16" OC W/ R-15 INSUL
 - DEMO (E.) WALL AS REQD.
 - 01 DOOR NUMBER
 - 01 WINDOW NUMBER
 - 01 KEYNOTE NUMBER
 - SECTION REFERENCE:
 - A-X DIRECTION LOOKING
 - A-X SECTION NUMBER
 - A-X SHEET NUMBER

Job Title: **ADU Conversion**

Sheet Title: **FLOOR PLAN/SCHEDULES/ ROOF PLAN/ SECTION**

Issues:

Scale: 1/4" = 1'-0"

Date: November 6, 2025

Drawn By: C.S.

Sheet Number

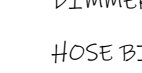
A-2.0

ENERGY CODE REQUIREMENTS:
 SYSTEMS USING GAS OR PROPANE COOKTOP TO SERVE INDIVIDUAL DWELLING UNITS SHALL INCLUDE THE FOLLOWING:
 1. A DEDICATED 240 VOLT BRANCH CIRCUIT WIRING SHALL BE INSTALLED WITHIN 3 FEET FROM THE COOKTOP AND ACCESSIBLE TO THE COOKTOP WITH NO OBSTRUCTIONS. THE BRANCH CIRCUIT CONNECTORS SHALL BE IDENTIFIED AS "240V READY". ALL ELECTRICAL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH CALIFORNIA ELECTRICAL CODE.
 2. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR THE INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE ELECTRIC COOKTOP INSTALLATION. THE RESERVED SPACE SHALL BE PERMANENTLY MARKED AS "FOR FUTURE 240V".

ELECTRIC CLOTHES DRYER READY:
 CLOTHES DRYER LOCATIONS WITH GAS OR PROPANE PLUMBING TO SERVE INDIVIDUAL UNITS SHALL INCLUDE:
 1. A DEDICATED 240V BRANCH CIRCUIT WIRING INSTALLED WITHIN 3 FEET TO DRYER AND ACCESSIBLE TO THE CLOTHES DRYER WITH NO OBSTRUCTIONS. THE BRANCH CIRCUIT CONDUCTORS SHALL BE RATED AT 30AMPS. MIN. THE BANK COVER SHOULD BE IDENTIFIED AS "240V READY". ALL ELECTRICAL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH CALIFORNIA ELECTRICAL CODE.
 2. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR THE INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR FUTURE ELECTRIC CLOTHES DRYER. THE RESERVED SPACE SHALL BE PERMANENTLY MARKED AS "FOR FUTURE 240V USE".

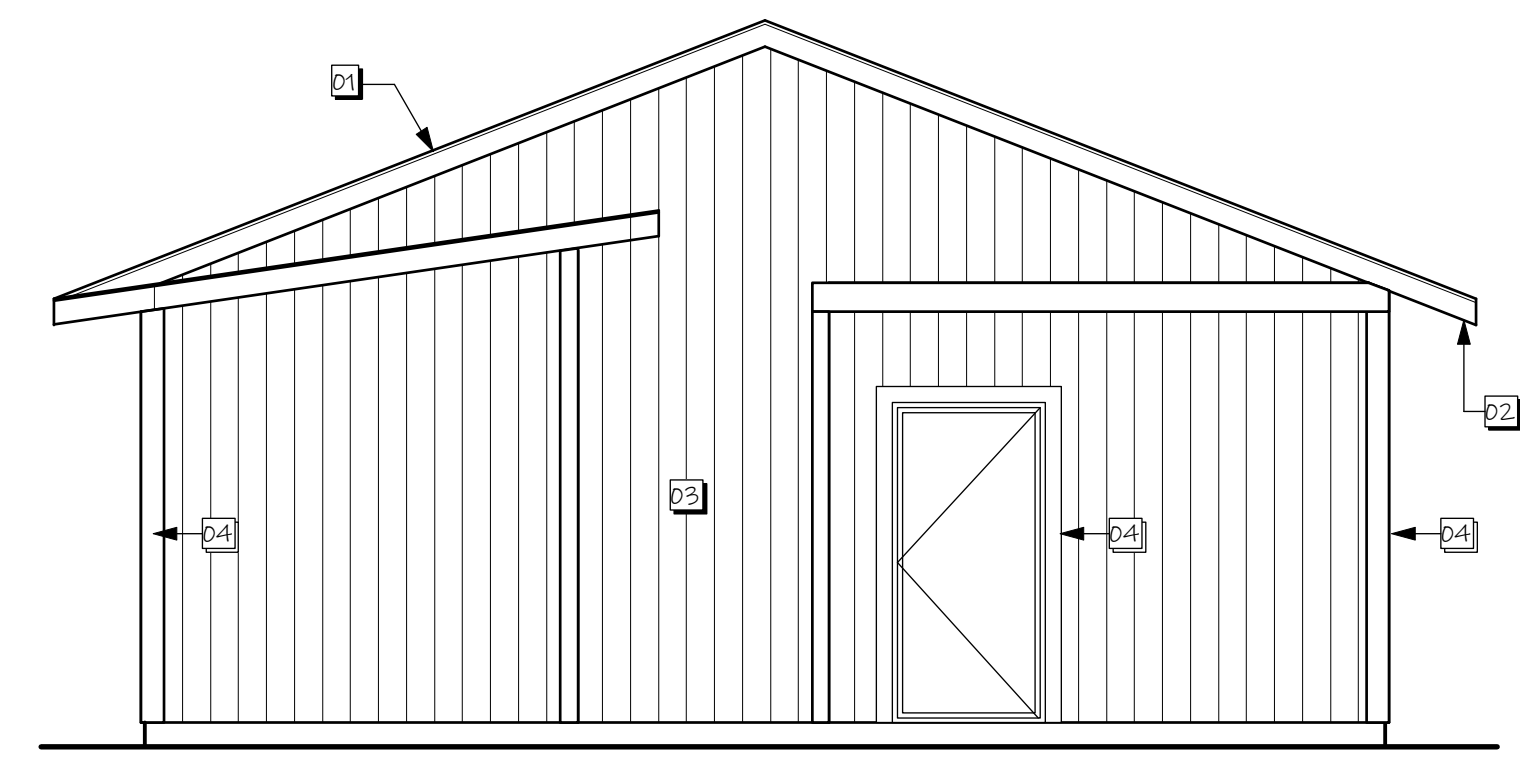
ALL BATHROOMS SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:
 FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE THE BUILDING. CAL GREEN CODE 4.506.1

LEGEND

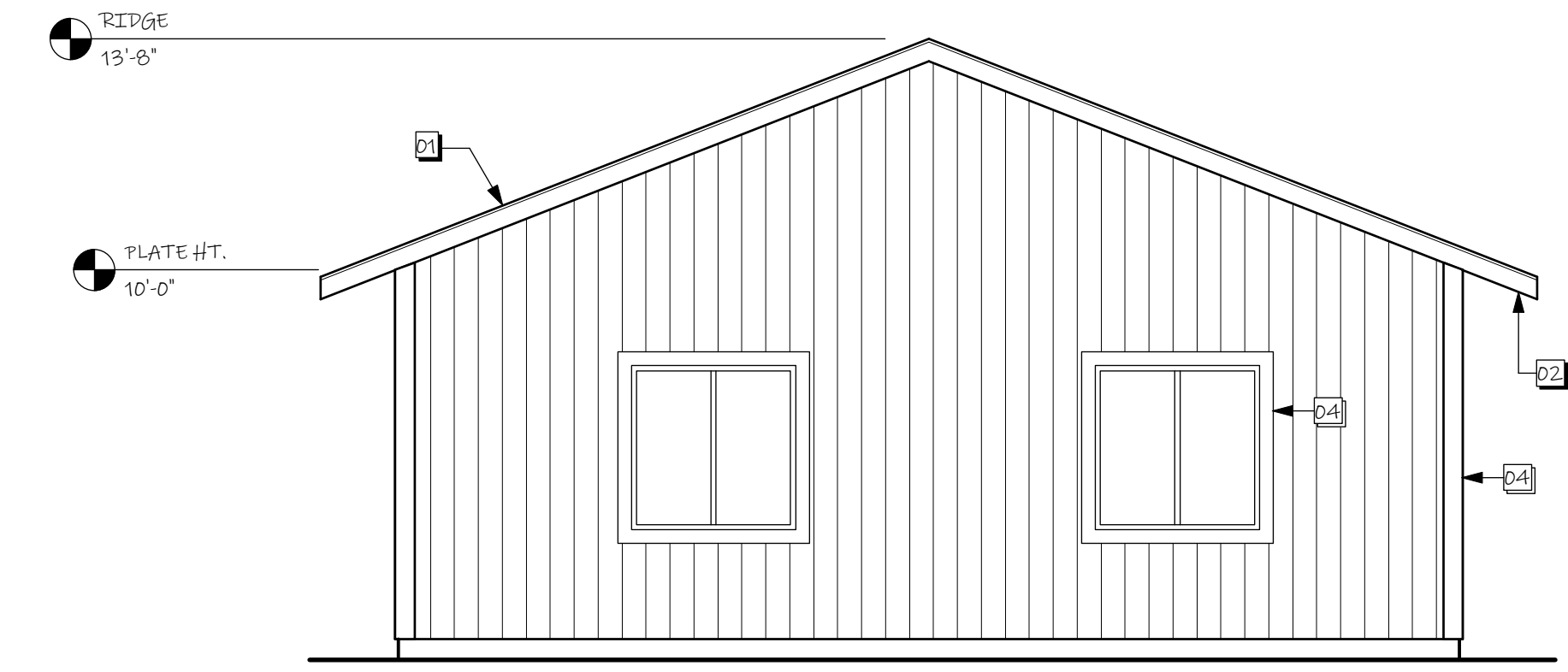
-  CEILING FAN
-  EXHAUST FAN ENERGY STAR (MIN. 60 CFM) HUMIDISTAT CONTROLLED
-  HARDWIRED SMOKE DETECTOR W/ BATTERY BACK-UP (SEE ELEC. NOTES FOR MORE INFO.)
-  CARBON MONOXIDE DETECTORS HARDWIRED
-  6" RECESSED CAN LIGHT W/ FLOUR AS NOTED
-  EXTERIOR WALL MOUNT LIGHT (MS PHOTO SENSOR)
-  RECEPTACLE 20 15" W.A.O. W/ GFI AS NOTED.
-  SWITCH 20 40"
-  3-WAY SWITCH 20 40"
-  OCCUPANCY SENSOR SET TO MANUAL ON
-  TV/CABLE
-  TELEPHONE
-  DIMMER SWITCH
-  HOSE BIB W/ NON-REMOVABLE BACK FLOW DEVICE

ELECTRICAL NOTES:

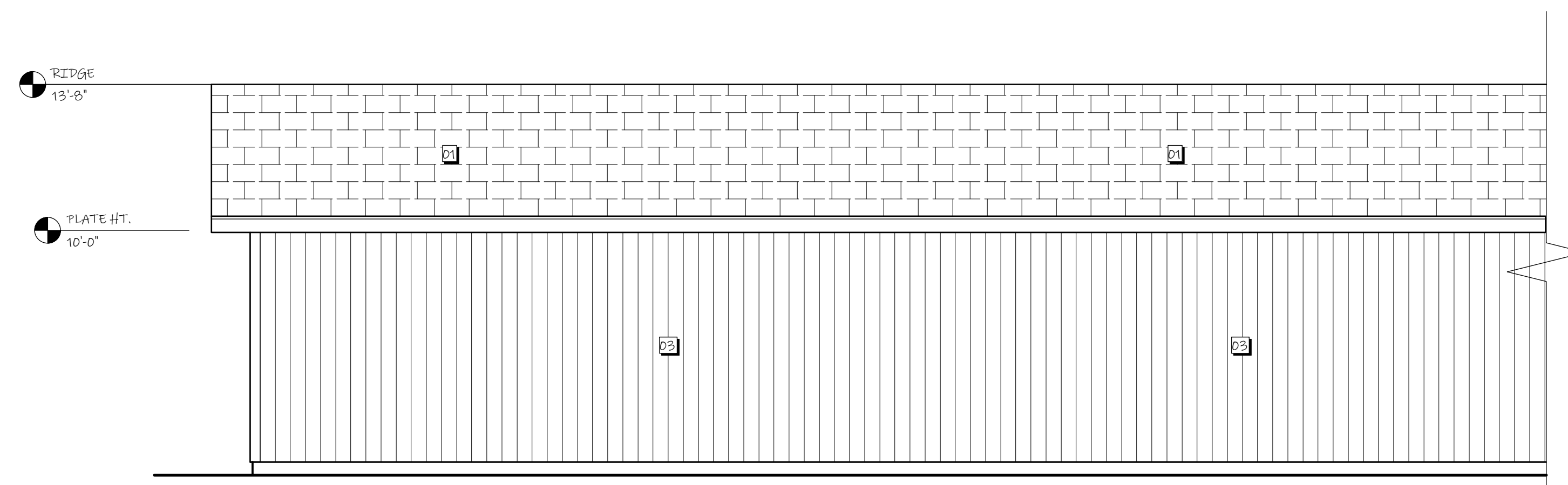
1. ALL APPROVED SMOKE DETECTORS TO BE CEILING MNTD. & HARDWIRED TO OTHERS W/ BATTERY BACK-UP. DETECTOR SHALL SOUND AN ALARM AUDIBLE TO ALL SLEEPING AREAS.
2. CENTRAL HEATING EQUIPMENT REQUIRES AN INDIVIDUAL BRANCH CIRCUIT SERVICE TO BE 100 AMP IF OVER 10 KW LOAD OR OVER 5 CIRCUITS
3. PROVIDE (1) GENERAL LIGHTING FLORESCENT FIXTURE IN KITCHEN AND BATHROOMS THAT HAS A MIN. 40 LUMENS PER WATT.
4. KITCHEN, BATHROOMS, LAUNDRY ROOM & DINING ROOM TO BE 20 AMP CIRCUITS. KITCHEN TO HAVE TWO SEPERATE 20 AMP CIRCUITS
5. EXHAUST FANS NEED DAMPER CONTROLS (MIN 50CFM)
6. NON-METALLIC SHEATHED CABLE SHALL BE CONCEALED OR PROTECTED
7. PROVIDE ONE LIGHT CIRCUIT FOR EACH 500 SF OF LIVABLE AREA.
8. FIXTURES, DEVICES, AND EQUIPMENT SHALL COMPLY WITH CEC REGULATIONS
9. OUTLETS IN KITCHEN SHALL BE INSTALLED EVERY 24" ON CENTER. & GFCI
10. PROVIDE OUTLETS AT 12" ON CENTER MAXIMUM AND WITHIN 6" OF END WALLS FOR ANY WALL OVER 2' LONG.
11. LIGHT FIXTURES IN TUB AND SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATION."
12. INSTALL LIGHTS 7'6" ABOVE THE HIGH WATER LINE OF THE PLATFORM TUB OR RELOCATE 9'0" OUTSIDE OF THE TUB AS MEASURED FROM THE SIDE WALL OF THE TUB OR MEET LIGHTING INSTALLATION AND WATERPROOFING REQUIREMENTS PER CODE.
13. ALL 15-20 AMP CIRCUITS SUPPLYING BEDROOMS SHALL BE ARC FAULT CIRCUIT INTERRUPTER PROTECTION



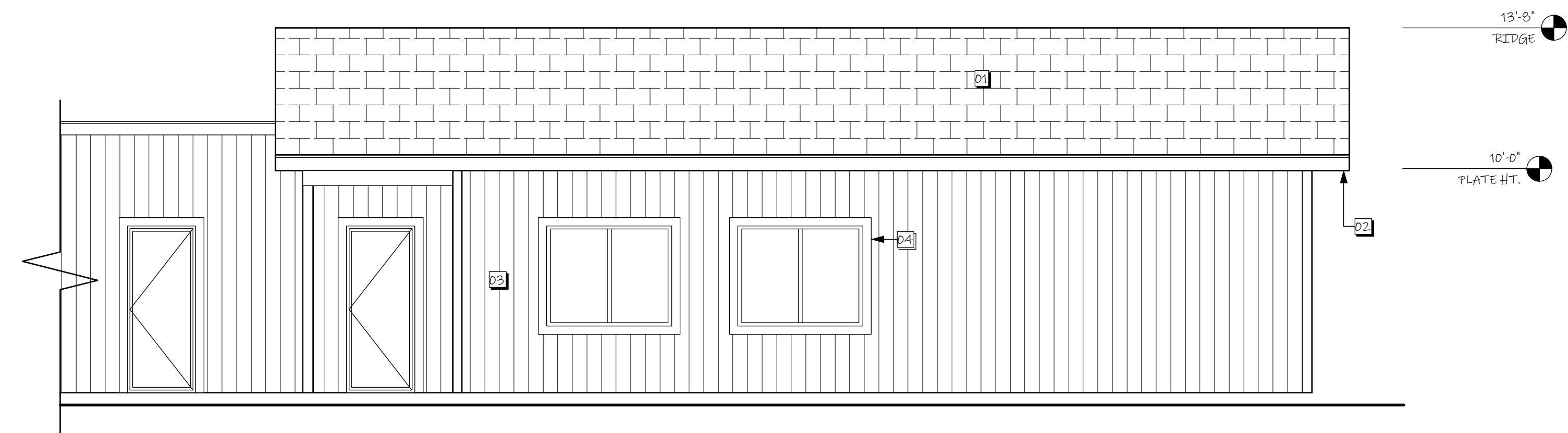
SOUTH ELEVATION
 Scale: 1/4" = 1'-0"



NORTH ELEVATION
 Scale: 1/4" = 1'-0"



WEST ELEVATION
 Scale: 1/4" = 1'-0"



EAST ELEVATION
 Scale: 1/4" = 1'-0"

KEYNOTES	
01	COMP SHINGLE ROOFING
02	FASCIA BOARD W/ METAL DRIP EDGE. COLOR OF FASCIA PAINTED TO MATCH (E.) HOUSE
03	(E.) 7" LAP SIDING COLOR TO MATCH ORIGINAL
04	4" TRIM TO MATCH

ALL ARCHITECTURAL COLORS/ WINDOWS/ TRIMS TO MATCH (E.) HOUSE

Designer:
OakRidge
 Design & Development, Inc.
 PO Box #8, Yucaipa, CA 92399
 Phone: 909.793.9444 email: oakridge@oakridge.com

Owner / Applicant:
 Victoria Volk-Souza
 27171 Pacific St
 Highland, CA

Job Title:
ADU Conversion
 Sheet Title:
**PROPOSED EXTERIOR ELEVATIONS/
 ELECTRICAL PLANS**

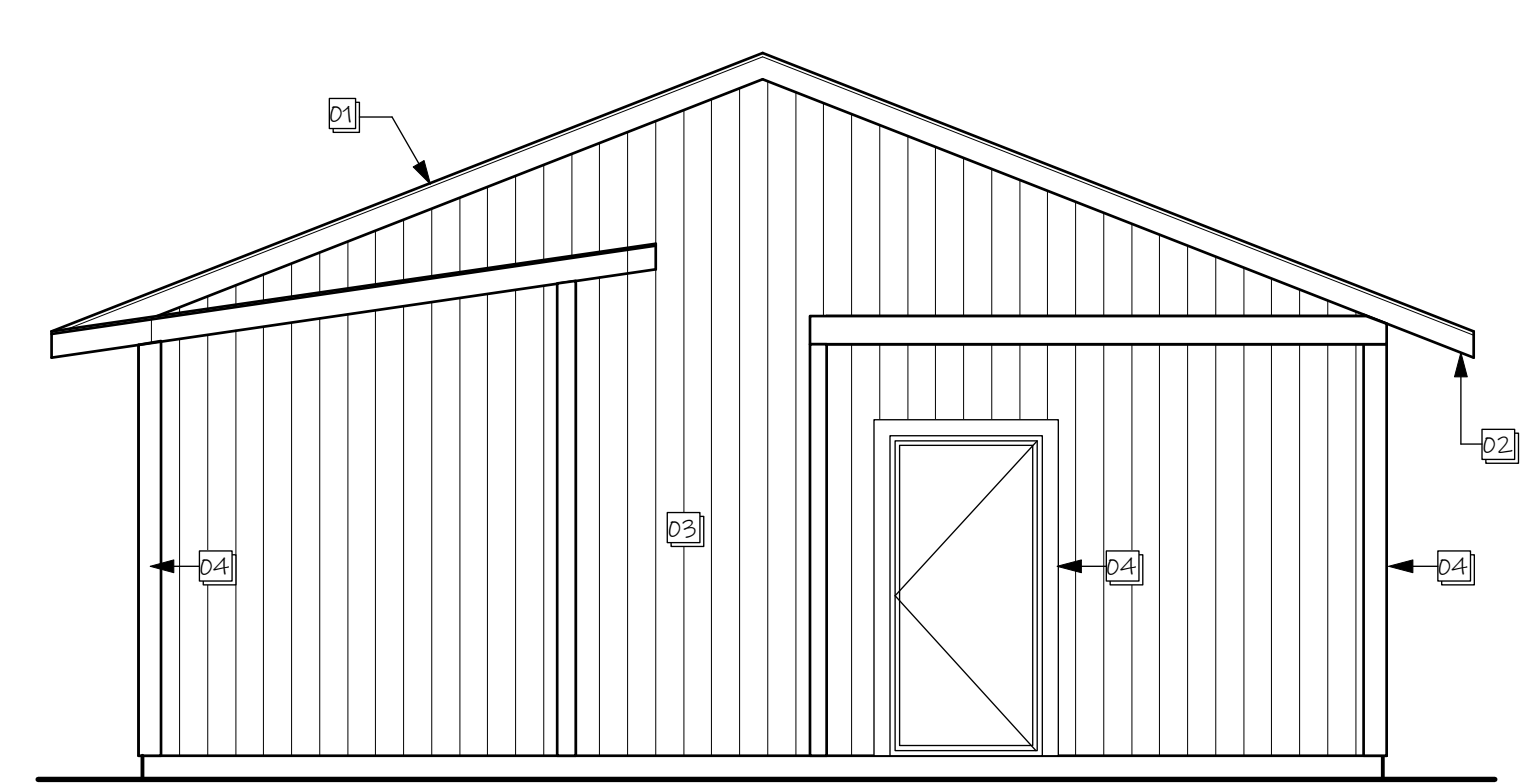
Issues:

Scale: 1/4"=1'-0"

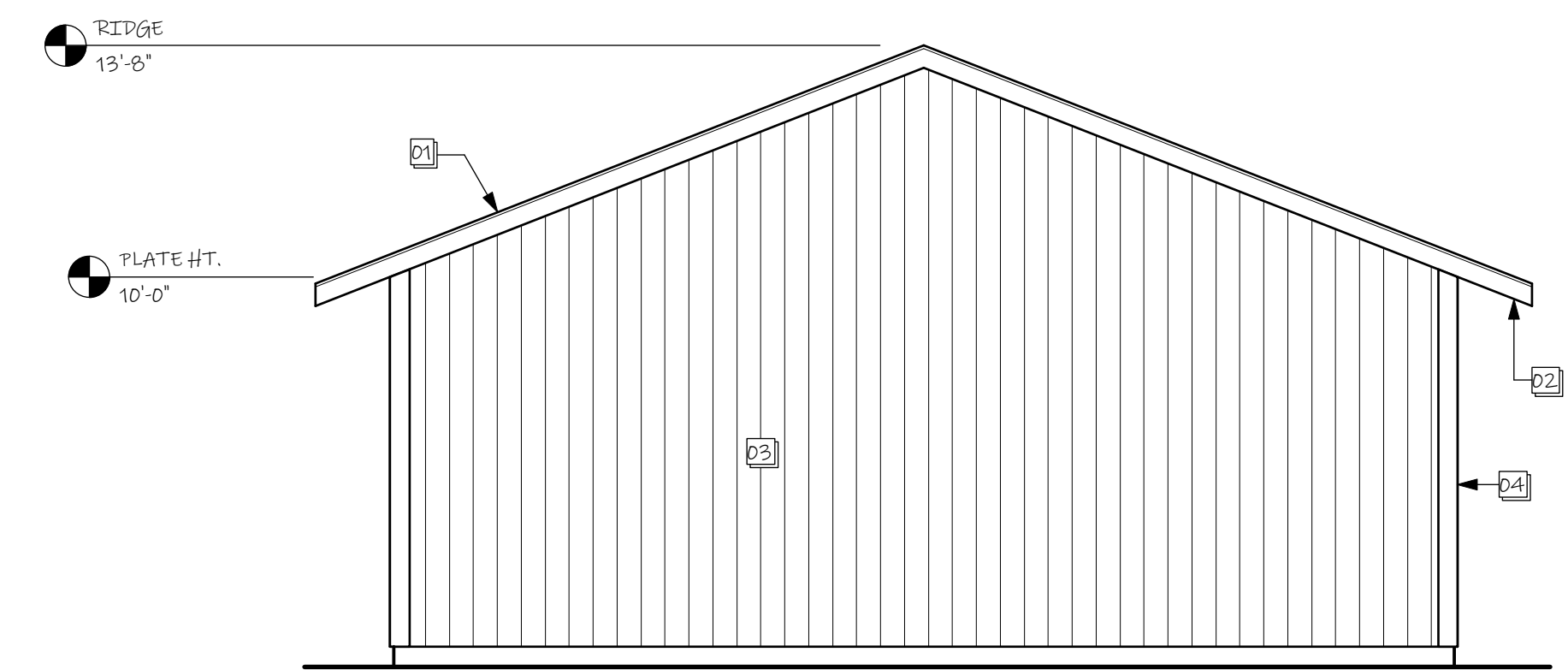
Date: November 6, 2025

Drawn By: C. S.

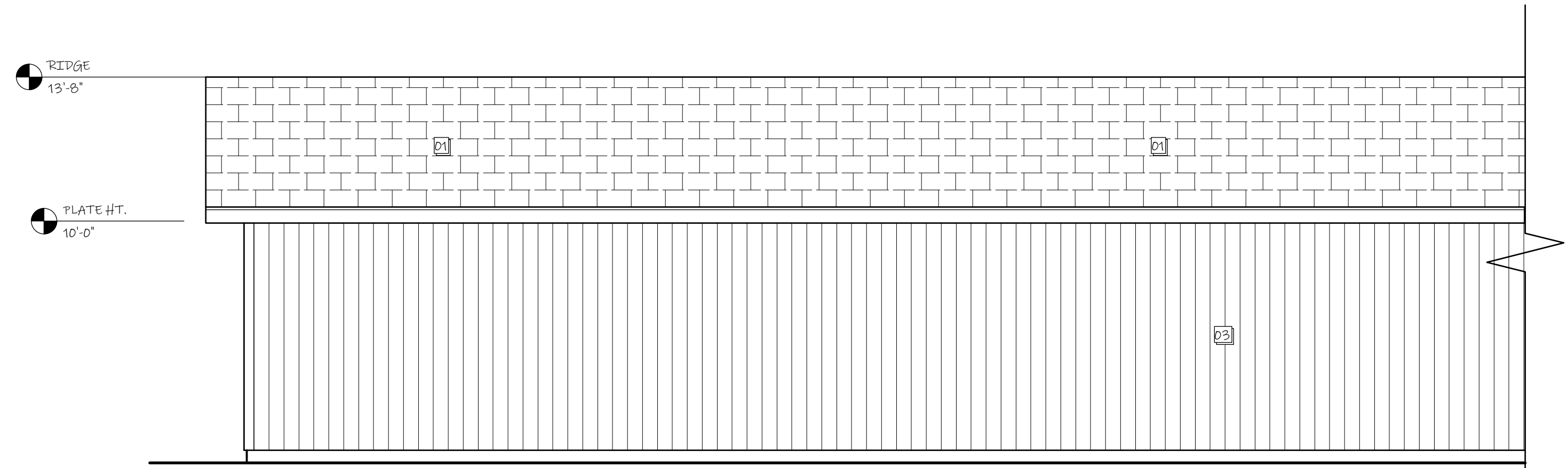
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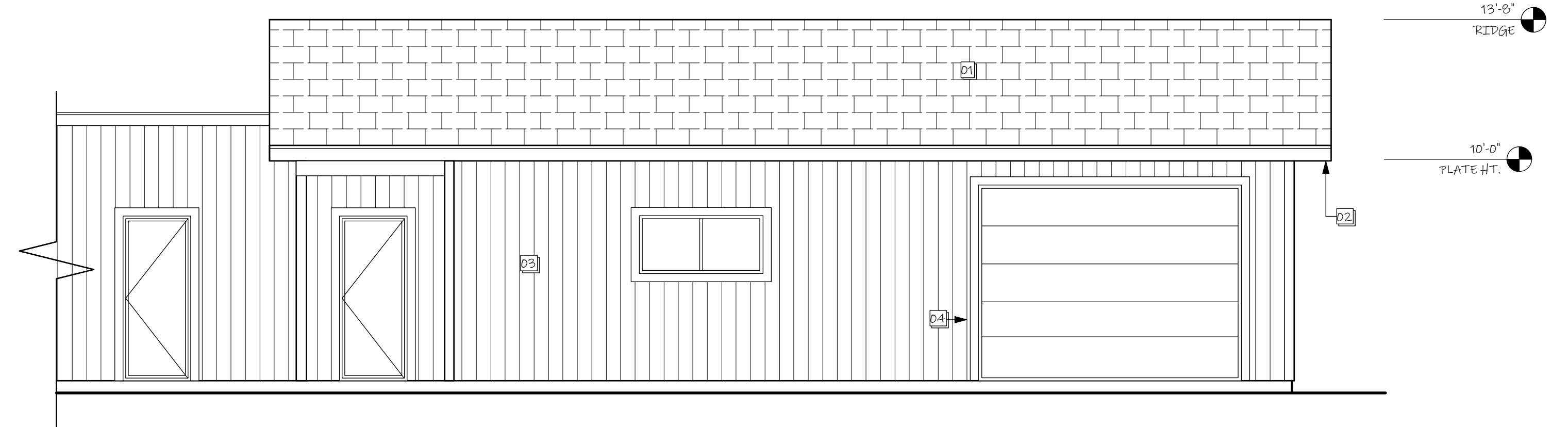
SOUTH ELEVATION
Scale: 1/4" = 1'-0"



NORTH ELEVATION
Scale: 1/4" = 1'-0"



WEST ELEVATION
Scale: 1/4" = 1'-0"



EAST ELEVATION
Scale: 1/4" = 1'-0"

Designer:
OakRidge
Design & Development, Inc.
PO Box #6, Yucaipa, CA 91799
Phone: 909.793.9444 email:oakridgeadd@oakridge.com

Owner / Applicant:
Victoria Volk-Souza
27171 Pacific St
Highland, CA

Job Title:
ADU Conversion

Sheet Title:
EXISTING ELEVATIONS

Issues:

Scale:
Date: November 6, 2025
Drawn By: C.S.
Sheet Number

A-4.0

ATTACHMENT 4

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior is responsible for establishing professional standards and providing advice on the rehabilitation and protection of all cultural resources listed in or eligible for listing in the National Register of Historic Places.

The Secretary of the Interior's Standards for Treatment of Historic Properties apply to all proposed development grant-in-aid projects assisted through the National Historic Preservation Fund, and are intended to be applied to a wide variety of resource types, including buildings, sites, structures, objects and districts. These Standards, developed in 1992, were codified as 36 CFR Part 68 in the July 12, 1995, Federal Register (Volume 60, No. 133). They replace the 1978 and 1983 versions of 36 CFR 68 entitled, "The Secretary of the Interior's Standards for Historic Preservation Projects."

The Secretary of the Interior's Standards for the Treatment of Historic Properties may be used by anyone planning and undertaking work on historic properties, even if grant-in-aid funds are not being sought. It should be noted that another regulation, 36 CFR Part 67, focuses on "certified historic structures" as defined by the IRS Code of 1986. The "Standards for Rehabilitation" cited in 36 CFR 67 should always be used when property owners are seeking certification for federal tax benefits.

Rehabilitation:

The act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

Standards for Rehabilitation:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

NOTE:

When repair and replacement of deteriorated features are necessary; when alterations or additions to the property are planned for a new or continued use; and when its depiction at a particular period of time is not appropriate, Rehabilitation may be considered as a treatment. Prior to undertaking work, a documentation plan for Rehabilitation should be developed.

**CERTIFICATE OF APPROPRIATENESS
CONDITIONS OF APPROVAL**

Date: December 4, 2025
Applicant: Victoria Souza
File/Index: COA 25-012
Proposal: Certificate of Appropriateness No. 25-012 to allow the conversion of an approximately 892 square foot non-contributing garage to a detached Accessory Dwelling Unit (ADU) on a site with a contributing Historic District residence.
Location: 27171 Pacific Street, APN No. 1191-472-01

The CERTIFICATE OF APPROPRIATENESS Application has been conditionally approved subject to the compliance with the requirements as specified below:

1. This CERTIFICATE OF APPROPRIATENESS shall become null and void:
 - a. Unless all conditions have been complied with and occupancy or use of the land or existing structures authorized by Certificate of Appropriateness No. 25-012 has taken place within thirty-six (36) months after the approval of said Certificate of Appropriateness.

NOTE:

All required on-site and off-site improvements, shall be completed and approved prior to final inspection of any building or structure.

The conditions listed below are continuing conditions; failure of the Applicant to comply with any/all conditions at any time, shall result in initiating revocation of the subject permit granted to use the property.

PLANNING CONDITIONS

2. The subject property shall be developed in accordance with plans and materials (date stamped "Received November 6, 2025") approved by the Historic and Cultural Preservation Board on December 4, 2025, attached, and shall be in compliance with all conditions of approval contained herein.
3. Prior to the issuance of any permits, the Applicant/Owner of the property shall submit to the Planning Department written evidence of agreement with all conditions of this approval.
4. Certificate of Appropriateness No. 25-012 shall allow for the conversion of an approximately 892 square foot one-story detached garage/storage to a 892 square foot detached Accessory Dwelling Unit (ADU) with no expansion of the existing foot print.

5. The owner/applicant shall obtain all required permits from the Planning, Engineering and Building and Safety Divisions.
6. Revisions, modifications, and/or deletions to the approved plans (date stamped 'Received November 6, 2025) shall be submitted to the Planning Division for review and approval. Revisions, modifications and/or deletions may require additional review by the Historic and Cultural Preservation Board.
7. Development Impact Fees shall be paid in accordance with City Ordinance (see attached DIF flyer). Fees are subject to change by action of the City Council. Fees are locked in upon submission of application to the Building & Safety Division for plan check (footnote #3).
8. Indemnity, Duty to Defend and Obligation to Pay Judgments and Defense Costs, Including Attorneys' Fees, Incurred by the City. The Applicant shall defend, indemnify, and hold harmless the City, its elected officials, officers, employees, volunteers, agents, and those City agents serving as independent contractors in the role of City officials (collectively "Indemnitees") from and against any claims, damages, actions, causes of actions, lawsuits, suits, proceedings, losses, judgments, costs, and expenses (including, without limitation, attorneys' fees or court costs) in any manner arising out of or incident to the Planning Commission's actions, the City Council's actions, related entitlements, or the City's environmental review thereof. The Applicant shall pay and satisfy any judgment, award or decree that may be rendered against City or the other Indemnitees in any such suit, action, or other legal proceeding. The City shall promptly notify the Applicant of any claim, action, or proceeding and the City shall reasonably cooperate in the defense. If the City fails to promptly notify the Applicant of any claim, action, or proceeding, or if the City fails to reasonably cooperate in the defense, the Applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City or the Indemnitees. The City shall have the right to select counsel of its choice. The Applicant shall reimburse the City, and the other Indemnitees, for any and all legal expenses and costs incurred by each of them in connection therewith or in enforcing the indemnity herein provided. Nothing in this condition shall be construed to require the Applicant to indemnify Indemnitees for any claim arising from the sole negligence or willful misconduct of the Indemnitees. In the event such a legal action is filed challenging the City's determinations herein or the issuance of the approval, the City shall estimate its expenses for the litigation. The Applicant shall deposit the said amount with the City within thirty days of being notified of the estimate cost or, at the discretion of the City, enter into an agreement with the City to pay such expenses as they become due.
9. All Ordinances, Policy Resolutions, and Standards of the City in effect at the time this project is approved shall be complied with as a condition of this approval.

10. No Certificate of Occupancy, or any other final clearance needed prior to occupancy, shall be given until all other conditions are met.
11. All proposed construction work shall be subject to plan check and approval by the Planning Division, Engineering Division, Building Division, and Fire Department prior to issuance of permits. Plans must demonstrate compliance with the California Building Standards Code in effect at the time of permit application, including Building, Plumbing, Mechanical, Electrical, Fire, Energy, and Green Codes, as well as the Highland Municipal Code, Engineering Standards, and all applicable conditions of approval.
12. All addressing/lettering shall be affixed and maintained in a conspicuous location, free from plant obstruction, and readily visible to emergency services personnel responding to the site as approved by the Fire Marshal.
13. The developer/contractor shall not engage in any construction activities other than between the hours of 7:00 a.m. and 6:00 p.m. Monday through Saturday. No construction shall be permitted on Sundays or National Holidays.
14. Prior to submitting construction documents to the Building and Safety Division for plan check, the Applicant shall obtain final Planning Division approval for the proposed ADU conversion, including verification that all project components are consistent with the Historic and Cultural Preservation Board's action.



**CITY OF HIGHLAND
DEVELOPMENT IMPACT FEES**
Effective 4/1/24
Non-Subdivided Development

	<u>Detached Dwelling</u>	<u>Attached Dwelling</u>	<u>Mobile Home</u>	<u>Commercial Lodging</u>	<u>Commercial/Office</u>	<u>Industrial</u>
Law Enforcement Facilities	\$87	\$137	\$77	\$58	\$0.049	\$0.003
Fire Suppression Facilities, Vehicles & Equipment	\$779	\$252	\$915	\$1,237	\$0.012	\$0.004
Local Circulation System	\$2,814	\$1,879	\$1,465	\$1,484	\$2.628	\$1.818
Regional Circulation System	\$16,409	\$10,956	\$8,539	\$8,653	\$15.319	\$10.599
Regional Flood Control Facilities	\$2,687	\$946	\$1,612	\$943	\$1.011	\$1.250
General Facilities, Vehicles & Equipment	\$3,473	\$3,473	\$3,473	\$1,813	\$1.930	\$1.930
Library Facilities & Collection	\$1,563	\$1,424	\$1,020	N/A	N/A	N/A
Public Use (Community Center Facilities)	N/A	N/A	N/A	N/A	N/A	N/A
Park Land Acquisition & Park Facilities Development	\$3,537	\$3,220	\$2,307	N/A	N/A	N/A
TOTAL:	\$31,349	\$22,287	\$19,408	\$14,188	\$20.949	\$15.604

Notes:

1. Fees applicable City-wide except for East Highlands Ranch which is subject to a different fee schedule. Certain properties fronting Greenspot Road, between Gold Buckle Road and Santa Paula Street, must also pay a Greenspot Impact Fee (Resolution No.1994-037).
2. Fees are per dwelling unit for residential, per lodging unit for commercial lodging, and per gross square footage for commercial or industrial.
3. Fee locked in at time of permit application. (Reso. 2023-040)
4. Fee collected at time of Building permit issuance or occupancy. (Reso. 2023-040)
5. Additional inclusionary housing fees of \$3,750 for all new units required per Resolution 2006-020 & Ordinance 306.
6. Certain projects may be charged an impact fee based on the Alternative Cost Methodology for Regional Circulation (\$383.95 per trip-mile), and for Local Circulation (\$156.00 per trip-mile.)

IMPACT FEE FOR BUILDING EXPANSION

(no charge for first 499 square feet of residential building expansion)

DETACHED DWELLING.....	\$20.899	per square foot
ATTACHED DWELLING.....	\$14.858	per square foot
MOBILE HOME.....	\$12.939	per square foot
COMMERCIAL LODGING.....	\$ 9.459	per square foot
COMMERCIAL/OFFICE.....	\$20.949	per square foot
INDUSTRIAL.....	\$15.604	per square foot

ATTACHMENT 6

Findings of Fact

CERTIFICATE OF APPROPRIATENESS FINDINGS OF FACT

Date: December 4, 2025
Applicant: Victoria Souza
File/Index: COA 25-012
Proposal: Certificate of Appropriateness No. 25-012 to allow the conversion of an approximately 892 square foot non-contributing garage to a detached Accessory Dwelling Unit (ADU) on a site with a contributing Historic District residence.
Location: 27171 Pacific Street, APN No. 1191-472-01

The Historic and Cultural Preservation Board shall make the following Findings of Fact prior to approval of the application:

1. With regard to a designated resource, the proposed work will neither adversely affect the significant architectural features of the designated resource nor adversely affect the character of historical, architectural, or aesthetic interest or value of the designated resource and its site.

The proposed conversion of the non-contributing detached storage structure to an accessory dwelling unit will not adversely affect the significant architectural features or character of the contributing residence or the overall Highland Historic District. The work is limited in scope to maintaining the structure's footprint and roofline, replacing siding with like materials, removing a roll-up door, and adding four windows, two of which will face the public street. These changes are compatible with the surrounding context and comply with the Secretary of the Interior's Standards for Rehabilitation, ensuring the project does not diminish the historic, architectural, or aesthetic value of the designated resource or its site.

2. With regard to any property located within a Historic District, the proposed work conforms to the prescriptive standards and design guidelines for the District adopted by the Board and does not adversely affect the character of the district.

The proposed work meets the appropriate prescriptive standards and design guidelines adopted by the Historic and Cultural Preservation Board. The project conforms to the Secretary of the Interior's Standards for Rehabilitation, which allow alterations that do not destroy historic materials, features, or spatial relationships that contribute to a historic district's character. Although the structure is classified as non-contributing, it is located on a parcel with a contributing resource and within the boundaries of the Highland Historic District. The proposed accessory dwelling unit conversion preserves the structure's form and location while incorporating minor exterior changes that are compatible with the existing building and surrounding district. The project will not negatively affect the integrity or character of the historic district

3. In the case of construction of a new improvement, addition, building, or structure upon a designated cultural resource site, the use and exterior of such improvements

will not adversely affect and will be compatible with the use and exterior or existing designated cultural resources, improvements, buildings, natural features, and structures on said site.

The proposed conversion of the non-contributing detached storage/garage structure to an accessory dwelling unit (ADU) is compatible with the existing contributing single family residence on site and does not adversely affect the historic character or architectural setting of the property as a whole. Although the detached structure was rebuilt in the early 1980s and lacks significance on its own, it is located on a designated cultural resource site that contains a contributing historic residence according to the 1988 Historic Architectural Survey Report prepared for Caltrans. The conversion project has been designed to preserve the scale, setting, and spatial relationships of the lot and nearby structures, while incorporating compatible materials and design elements consistent with previously approved improvements. The updated windows, siding, and other exterior elements reflect the residential context and maintain compatibility with surrounding historic improvements. As proposed, the use and exterior design of the converted ADU will not negatively impact the historic integrity of the site or the broader Historic District.